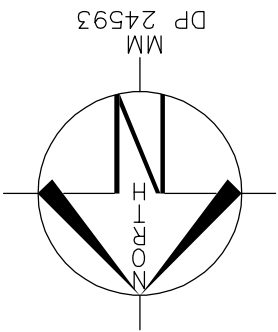
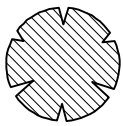


NORTH



DP 24593



DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0848

1&2 STOREY W.B.O.A.R.D. RES. TILE ROOF NO. 14

PROVIDE CONCRETE LANDING & STEPS BY CLARENDON

DROP EDGE BEAM 550H F.F.L TO F.G.L

APPROX. LOCATION OF SEWER

LOCATION OF 2x 6263L SLIMLINE ABOVE GROUND RAINWATER TANKS TO SUIT O.S.D. REQUIREMENTS (3300Lx1050Wx1940H)

BRICK RES. TILE ROOF NO. 9

APPROX. LOCATION OF RETAINING WALL BY OWNER AFTER HANDOVER

LOCATION OF METER BOX

PROPOSED DRIVEWAY & GRATED DRAIN BY OWNER AFTER HANDOVER

LOT 32

APPROX. LOCATION OF SIP (REFER TO HYDRAULICS)

LAUREL CHASE

LOCATION OF AIR CONDITIONING UNIT

PROVIDE CONCRETE LANDING BY CLARENDON

LOT 33

D.P: 24593

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED IN ACCORDANCE WITH WARRINGAH DCP 2011

SITE AREA 561.00 m<sup>2</sup>

ROOF AREA 224.49 m<sup>2</sup>

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 264.14 m<sup>2</sup>  
(MIN. DIMENSION OF 2.0m) 47.08 %

MIN. REQUIRED BY COUNCIL: 40 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 136.46 m<sup>2</sup>  
(MIN. DIMENSION OF 5.0m)

MIN. REQUIRED BY COUNCIL: 60 m<sup>2</sup>

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 8.5 m  
MAXIMUM CEILING HEIGHT 7.2 m  
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)

BUILDING ENVELOPE

BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY

SITE COVERAGE  
STORMWATER CALCULATION

ROOF FOOTPRINT: 224.49m<sup>2</sup>  
DRIVEWAY/ PAVED AREAS: 43.50m<sup>2</sup>  
TOTAL: 267.99m<sup>2</sup>  
47.77 %

MAX SITE COVERAGE FOR OSD: 40%

Maximum 1000mm CUT

DROP EDGE BEAM TO NATURAL GROUND  
NO EXPOSED FILL PERMITTED OUTSIDE BUILDING PERIMETER

WIND CLASSIFICATION: "N2 "

SLAB CLASSIFICATION: " M "

NOTE:

ALL GROUND LINES ARE APPROXIMATE.  
EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:

OWNER TO DEMOLISH & REMOVE FROM SITE EXISTING HOUSE, INCLUDING FOOTINGS & SERVICES ABOVE & BELOW GROUND, PATHS, DRIVE, TREES & FENCES ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

STORMWATER TO STREET VIA RAINWATER TANK AND O.S.D  
REFER TO HYDRAULIC DETAILS

LEVELS ARE STRICTLY TO BE ADHERED TO AS SHOWN ON SITE PLAN  
NO + OR - 100mm TOLERANCE TO LEVELS

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED  
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY  
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION  
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153

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# DIMENSIONS TO BE READ IN

PRODUCT:  
OCEANSIDE 36  
Classic  
L/H Garage  
Sapphire Specification

CLIENT:  
Mr. MARTIN  
Mrs. MARTIN  
SITE ADDRESS:  
Lot 33 No 11 D.P 24593  
Laurel Chase  
CORSEVIEW 2087

DA DRAWINGS

DRAWN: SM	DATE: 15.04.19	Rev: E
RATIO @ A3: 1:200	CHECKED: M.D	
SHEET: 2	JOB No: 29913633	NSW

SMOKE ALARM

AIR CONDITIONING DUCT

FLOOR JOIST DIRECTION

ARTICULATION JOINTS TO ENGINEERS DETAILS

- DP DOWN PIPE LOCATION
- TAP GARDEN TAP LOCATION
- COB LIFT OFF HINGES
- SP STEEL POST
- TSP TELESCOPIC STEEL POST
- EXHAUST FAN

