

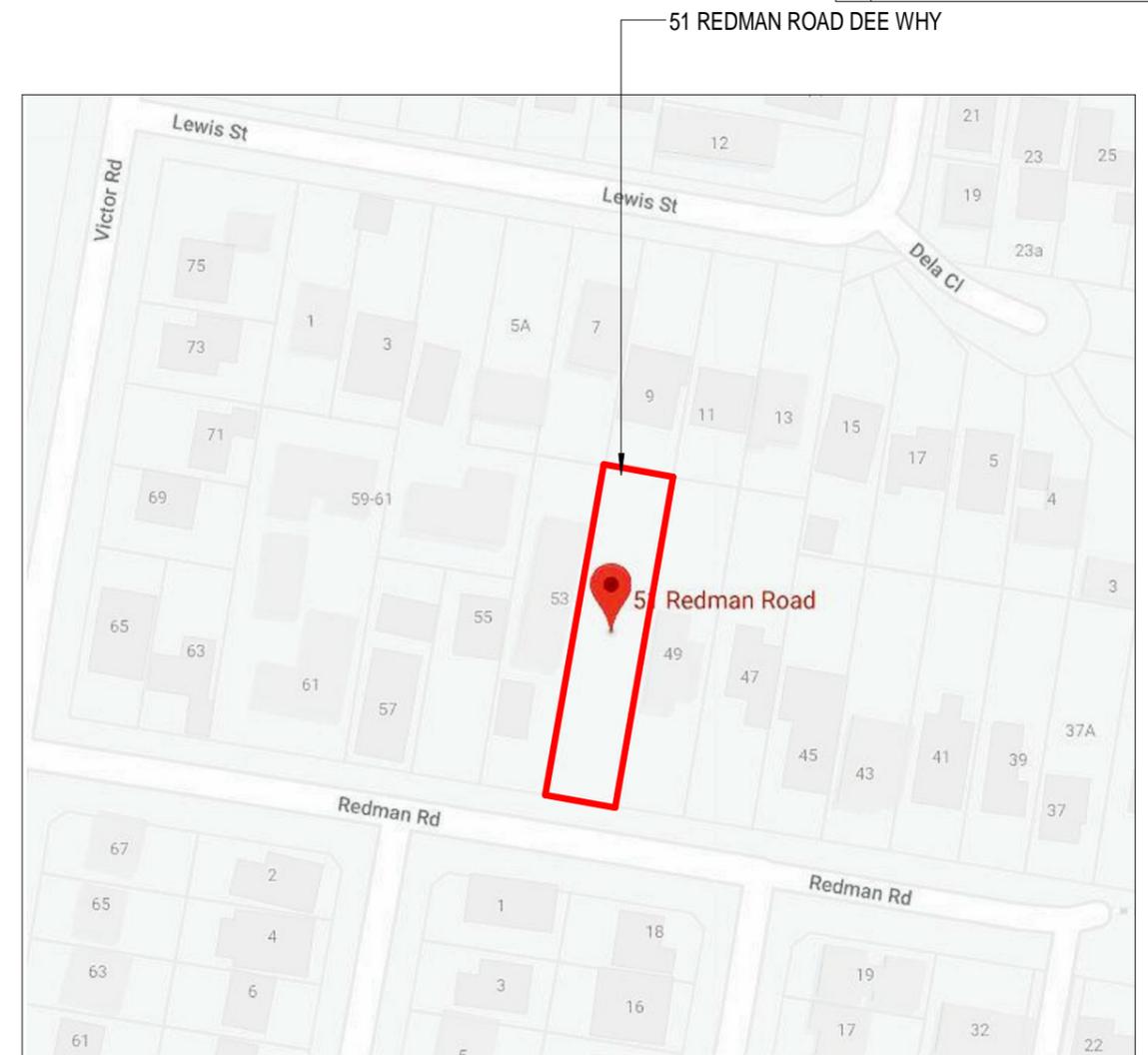
G.J. Gardner. HOMES

PROJECT: NEW DWELLING
ADDRESS: 51 REDMAN ROAD, DEE WHY NSW 2099

LOT #: D
DP #: 420004

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	03/04/2019
B	ADJUST LOCATION OF GARAGE; ADJUST GRANNY FLAT LOCATION; CHANGED CEILING HEIGHTS; CHANGES TO GRANNY FLAT DESIGN.	08/04/2019
C	CHANGES TO DRIVEWAY, GRANNY FLAT LAUNDRY, GARAGE ROOF, KITCHEN, STAIRS.	27/05/2019
D	ADJUST SIZE OF DETACHED GARAGE	07/06/2019
E	UPDATE TO FULL SET DA ISSUE	28/06/2019
F	ADDED SLAB PLAN	23/09/2019
G	REDESIGN OF MAIN HOUSE AND ADJUST LOCATIONS OF BUILDINGS	13/11/2019
H	MOVE GRANNY FLAT	20/11/2019
J	MOVE GRANNY FLAT	28/11/2019

