



# Statement of Environmental Effects

**Alterations and Additions to  
190 Barrenjoey Road  
Newport**



Feb 2020

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## 1. INTRODUCTION

This report has been prepared to substantiate a development application in relation to the property at 190 Barrenjoey Road, Newport (Lot 1 DP 1203970). The development proposal is for alterations of the existing dwelling extending part of the southern wall 1meter to the south boundary and maintaining a 2.5 m setback from the boundary.

The site is located in between Bungan Beach and the east side of Barrenjoey Road within E4 Environmental Living Zone and E2 Environmental Conservation. The locality is characterised by single dwellings on large sites, the adjoining properties are of residential use.

The application is accompanied by:

- Plan Details DA prepared by G V Architecture T/A Gordon and Valich Architects Pty Ltd,

The proposal is assessed in relation to the current planning controls:

- Pittwater Local Environmental Plan (LEP), 2014,
- Pittwater 21 Development Control Plan (DCP),
- State Environmental Planning Policies No.71 – Coastal Protection:
- Section 79C of the Environmental Planning and Assessment Act 1979

## 2. SITE

### 2.1. Location and description

The site is located between Barrenjoey Road and Bungan beach.

It is referenced as Lot 1, DP 1203970. The site is rectangular shape with an area of 1570m<sup>2</sup>. The property has a frontage of 18.04 m to Barrenjoey road.

The upper front boundary of the property (Barrenjoey Road) is on the crest of the hill with the site extending over the eastern slope falling with an average of 7 degrees.

The existing site is currently under construction with a basement, ground level carpark and car lift approved on DA2017/1380.

The existing dwelling is located in the middle of the site and is a three storey weatherboard and plaster house with a swimming pool to the east of the property. The lowest part of the property comprises a landscape area that has been completed and was approved on a DA N0106/12 with modifications Mod2018/0117 the area comprises retaining garden areas and decks close to the escarpment.



**FIGURE 1: SITE LOCATION**

## 2.2. Site context

The site is occupied by a three storey dwelling, and pool. Vehicular access to the property is from Barrenjoey Road. To the rear of the site is dense vegetation adjacent to the escarpment with Bungay Beach approximately 50m. from the site boundary.



**FIGURE 2: SITE LOCATION**

The site adjoins a land reserved for public open space associated with Bungay Beach. The neighbouring properties are developed with substantial dwellings.



**FIGURE 3: SITE FROM BARRENJOEY ROAD**

### **2.3. Site useage**

The site is located within Zone E4 (Pittwater Local Environmental Plan LEP 2014 Zoning Map) and Zone E2 and is currently of Residential use with a single dwelling on site.

### 3. PROPOSED DEVELOPMENT

#### 3.1. Brief description of works

The works provide a small extension to the existing dwelling 1 m south of the existing wall:

- **Ground Floor Level**
  - o Existing study: Increase size of space by moving southern facing wall 990mm. to the south of the site. (7.85 m<sup>2</sup>). The new wall will be located 2.5m from the boundary
    - New windows to the south facing wall
    - Remove existing window to the west wall of the existing study and provide new double doors with sidelights
  - o Provide a new studio and bathroom to the excavated garage with sliding door and window to the east wall of the garage.
- **First Floor Level**
  - o Existing Bedroom 3 and ensuite southern wall to be moved 990mm to the south of the site maintained same set back as ground floor level.
  - o Increase existing balcony 990mm.
  - o Removed and relocate skylights
  - o Remove and relocate window around stair area and ensuites

The proposal seeks to improve the internal space of the dwelling and is proposed to be cantilevered so no additional foundation will be required. The extension is also proposed with flat roof over to reduced bulk of the proposal.

The proposed works are of a contemporary nature complementing the existing building amenities. The design is discrete and not visible from the public domain.



**FIGURE 4: EXISTING HOUSE**



**FIGURE 5: EXISTING HOUSE**



**FIGURE 6: PROPOSED EXTENSION**



**FIGURE 3: EXISTING VERANDAH**

### **3.2. Site History**

**DA N0106/12** Landscaping including a viewing deck and spa

**DA 2017/1380** Construction of existing garage and construction of new garage and front fence

**MOD 2018/0117** Modification of the consent N0106/12



## 4. ENVIRONMENTAL PLANNING ASSESSMENT

The subject site is zoned:

E4 Environmental Living

E2 Environmental Conservation

### 4.1. Statutory Planning Framework:

#### Pittwater Local Environmental Plan (LEP), 2014

The subject site is zoned E4 Environmental Living. And E2 Environmental Conservation. Dwelling houses are permissible with consent in this zone. The works constitute improve of the existing amenities of the current site. The land is within and identified Geotechnical Hazard area and within a Coastal Bluff Management Area.