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

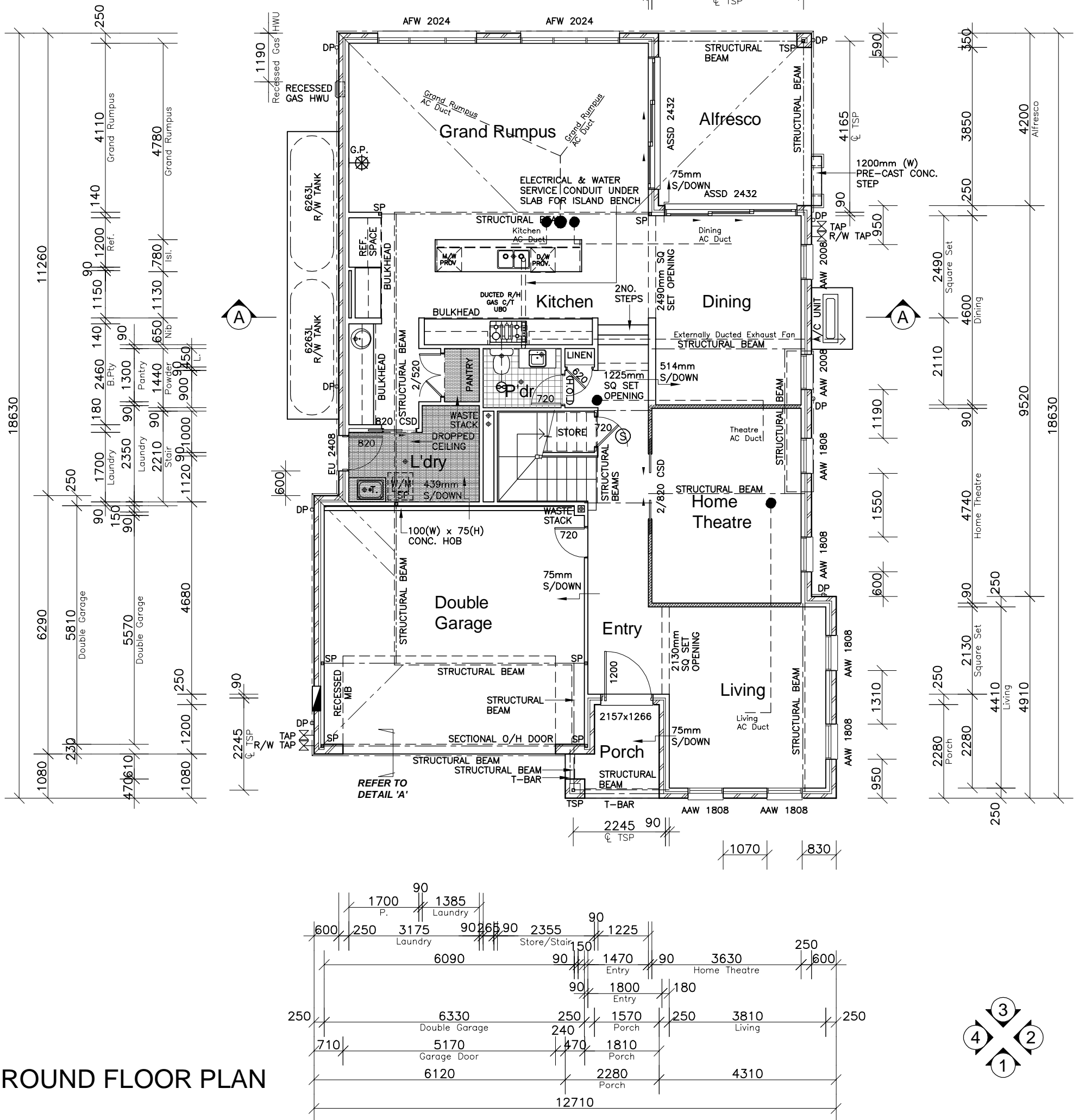
DA2019/0848

NOTE:  
(UNLESS NOTED OTHERWISE)  
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

PROVIDE ACOUSTIC INSULATION WALL BATTS TO INTERNAL WALLS OF HOME THEATRE (ONLY)

NOTE:  
INTERNAL DOOR LEAF HEIGHTS TO REAR STEP DOWN TO BE 2340mm(H)

NOTE:  
PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P



GROUND FLOOR PLAN

CLIENT'S SIGNATURE: DATE:

ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
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# DIMENSIONS TO BE READ IN

PRODUCT:  
OCEANSIDE 36  
Classic  
L/H Garage  
Sapphire Specification

CLIENT:  
Mr. MARTIN  
Mrs. MARTIN  
SITE ADDRESS:  
Lot 33 No 11 D.P 24593  
Laurel Chase  
EOPSETVILLE 2087

DA DRAWINGS

DRAWN: PG.	DATE: 15.05.19	Rev:
RATIO @ A3: 1:100	CHECKED: M.D	E
SHEET: 3	JOB No: 29913633	NSW

Ⓢ SMOKE ALARM
 ● AIR CONDITIONING DUCT

DP ○ DOWN PIPE LOCATION

TAP ⌵ GARDEN TAP LOCATION

ⓁⓄⓁ LIFT OFF HINGES

SP ■ STEEL POST

TSP ■ TELESCOPIC STEEL POST

Ⓢ EXHAUST FAN

ARTICULATION JOINTS TO ENGINEERS DETAILS

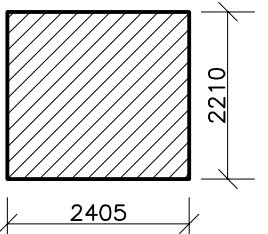


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0848

NOTE:  
(UNLESS NOTED OTHERWISE)