DRAWING LIST			
DRAWING No	DRAWING NAME	REVISION	DATE
A01	COVER SHEET	J	28/11/2019
A02	SHADOW DIAGRAM	J	28/11/2019
A03	SITE PLAN	J	28/11/2019
A04	GRANNY FLAT PLAN & SECTIONS	J	28/11/2019
A05	ELEVATIONS (GRANNY FLAT)	J	28/11/2019
A06	WORKSHOP	J	28/11/2019
A07	ELEVATIONS (WORKSHOP)	J	28/11/2019
A08	GROUND FLOOR (MAIN HOUSE)	J	28/11/2019
A09	FIRST FLOOR (MAIN HOUSE)	J	28/11/2019
A10	ELEVATIONS (MAIN HOUSE)	J	28/11/2019
A11	ELEVATIONS (MAIN HOUSE)	J	28/11/2019
A12	SECTIONS (MAIN HOUSE)	J	28/11/2019
A13	EXISTING SURVEY	J	28/11/2019
A14	EROSION & SEDIMENT	J	28/11/2019
A15	WASTE MANAGEMENT	J	28/11/2019
A16	SITE ANALYSIS	J	28/11/2019
A17	LANDSCAPE PLAN	J	28/11/2019
A18	DEMOLITION PLAN	J	28/11/2019
A19	BASIX COMMITMENT	J	28/11/2019
A20	SLAB PLAN	J	28/11/2019
A21	OVERALL SECTION	J	28/11/2019



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 Builders Details

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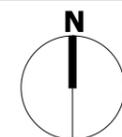
DRAFTERS:

 SUITE 302
 5 CELEBRATION DRIVE
 BELLA VISTA NSW 2153
 ABN 15 078 937 238
 (02) 8883 4344 kjrdrafting@kjr.net.au