No works are proposed in proximity to the Regional open Space E2 Environmental Conservation.

The property is **not** heritage listed, not located within a heritage conservation area or located within the vicinity of a heritage item.

	<b>Planning Control</b>	<b>Comments</b>	<b>Compliance</b>
<b>Pittwater , Local Environmental Plan (LEP), 2014</b>			
<b>Height of Buildings</b>	<b>8.5 m.</b>	Existing overall building not change new extension under 8.5m.	YES
<b>Acid Sulfate Soils</b>	<b>Class of Land 5</b>	No excavation is proposed	YES
<b>Earthworks</b>		No earthworks are associated with the additions. Structure will cantilever above ground level	YES
<b>Coastal Risk Planning</b>		The development is unlikely to cause an increase on coastal hazard	YES
<b>Biodiversity protection</b>		The development is unlikely to cause any adverse impact on the existing conditions.	YES
<b>Lot size Map</b>	Minimum 700 sqm	Existing site is 1570 sqm	YES

## Pittwater 21 Development Control Plan (DCP)

The prevalent issues and relevant matters for consideration are as follows:

	<b>Planning Control</b>	<b>Comments</b>	<b>Compliance</b>
<b>Pittwater 21 Development Control Plan (DCP),</b>			
<b>Front building line</b>	<b>6.5m.</b>	Unchanged N/A	YES
<b>Rear building line</b>	<b>6.5m.</b>	Unchanged N/A	YES
<b>Side Building</b>	<b>2.5m.</b>	Northern boundary unchanged N/A	YES
	<b>1.0m.</b>	Ground Floor 2.5m. First Floor 2.5m.	YES
<b>Landscape area</b>	<b>60%</b>	Unchanged N/A	YES
<b>Coastal Protection</b>	<b>The land is within the coastal protection zone</b>	The area to be develop is within the existing building and no additional excavation is proposed	YES
<b>Visual Privacy</b>	<b>Open spaces protected from direct overlooking</b>	The proposed works maintained the existing relationship with the neighbouring property, planting providing screening will be located on the boundary to help with privacy	YES
<b>Private Open Space</b>		The proposed works will not diminish the existing private open space of the dwelling	YES
<b>Character Viewed from Public Place</b>		It is considered the works will have a minimum impact to the site and the view will be of the low impact from Barrenjoey Road.	YES

## Compliance Table

Clause	Compliance with Requirements	Compliance with Requirements
A 5.1 Exhibition, Advertisement and notification of Application	Yes	Yes
B 3.1 Landslip hazard	Yes	Yes
B 3.4 Coastline (Bluff) Hazard	Yes	Yes
B 3.6 Contaminates Land and Potentially Contaminated Land	N/A	
B4.4 Flora and Fauna Habitat	Yes	Yes
B 5.4 Stormwater Harvesting	Yes	Yes
B 5.10 Stormwater Discharge into Public Drainage System	Yes	Yes
B6.1 Access driveways and works on the Public road reserve	N/A	
B6.2 Internal Driveways	N/A	
B6.3 Off street vehicle parking requirements	N/A	
B8.1 Construction and Demolition - Excavation and landfill	N/A	
B8.2 Construction and Demolition - Erosion and Sediment Management	N/A	
B8.4 Construction and Demolition - Site Fencing and Security	N/A	
B8.6 Construction and Demolition - Traffic Management Plan		
C1.1 Landscaping	N/A	
C1.2 Safety and Security	Yes	Yes
C1.3 View Sharing	Yes	Yes
C1.4 Solar Access	Yes	Yes
C1.5 Visual Privacy	Yes	Yes
C1.6 Acoustic Privacy	Yes	Yes
C1.7 Private open space	Yes	Yes
C1.10 Building Facades	Yes	Yes
C1.23 Eaves	Yes	Yes
D9.17 Scenic Protection Category One areas	Yes	Yes

Clause	Compliance with Requirements	Compliance with Requirements
D10.1 Character as viewed from a public place	Yes	Yes
D10.4 Building Colour and materials	Yes	Yes
D10.7 Front building line (excluding Newport Commercial Centre)	N/A	
D10.8 Side and rear building line (excluding Newport Commercial centre)	Yes	Yes
D10.11 Building Envelope	Yes	Yes
D10.13 Landscaped Area - Environmentally Sensitivity Land	Yes	Yes
D10.15 Fences - Flora and Fauna Conservation Areas	Yes	Yes
D10.16 Construction Retaining walls, terracing and undercroft areas	Yes	Yes
D10.18 Scenic Protection Category One Areas	N/A	

## 4.2. Environmental Impacts – S79(1)(b)

### (i) *Natural environment impacts*

The proposal is not likely to generate any liquid waste, odour or fumes, and is therefore not likely to have adverse impact on the locality in terms of air or water quality. The proposal is therefore not likely to have any additional adverse effect in relation to pollution or siltation of the waterways. Appropriate measures will be taken during construction to control temporary natural environment impacts through erosion and sediment control and waste management.

