

PROPOSED:

# Proposed Carport Addition To Existing Dwelling

LOCATION:

## Lot 11 D.P. 610571 39 Duke Street, Forestville NSW 2087

OWNER:

## P. Oliver

BUILDER:

## Jesmac Home Improvements P/L

### General Notes

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE

DIMENSIONS ARE IN MILLIMETRES U.N.O. CONTOURS AND R.L.'S ARE IN METRES TO A.H.D.

ALL DIMENSIONS SHALL BE CHECKED AND VARIFIED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY WORKS.

ALL BRACING OF ROOF AND WALL FRAMING TO SATISFY WIND SPEED DESIGN CATEGORY IN ACCORDANCE WITH THE CURRENT EDITION OF THE NCC AND AS 4055

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CURRENT EDITIONS INCLUDING AMENDMENTS OF THE RELEVANT SAA CODES OF PRACTICE.

ALL CONSTRUCTION TO NCC 2022 Volume 2 AND ALL APPLICABLE AUSTRALIAN STANDARDS

ALL REINFORCED CONCRETE SHALL BE IN ACCORDANCE WITH ENGINEERS DETAIL DRAWINGS AND AS2870

ALL STEEL BEAMS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH ENGINEERS DETAIL DRAWINGS.

SITE INFORMATION SHOWN ON THIS DRAWING HAS BEEN SUPPLIED BY OTHERS. NO RESPONSIBILITY IS TAKEN FOR ITS AUTHENTICITY OR ACCURACY THE BUILDER SHALL VERIFY LOCATION OF SERVICES, VEGETATION AND DIMENSIONS PRIOR TO COMMENCEMENTS, ANY DISCREPANCIES SHOULD BE REPORTED TO THE DRAFTSPERSON.