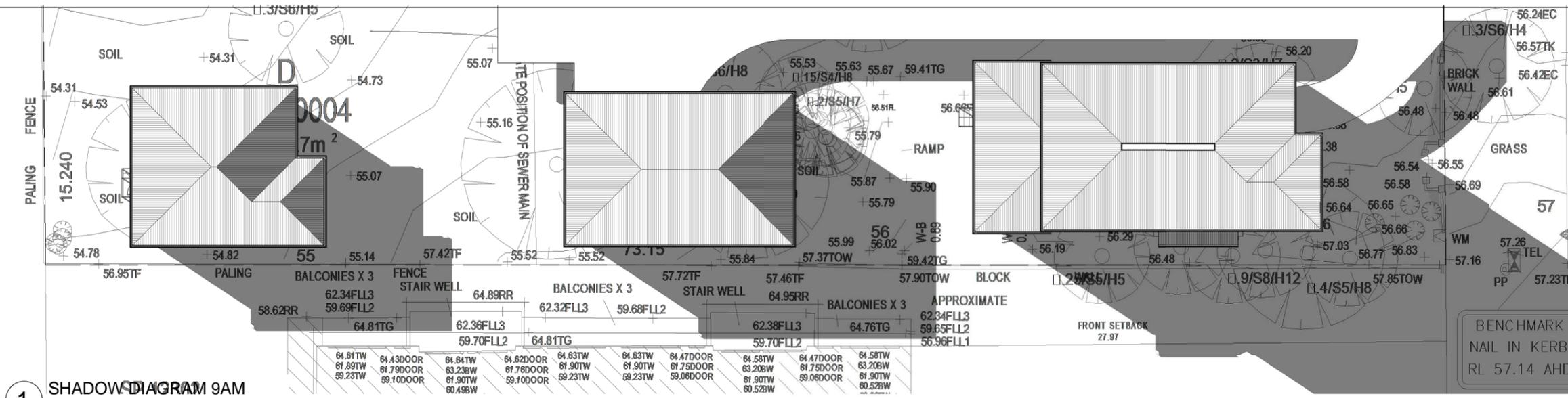
CLIENT: DOUBLE STOREY DWELLING
WOHL
 DRAWING TITLE:
COVER SHEET
 SCALE: 1 : 100

PROJECT:
**51 REDMAN ROAD, DEE WHY
 NSW 2099**

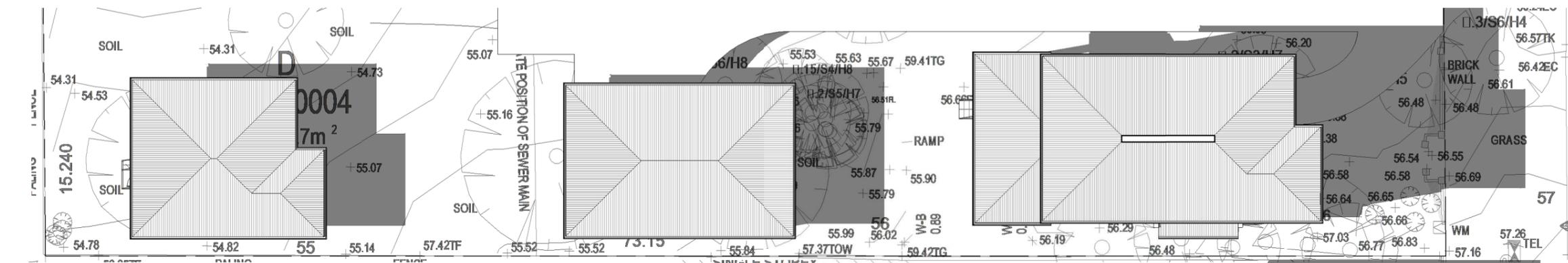
SHEET SIZE: **A3** SHEET No: **A01** REVISION: **J**
 DATE: **28/11/2019**
 JOB NO: 230250 STAGE: DA
 DRAWN: NF GJGN090



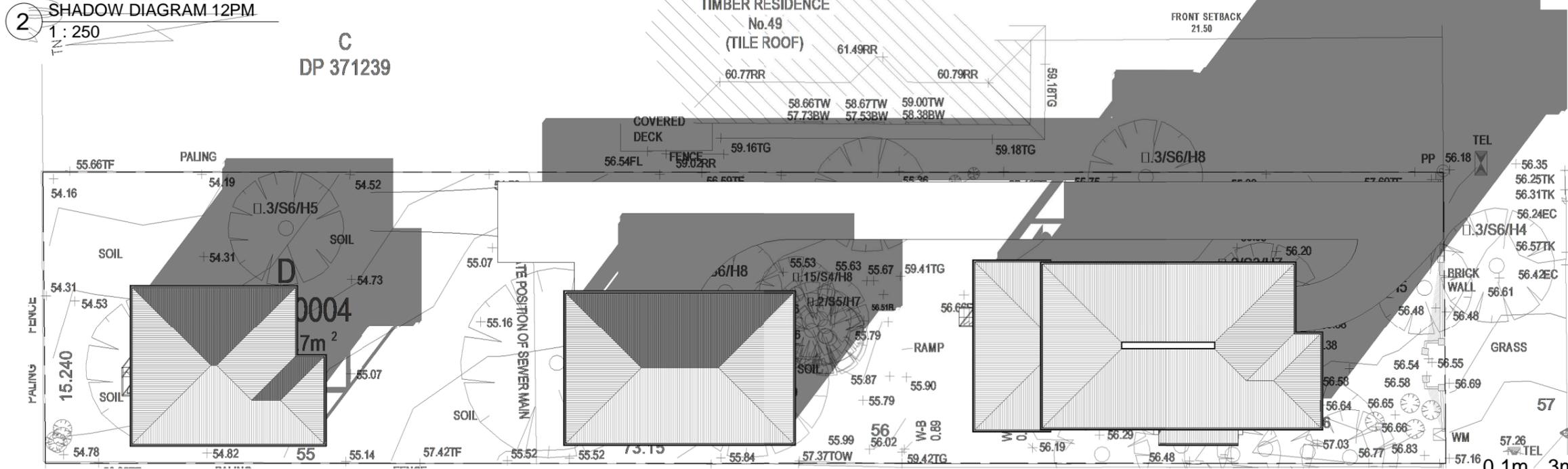
DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
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J	MOVE GRANNY FLAT	28/11/2019