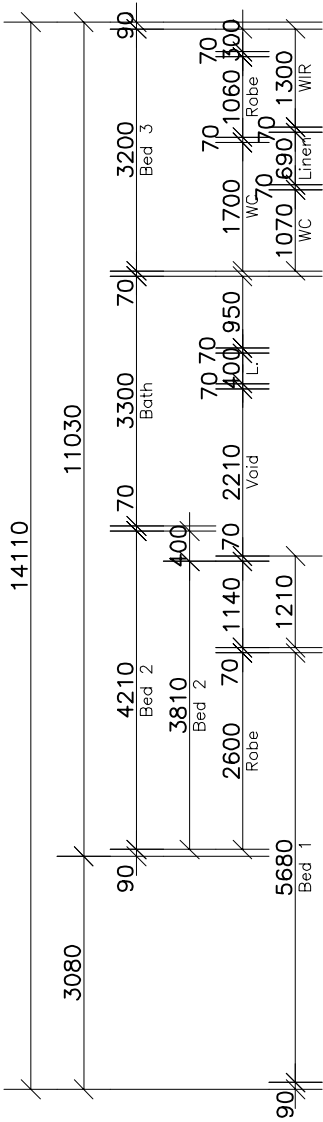
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS



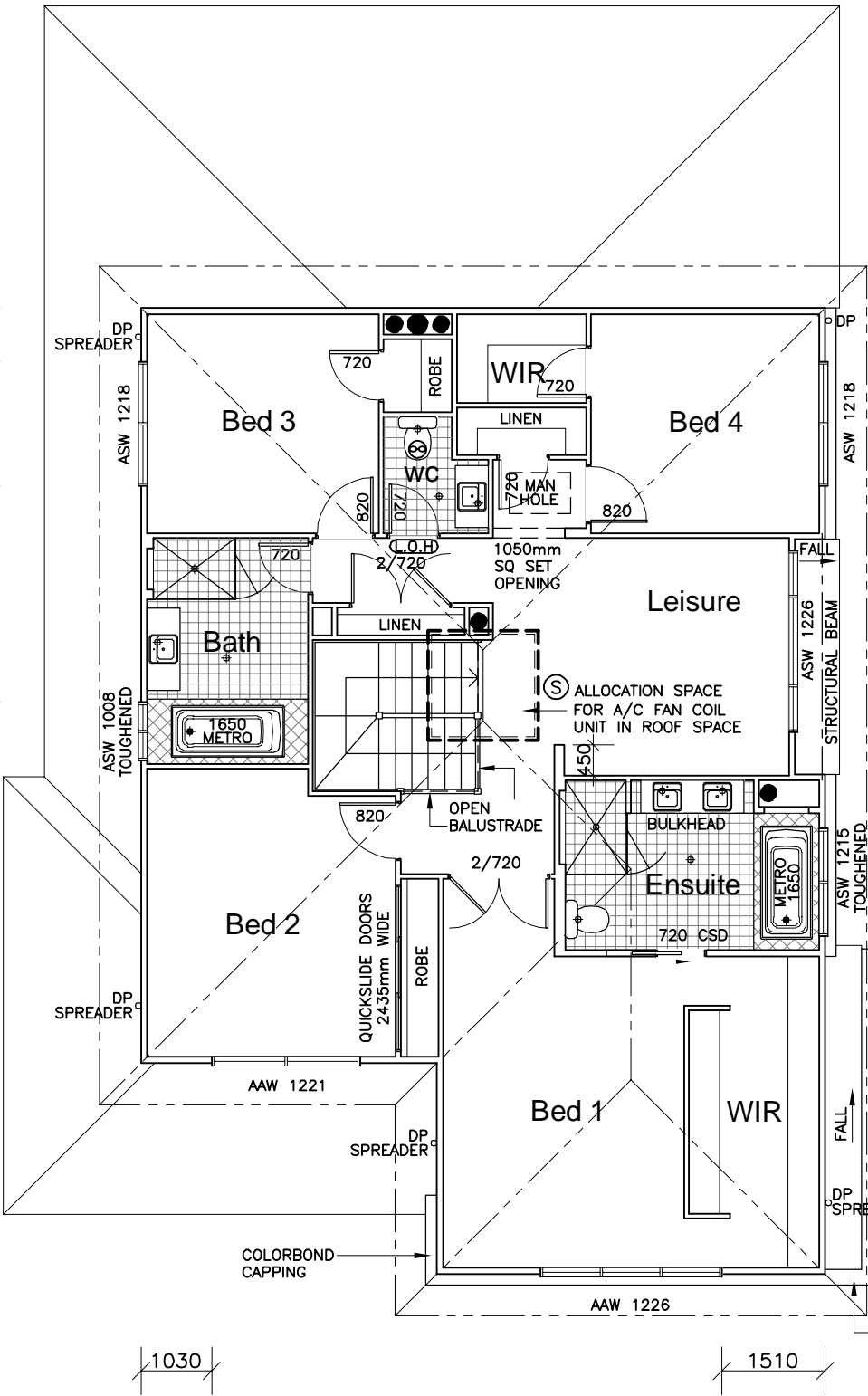
STAIR CUTOUT  
SCALE 1:100

NOTE:  
SHOWER NOOK/RECESS REFER TO **CDN 54.240** & SHEET 10 FOR DETAILS

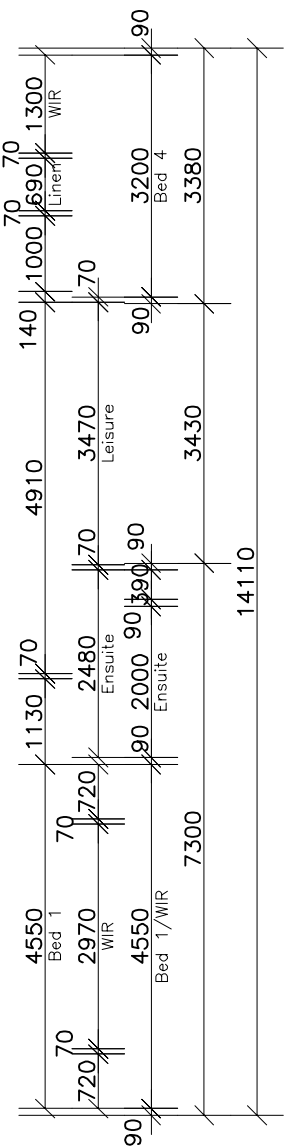
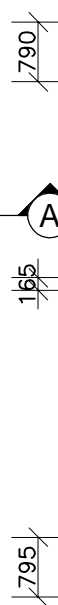
NOTE:  
ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS



A

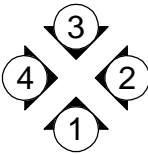
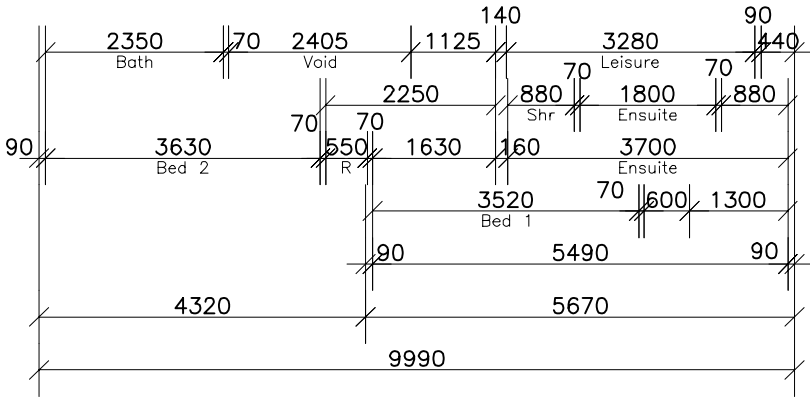


A



BRICK VENEER PARAPET. REFER TO **CDN 36.100**

FIRST FLOOR PLAN



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
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# DIMENSIONS TO BE READ IN REFERENCE TO SCALE