EASEMENTS AS SHOWN ON SITE PLAN

NO KNOWN WATERWAYS OR WATERCOURSES

NO NEW SEWER CONNECTION REQUIRED

STORMWATER TO BE COLLECTED AND PIPED TO COUNCIL'S STORMWATER DRAINAGE SYSTEM AND IN ACCORDANCE WITH AS3500.3-2018

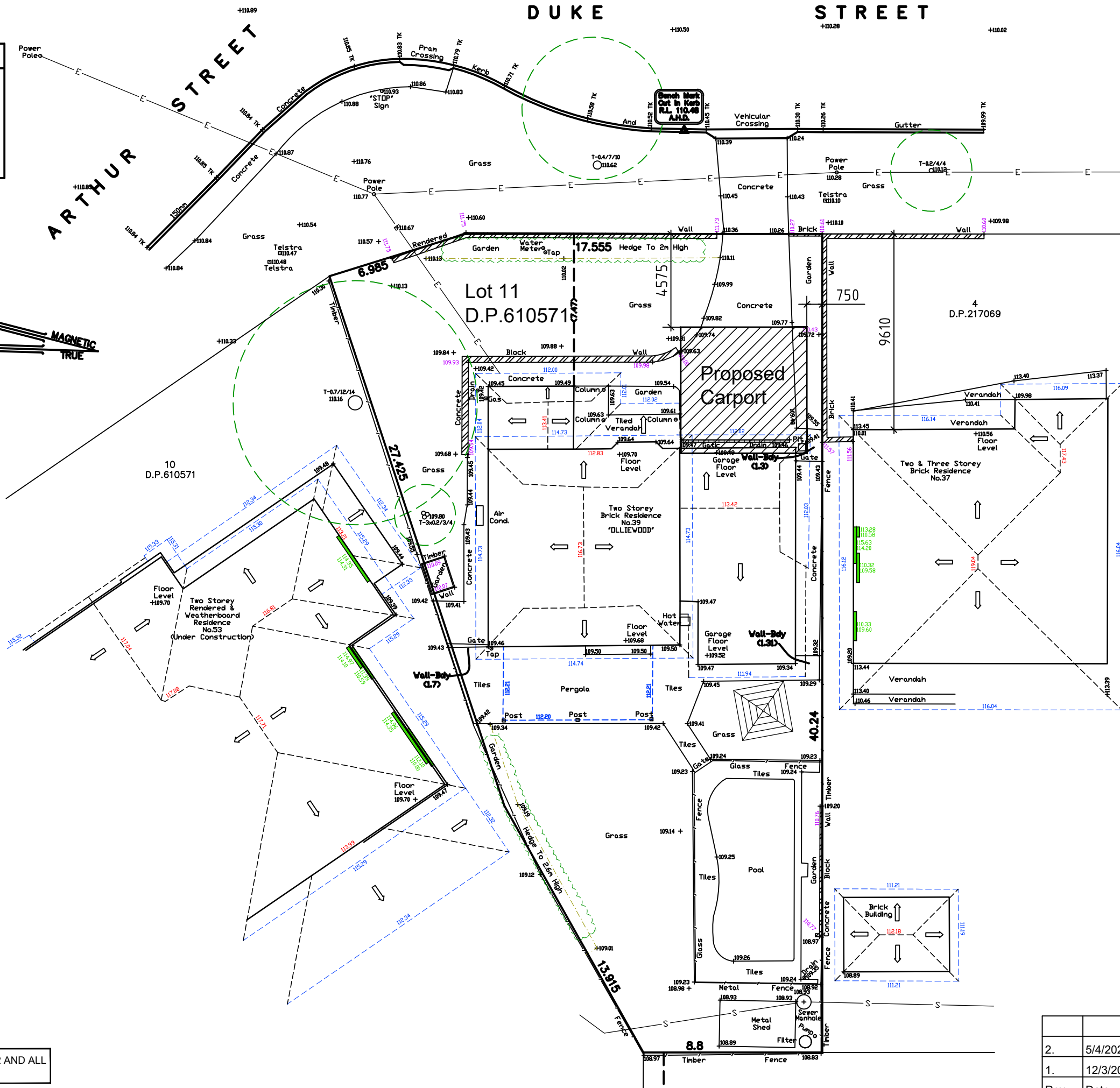
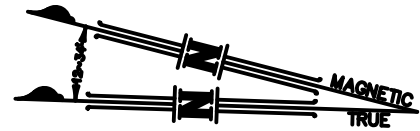
ALL ROOF CLADDING, GUTTERS & DOWN PIPES TO COMPLY WITH THE B.C.A. HOUSING PROVISIONS

IT IS THE RESPONSIBILITY OF THE LANDOWNER, BUILDER AND ANY CONTRACTOR OR AGENTS INVOLVED WITH THE DEVELOPMENT TO READ AND UNDERSTAND ALL CONDITIONS OF CONSENT PRIOR TO COMMENCING WORK

ALL CONSTRUCTION TO NCC 2022 BCA Volume 2 AND ALL APPLICABLE AUSTRALIAN STANDARDS

2.	5/4/2024	ISSUED FOR DA
1.	12/3/2024	ISSUED FOR SKETCH PLANS
Rev.	Date	Description

Site Calculations	
Zoning	R2
Site Area	- 710m <sup>2</sup>
New Carport Area =	38.44m <sup>2</sup>
Landscaped Area =	336.5m <sup>2</sup>
	47%