The proposal will not have excavation and the proposed structure will be cantilever form existing foundation

The proposal relates favourably to the topography of the site, to the existing structure and locality.

- **Building construction – Timber frame structure and weatherboard**
- **Insulation**  
Additional insulation to be installed where required in the new walls
- **Natural ventilation**  
New windows are proposed
- **Heating and cooling**  
Energy efficient heating and cooling systems will be installed to comply with BASIX requirements

**(ii) Built environment impacts**

The section will address issues relating to the external appearance and relationship to the character of the surrounding properties.

- **External appearance and relationship to the character of the area**

Alterations and additions to the dwelling are not visible from public domain. The character will be maintained there will be no impact to Barrenjoey road or Bundan beach.

- **Heritage impact**

The building is NOT a heritage item,

- **Relationship to neighbouring properties**

- **Privacy**

The additions will have minimum impact in the relationship with the neighbours the proposed works will have a similar existing relationship with 188 Barrenjoey Road, the windows to the ground floor are located so privacy to inside of the adjoining property aid not affected while providing enough ventilation and natural light.

Landscaping along the fence was designed to provide appropriate screen plantings and features where required to maintain the privacy of the occupants and that of the neighbours.

The following measures have been taken to increase the level of privacy:

- New landscaping including screen planting to the boundaries to improve privacy

- **Overshadowing** – The proposal does not provide an increase on shadows to the neighbouring properties; please refer to shadow diagrams

- **Noise**

Any domestic noise generated would be considered minimal. The additional landscaping and screening to the boundaries of the site will further enhance the acoustic privacy.

- **Views**

The views from neighbouring properties is currently very limited as there is screen planting to boundaries, the proposal will provide new

screen planting where required, and views will be very similar to the existing.

#### **4.3. Social and Economic Impacts – S79(1)(b)**

The proposed works are unlikely to result in any adverse social or economic effects in the locality.

#### **4.4. Site Suitability – S79(1)(c)**

- **Proximity to services and infrastructure**

The site will continue to be connected to existing water mains as per the existing configuration on site. It will also connect into existing stormwater drainage systems where necessary.

- **Stormwater drainage design/ OSD – see Section 5.5**

No additional built-upon area is proposed – Proposed additional roof will be connected to existing roof down pipe and existing stormwater system .

- **Site constraints**

- Slope– the site falls across the property towards the east. The slope is gently to the crest off the hill and gradually increase to meet the coast.
- Flooding – there is no anticipated flooding danger
- Geotechnical – No additional excavation is proposed
- Groundwater – there are no anticipated groundwater issues

- **Contaminated land – see Section 5.5**

There is no history of high risk uses likely to cause contamination for the site, and hence, a Stage 1 Preliminary Investigation is not required.

#### **4.5. The Public Interest – S79(1)(c)**

As summarised, the proposed alterations and additions are consistent with the surrounding and proposed future desired character of the area.

## 5. Conclusion

The proposed alterations and additions represent a rational approach to the future needs of the property owner and introduce a conforming use within a residential zone. The alterations are well considered in both siting and scale, and responds thoughtfully to the existing dwelling on the site as well as the neighbouring property of 188 Barrenjoey Road

The proposal complies with the required acts and planning instruments, as discussed above. We therefore ask Council to favourably consider this application.

Yours faithfully,

A handwritten signature in black ink, reading "Furio Valich". The signature is written in a cursive, flowing style with a long horizontal stroke at the end.

Furio Valich  
Architect  
gvARCHITECTURE

## APPENDIX A

### Waste Management Plan

#### Re-Use/Recycling/Disposal

Materials Onsite	Destination			
	Re-Use and Recycling			Disposal
Type of Material	Volume	Onsite Re-Use and Recycling	Offsite Re-Use and Recycling	Offsite Disposal
<b>Excavation Material</b>	Minimum TBC	Savage and Re-use as possible	Transfer to recycling facility	Confirm by Builder before construction
<b>Green Waste</b>	Minimum TBC	Savage and Re-use as possible	Transfer to recycling facility	Confirm by Builder before construction
<b>Weatherboards</b>	Minimum	Savage and Re-use as possible	Transfer to recycling facility	Confirm by Builder before construction
<b>Timber</b>	Minimum	Separate and Savage and Re-use as possible	Transfer to recycling facility	Confirm by Builder before construction
<b>Metals</b>	Minimum	Separate and Savage and Re-use as possible	Transfer to recycling facility	Confirm by Builder before constructio