PRODUCT:  
**OCEANSIDE 36**  
Classic  
L/H Garage  
  
Sapphire Specification

CLIENT:  
Mr. MARTIN  
Mrs. MARTIN  
  
SITE ADDRESS:  
Lot 33 No 11 D.P 24593  
Laurel Chase  
FORSETVILLE 2087

DA DRAWINGS

DRAWN: PG.	DATE: 15.05.19	Rev: <b>E</b>
RATIO @ A3: 1:100	CHECKED: M.D	
SHEET: <b>4</b>	JOB No: <b>29913633</b>	NSW



NOTE:  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

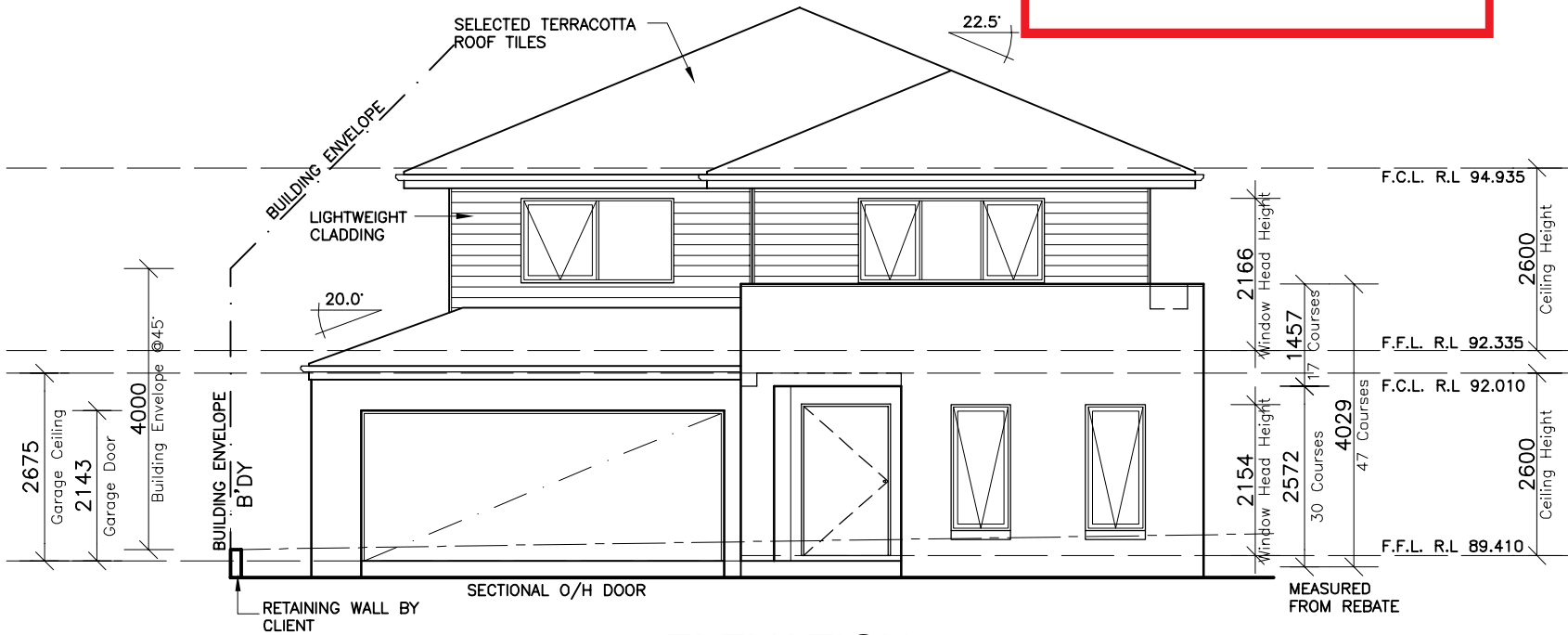
NOTE:  
NUMBER OF STEPS REQUIRED MAY  
VARY DEPENDING ON SITE  
CONDITIONS



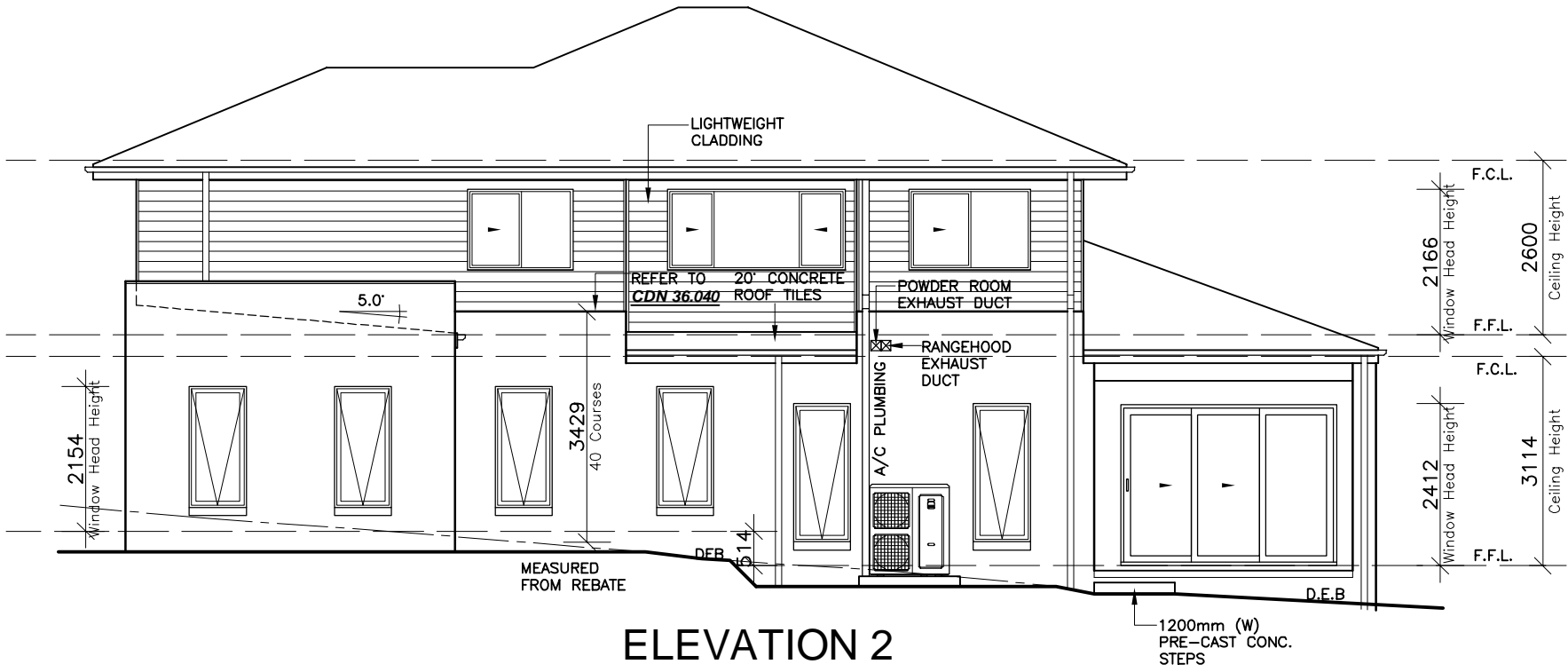
THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2019/0848

NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**



ELEVATION 1  
-NORTH-



ELEVATION 2  
-WEST-

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
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Clarendon Homes (NSW) P/L  
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# DIMENSIONS TO BE READ IN  
CONJUNCTION WITH THE  
CONDITIONS OF DEVELOPMENT  
CONSENT

PRODUCT:  
**OCEANSIDE 36**  
Classic  
L/H Garage  
  
Sapphire Specification

CLIENT:  
**Mr. MARTIN**  
**Mrs. MARTIN**

SITE ADDRESS:  
**Lot 33 No 11 D.P 24593**  
**Laurel Chase**  
**FORSETT HILL 2087**

DA DRAWINGS

DRAWN:  
PG.