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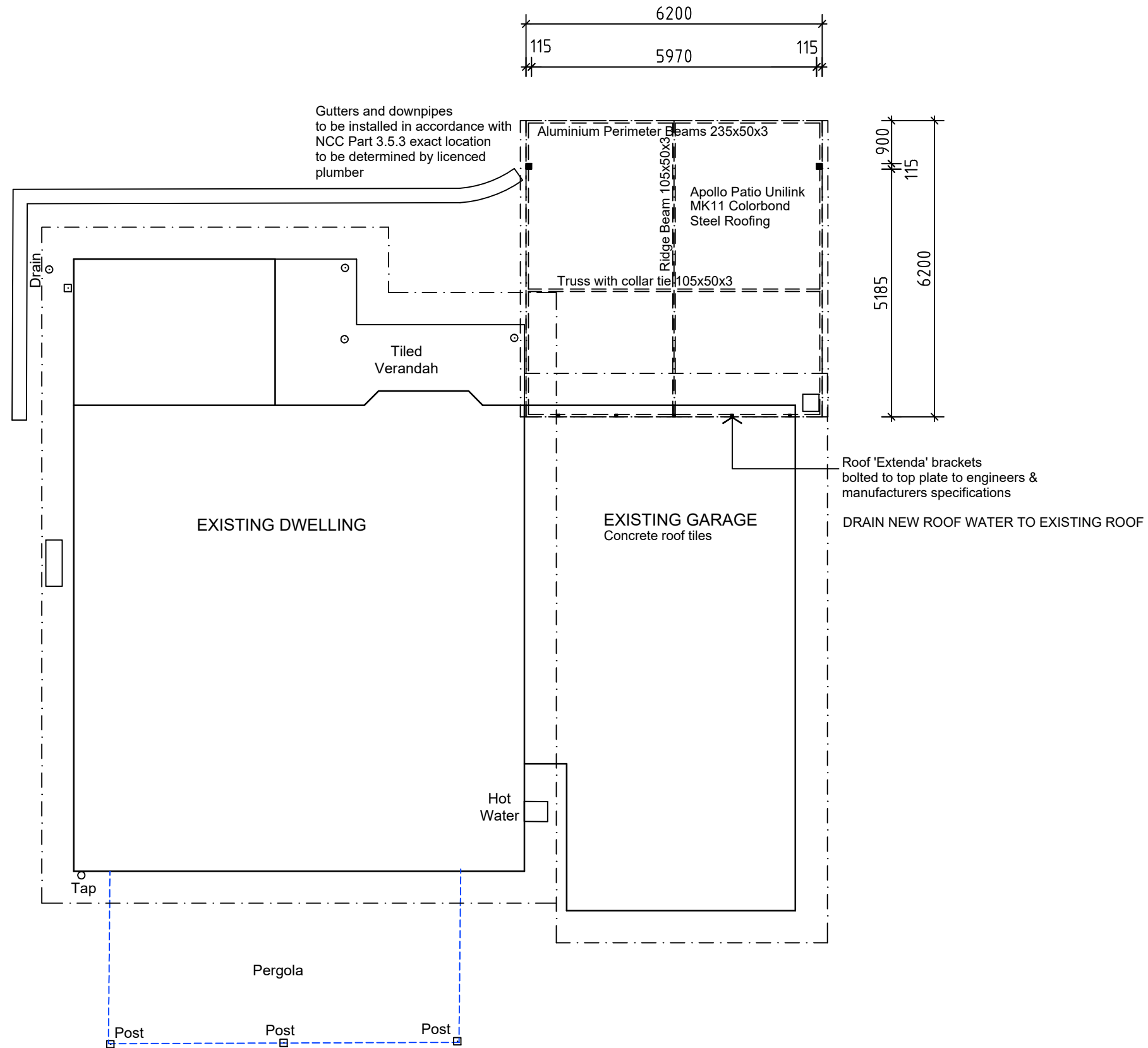
Ph. 02 43296283  
 Mobile: 0408 296283  
 Email: gday.mate@bigpond.com

**Sherry Denton Drafting Service** ABN: 53 661 478 350

Client: Oliver  
 Date: March 2024  
 Location: Lot 11 DP 610571  
 39 Duke Street,  
 Forestville NSW 2087