RATIO @ A3:  
1:100

SHEET:  
**5**

DATE:  
15.05.19

CHECKED:  
M.D

JOB No:  
**29913633**

Rev:

**E**

NSW

**NOTE:**  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

**NOTE:**  
NUMBER OF STEPS REQUIRED MAY  
VARY DEPENDING ON SITE  
CONDITIONS

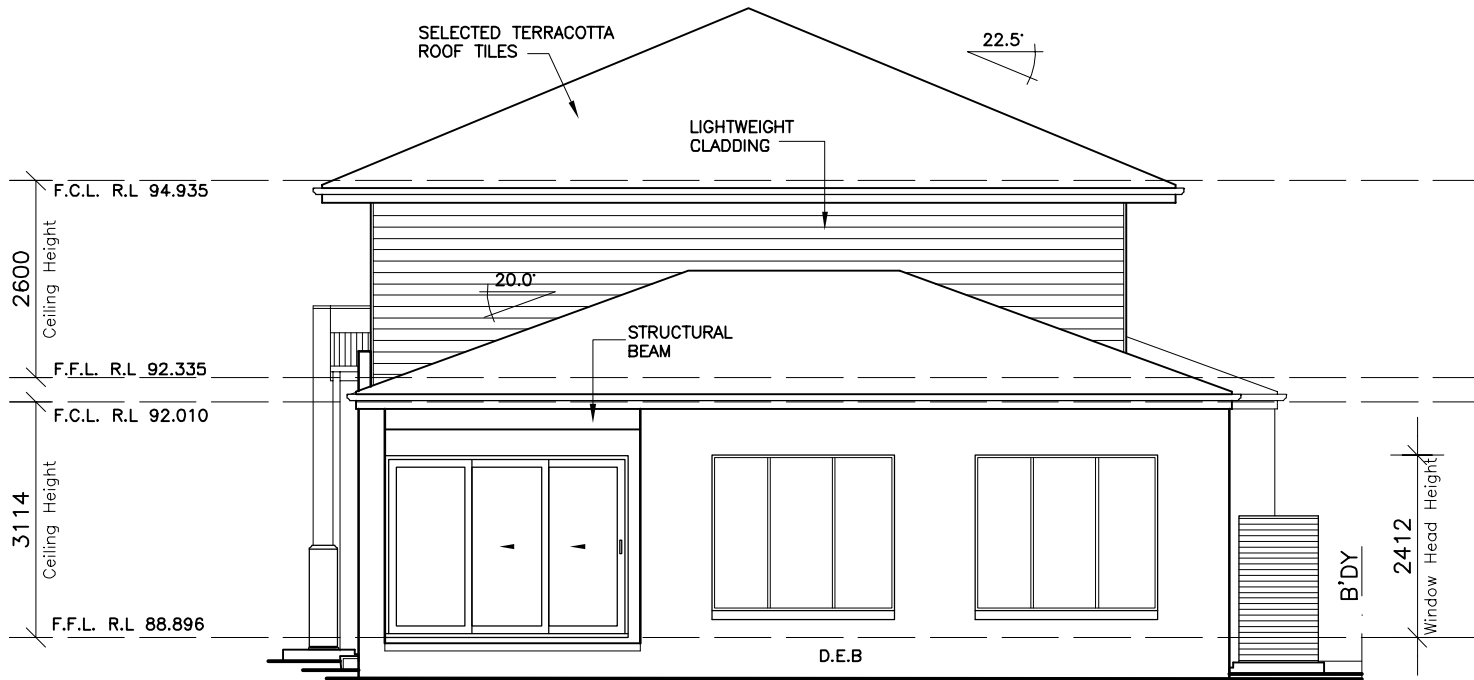


northern  
beaches  
council

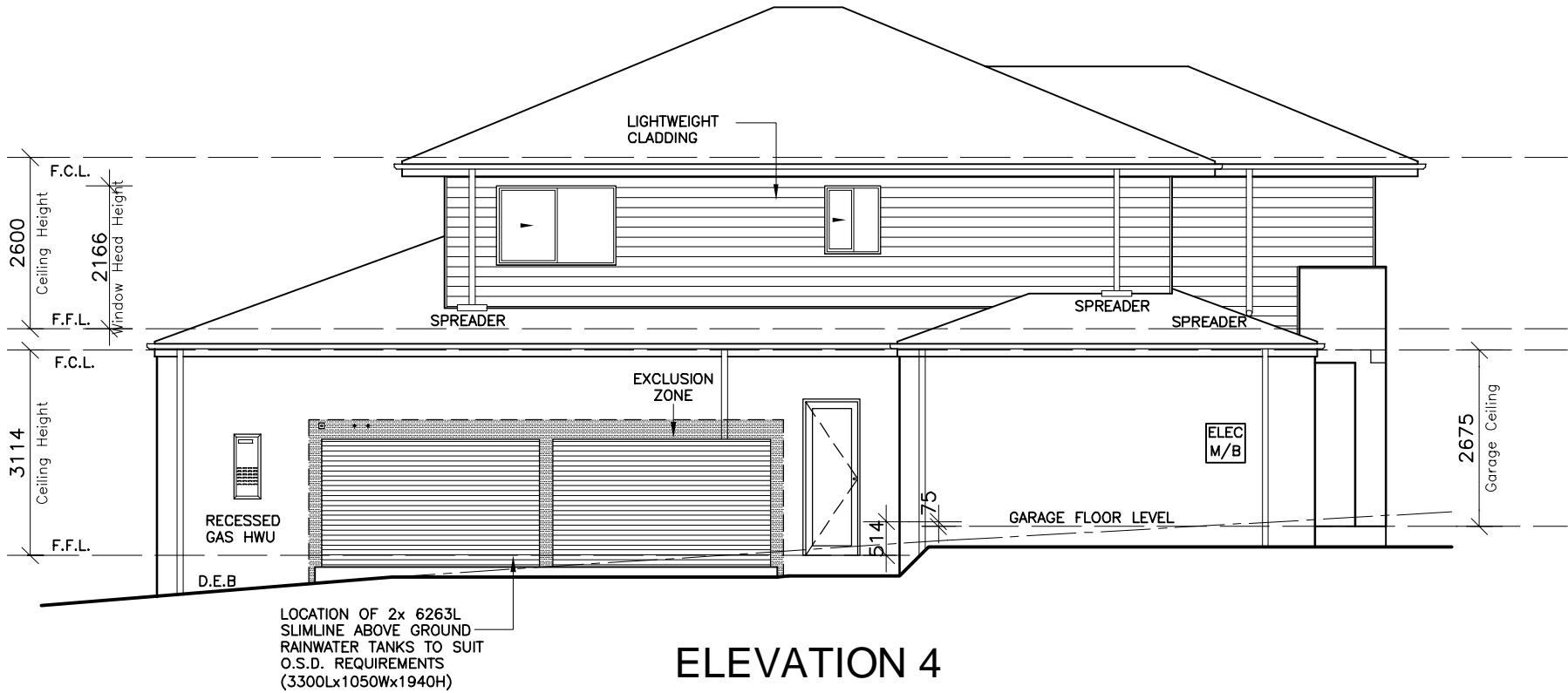
**NOTES:**  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2019/0848**



**ELEVATION 3  
-SOUTH-**