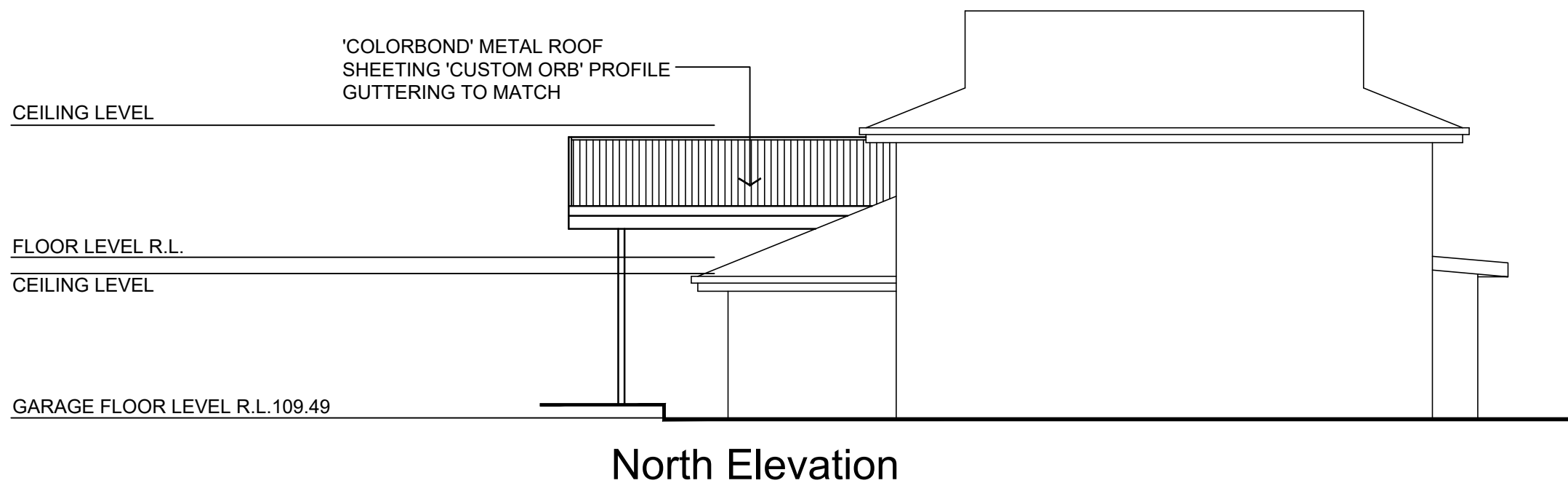
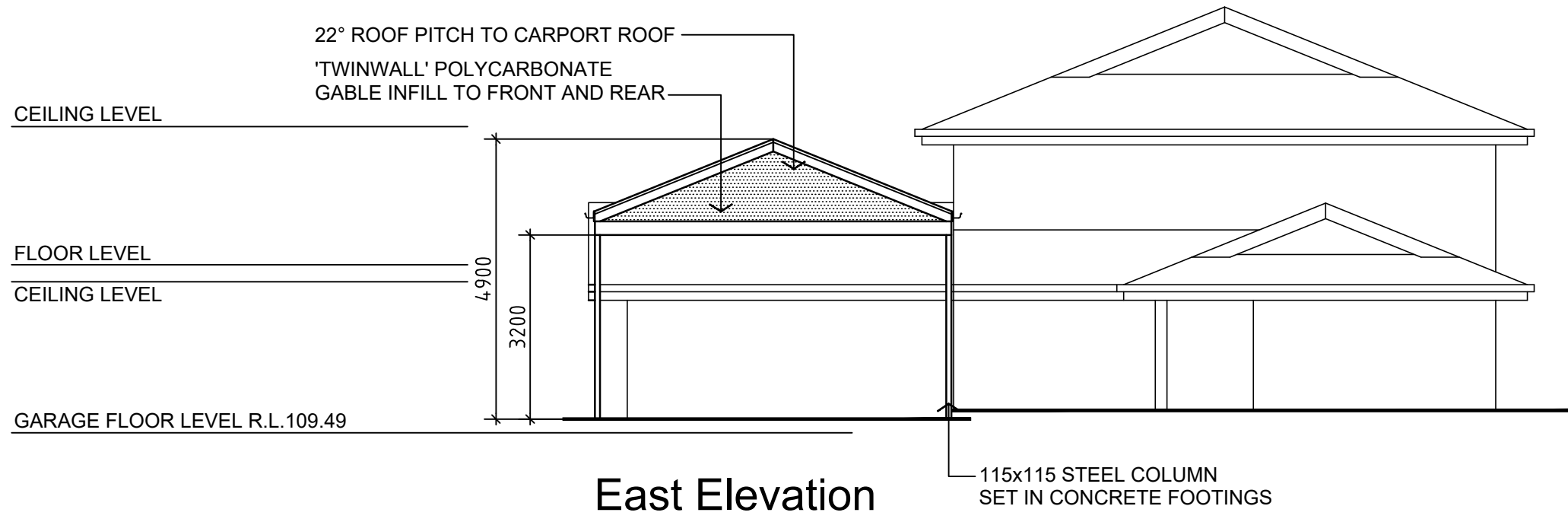
Drawing: SITE PLAN