**ELEVATION 4  
-EAST-**

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

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21 Solent Circuit, Baulkham Hills NSW 2153  
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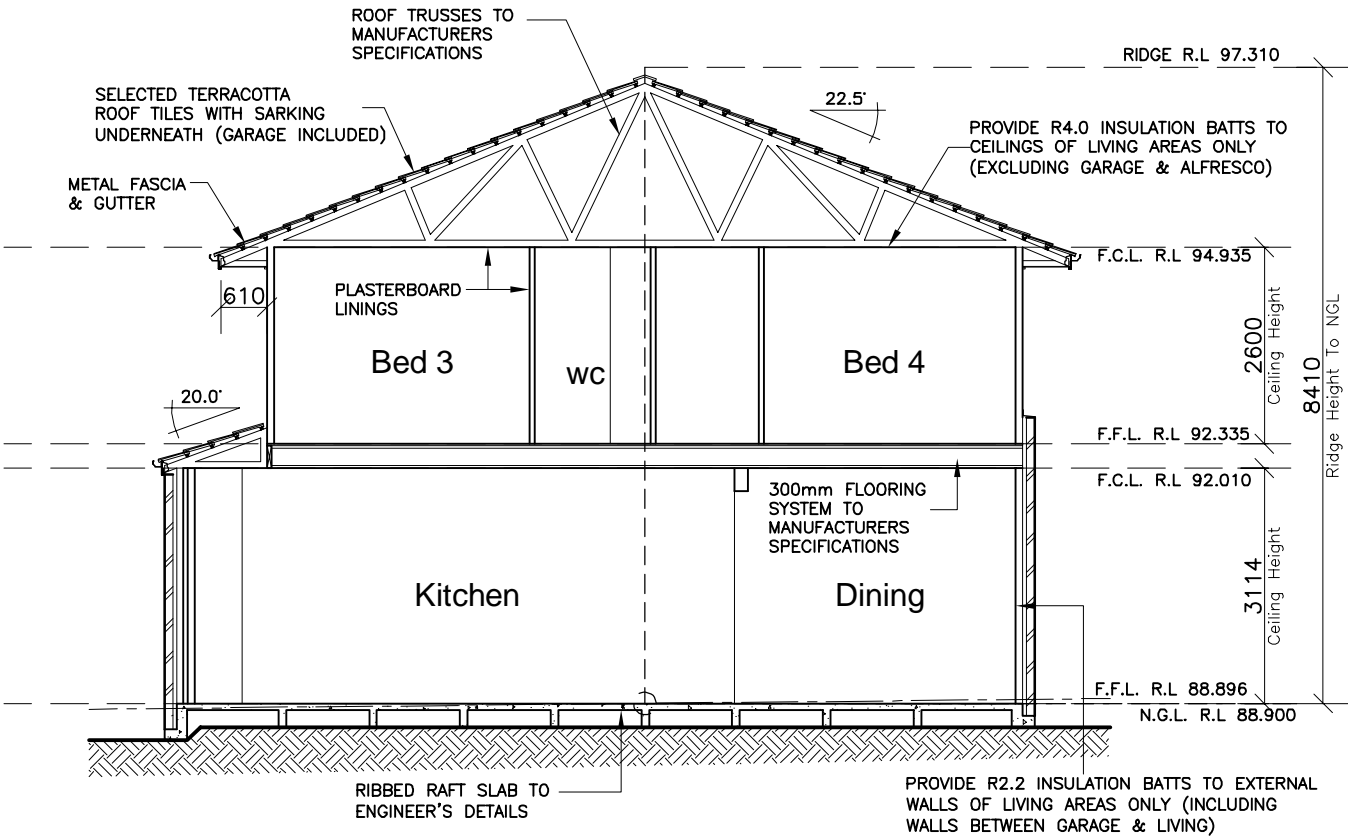
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# DIMENSIONS TO BE READ IN  
CONJUNCTION WITH THE

PRODUCT:  
**OCEANSIDE 36  
Classic  
L/H Garage**  
  
Sapphire Specification

CLIENT:  
**Mr. MARTIN  
Mrs. MARTIN**  
  
SITE ADDRESS:  
**Lot 33 No 11 D.P 24593  
Laurel Chase  
FORSETT HILL E 2087**

**DA DRAWINGS**

DRAWN: PG.	DATE: 15.05.19	Rev: <b>E</b>
RATIO @ A3: 1:100	CHECKED: M.D	
SHEET: <b>6</b>	JOB No: <b>29913633</b>	<b>NSW</b>



SECTION A-A.



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2019/0848

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

<div>ClarendonHomes</div> <div><div>BL No. 2298C ABN 18 003 892 706</div><div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8854 5000</div></div>	<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN CONJUNCTION TO DRAWING</div>	<div>PRODUCT: OCEANSIDE 36 Classic L/H Garage  Sapphire Specification</div>	<div>CLIENT: Mr. MARTIN Mrs. MARTIN  SITE ADDRESS: Lot 33 No 11 D.P 24593 Laurel Chase FOPSETVILLE 2087</div>	DA DRAWINGS		
				DRAWN: PG.	DATE: 15.05.19	Rev: E
				RATIO @ A3: 1:100	CHECKED: M.D	
				SHEET: 7	JOB No: 29913633	NSW

NORTH

DP 24593

LOT 33  
D.P: 24593  
L.G.A: NORTHERN BEACHES

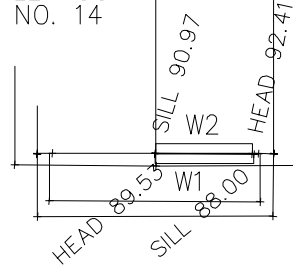
SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
WARRINGAH DCP 2011



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2019/0848

1&2 STOREY  
W.B.O.A.R.D. RES.  
TILE ROOF  
NO. 14



GARAGE

LOT 33  
561 m<sup>2</sup>

APPROXIMATE LOCATION  
OF SEDIMENT FENCE

BRICK RES.  
TILE ROOF  
NO. 9

PORTABLE TOILET

LOT 32

ALL WEATHER  
ACCESS POSITION

LAUREL CHASE (AHD)

LAUREL CHASE

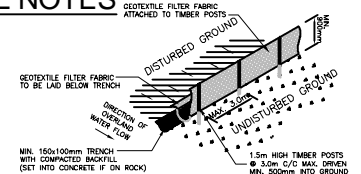
SEDIMENT FENCE AROUND  
WASTE MATERIALS

**NOTE:**  
TEMPORARY SECURITY FENCING TO  
THE PERIMETER OF THE BOUNDARY  
WHERE REQUIRED TO PREVENT  
PUBLIC ACCESS ONTO THE SITE

**NOTE:**  
GROUND LINES ARE APPROXIMATE.  
EXTENT OF CUT AND FILL BATTERS  
WILL BE DETERMINED ON SITE.  
SEDIMENT BARRIERS ARE  
CUSTOMISED TO SITE CONDITIONS

#### SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE  
NOT TO SCALE

## CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
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T: (02) 8854 5555

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# DIMENSIONS TO BE READ IN  
CONJUNCTION WITH THE  
DRAWING

PRODUCT:  
**OCEANSIDE 36**  
Classic  
L/H Garage  
  
Sapphire Specification

CLIENT:  
**Mr. MARTIN**  
**Mrs. MARTIN**  
  
SITE ADDRESS:  
**Lot 33 No 11 D.P 24593**  
**Laurel Chase**  
**FORSETVILLE 2087**

#### DA DRAWINGS

DRAWN: PG.	DATE: 15.05.19	Rev:
RATIO @ A3: 1:200	CHECKED: M.D	E
SHEET: 2 1	JOB No: 29913633	NSW