Scale: 1:200 @ A3  
 Job No: 2411  
 Sheet: 2



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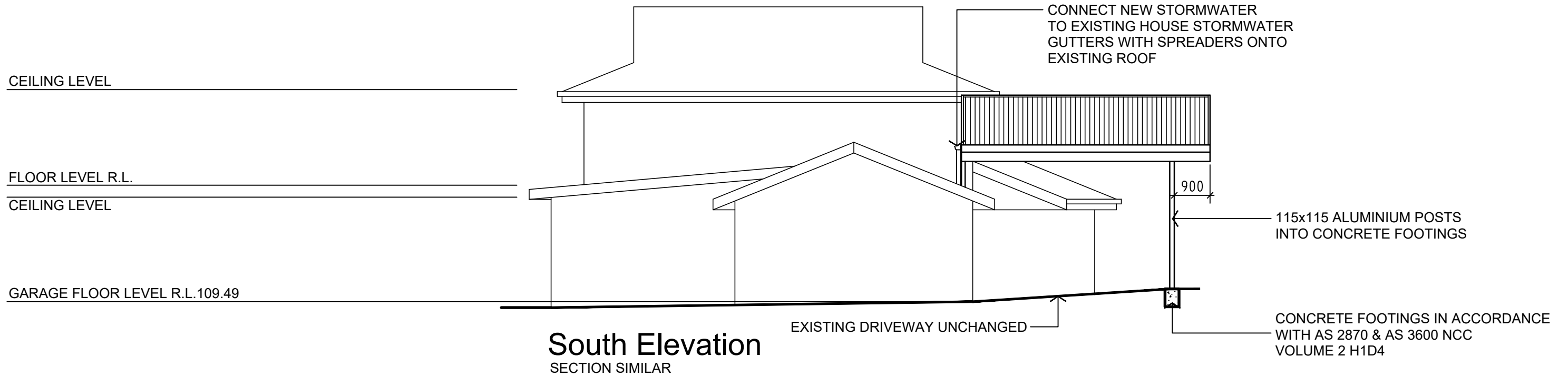
Client: Oliver  
 Date: March 2024

Location: Lot 11 DP 610571  
 39 Duke Street,  
 Forestville NSW 2087

Drawing: ELEVATIONS

Scale: 1:100 @ A3  
 Job No: 2411

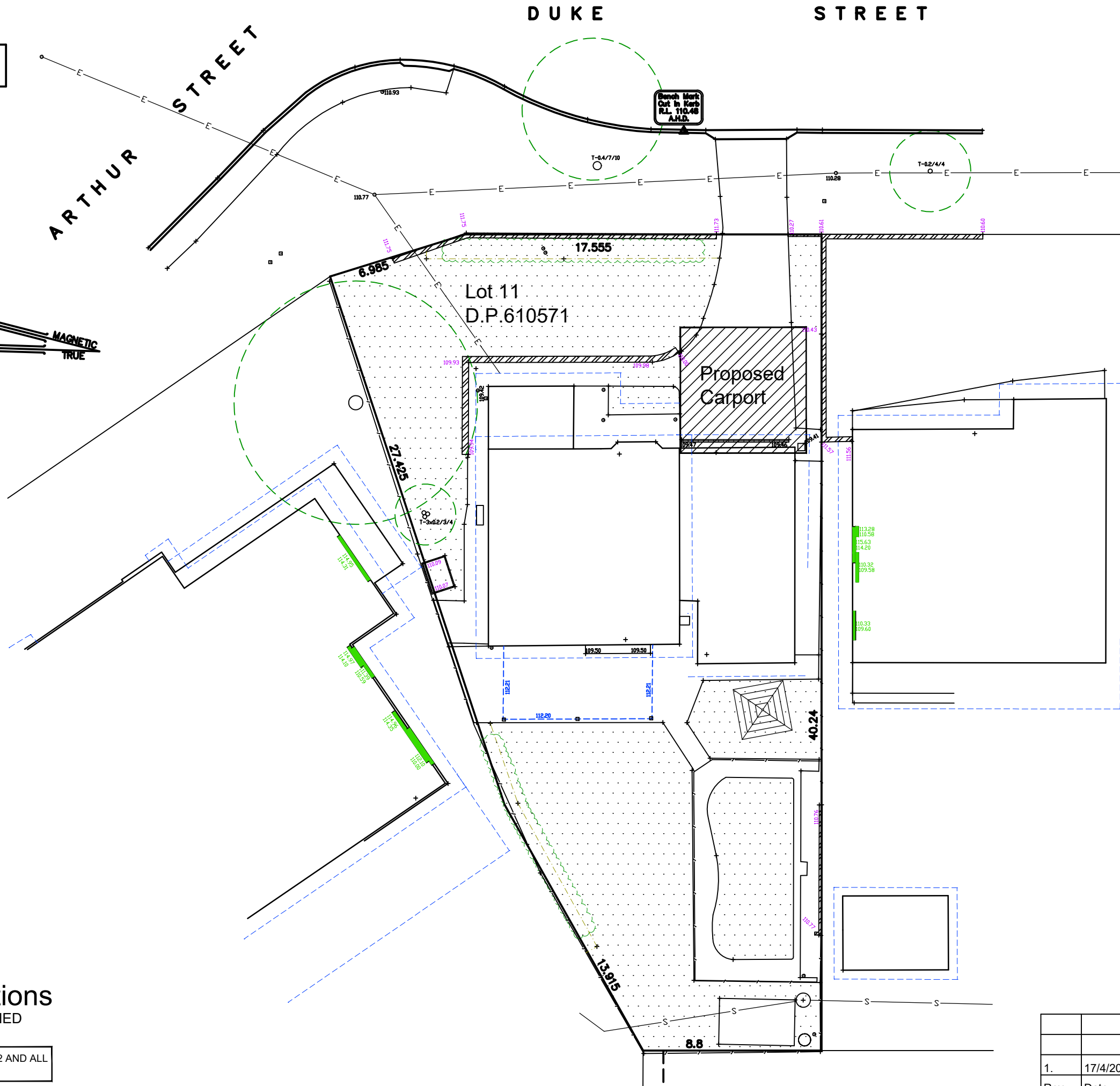
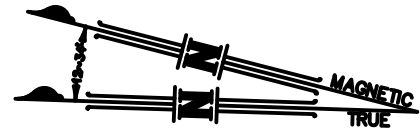
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Landscaped Area = 336.5m<sup>2</sup>  
47%



**Landscape Calculations**  
LANDSCAPE AREAS SHOWN HATCHED

ALL CONSTRUCTION TO NCC 2022 BCA Volume 2 AND ALL APPLICABLE AUSTRALIAN STANDARDS

Rev.	Date	Description
1.	17/4/2024	FOR LANDSCAPE CALCULATIONS

Ph. 02 43296283  
Mobile: 0408 296283  
Email: gday.mate@bigpond.com

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Location: Lot 11 DP 610571  
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Drawing:  
LANDSCAPE CALCULATIONS

Scale: 1:200 @ A3  
Job No: 2411

Sheet:  
1/1