1 SHADOW DIAGRAM 9AM
1 : 250



2 SHADOW DIAGRAM 12PM
1 : 250



3 SHADOW DIAGRAM 3PM
1 : 250

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Builders Details

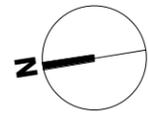
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(02) 8883 4344 kjrdrafting@kjr.net.au

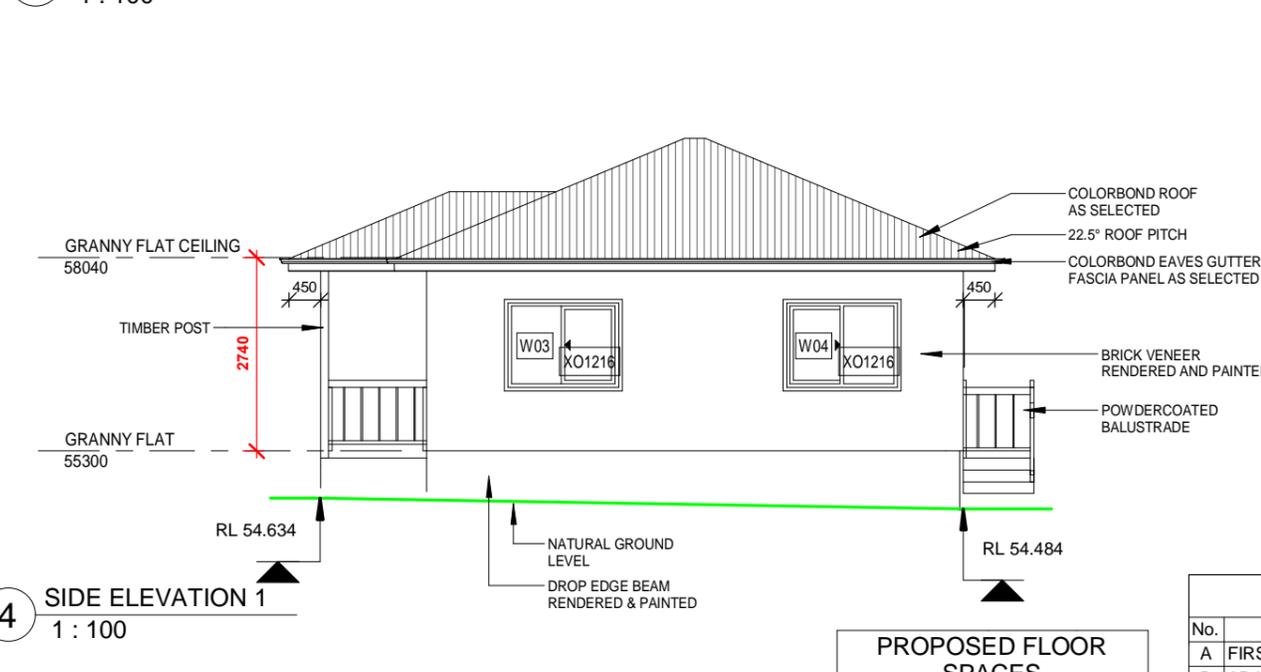
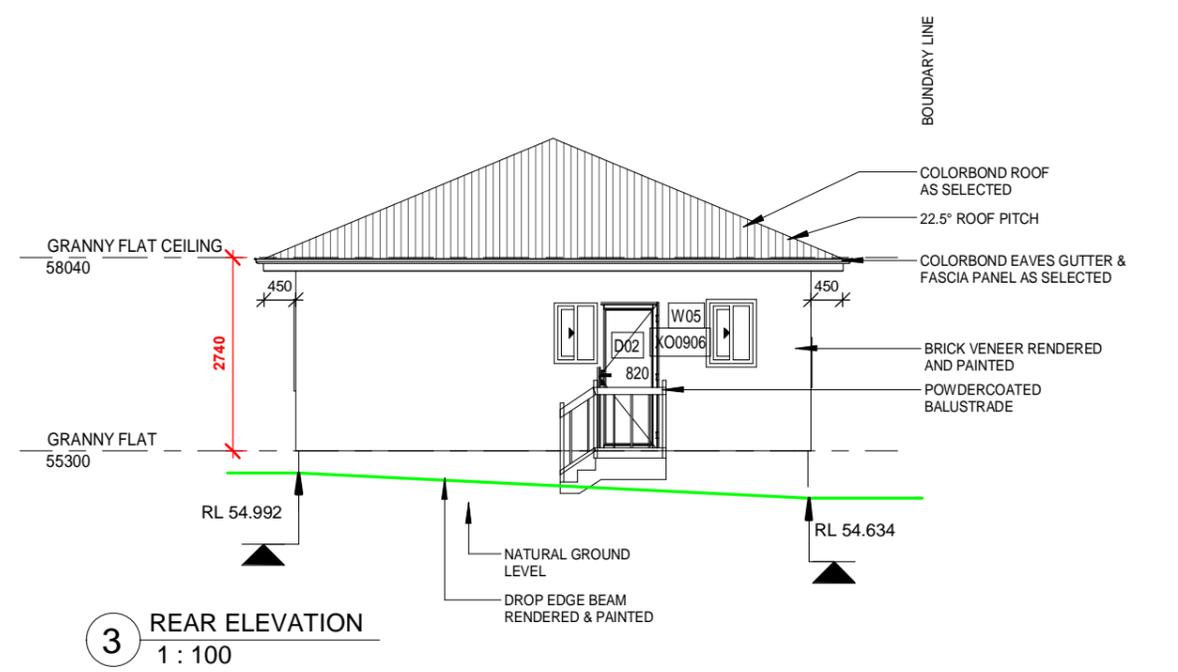
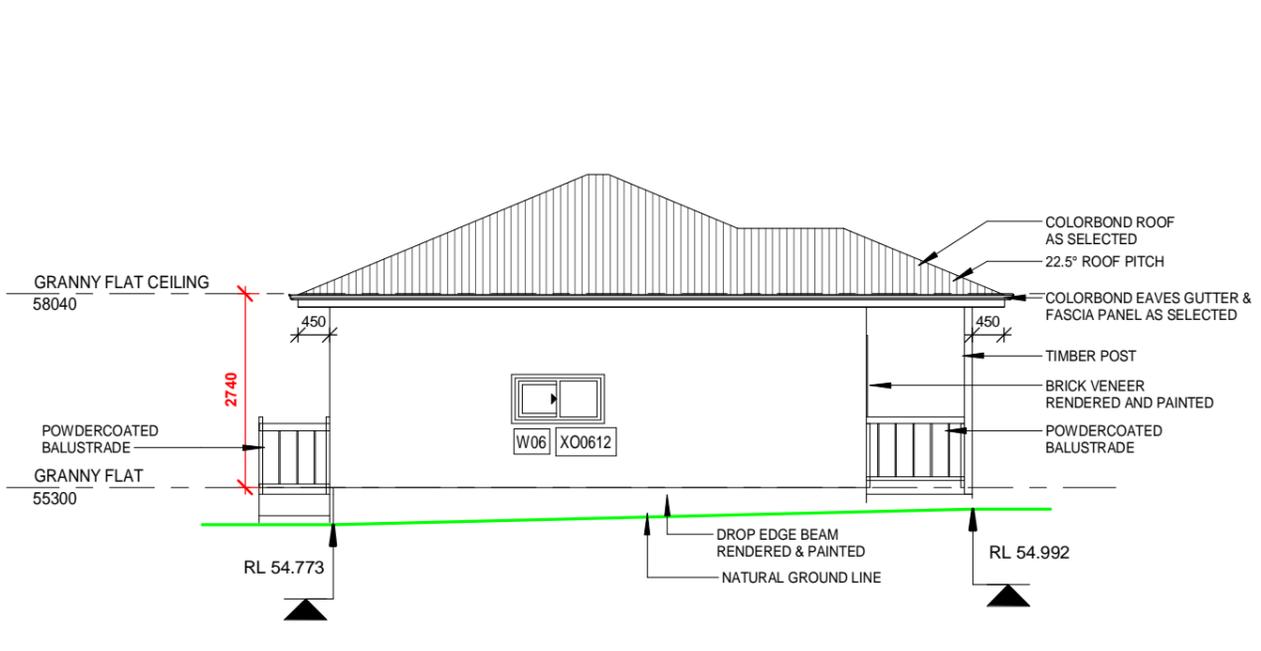
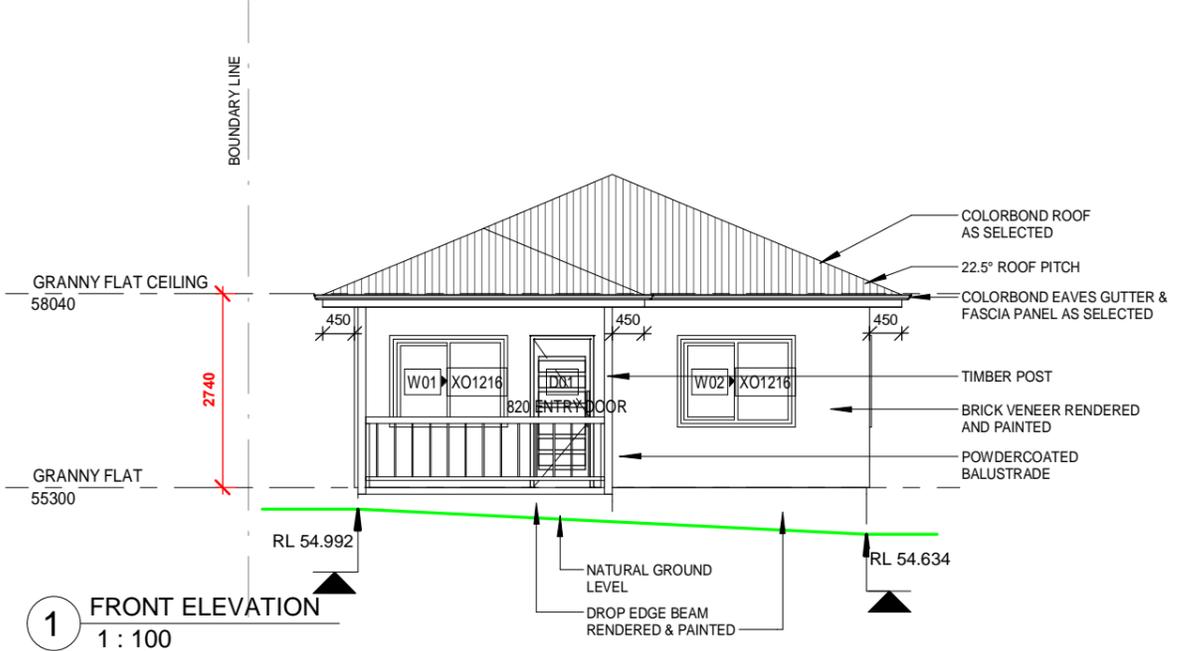
CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
SHADOW DIAGRAM
SCALE: 1 : 250

PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**

SHEET SIZE: SHEET No: REVISION:
A3 A02 J
DATE: 28/11/2019
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090



REFER TO COLOUR SELECTION FOR BATHROOM AND LAUNDRY FINAL LAYOUT & FINISHES

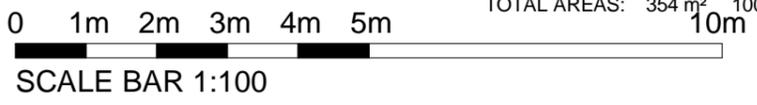


DOOR SCHEDULE		
Code	Width	Height
D01	820	2100
D02	870	2100
D03	820	2100
D04	1020	2100
D05	1570	2100
D06	2170	2100
D07	2170	2100

WINDOW SCHEDULE		
Code	Width	Height
W01	1570	1200
W02	1570	1200
W03	1570	1200
W04	1570	1200
W05	610	860
W06	1210	600
W07	1810	1030
W08	850	1200
W09	850	1200
W10	610	860
W11	610	860
W12	1810	1030
W13	1810	1030
W14	1210	1800
W15	450	1800
W16	2650	600
W17	850	1460
W18	850	1460
W19	2410	1460
W20	2650	860
W21	1810	600
W22	2170	1800
W23	610	1200
W24	610	1200
W25	1570	860
W26	610	860
W27	1210	860
W28	2170	860
W29	2170	860
W30	2170	860
W31	1800	900
W32	2170	860
W33	2170	600

PROPOSED FLOOR SPACES		
NAME	AREA	%
ALFRESCO	14 m ²	4%
FIRST FLOOR	90 m ²	25%
GARAGE	115 m ²	33%
GRANNY FLAT	51 m ²	15%
MAIN HOUSE	81 m ²	23%
PORCH	2 m ²	1%
TOTAL AREAS:	354 m²	100%

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
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J	MOVE GRANNY FLAT	28/11/2019

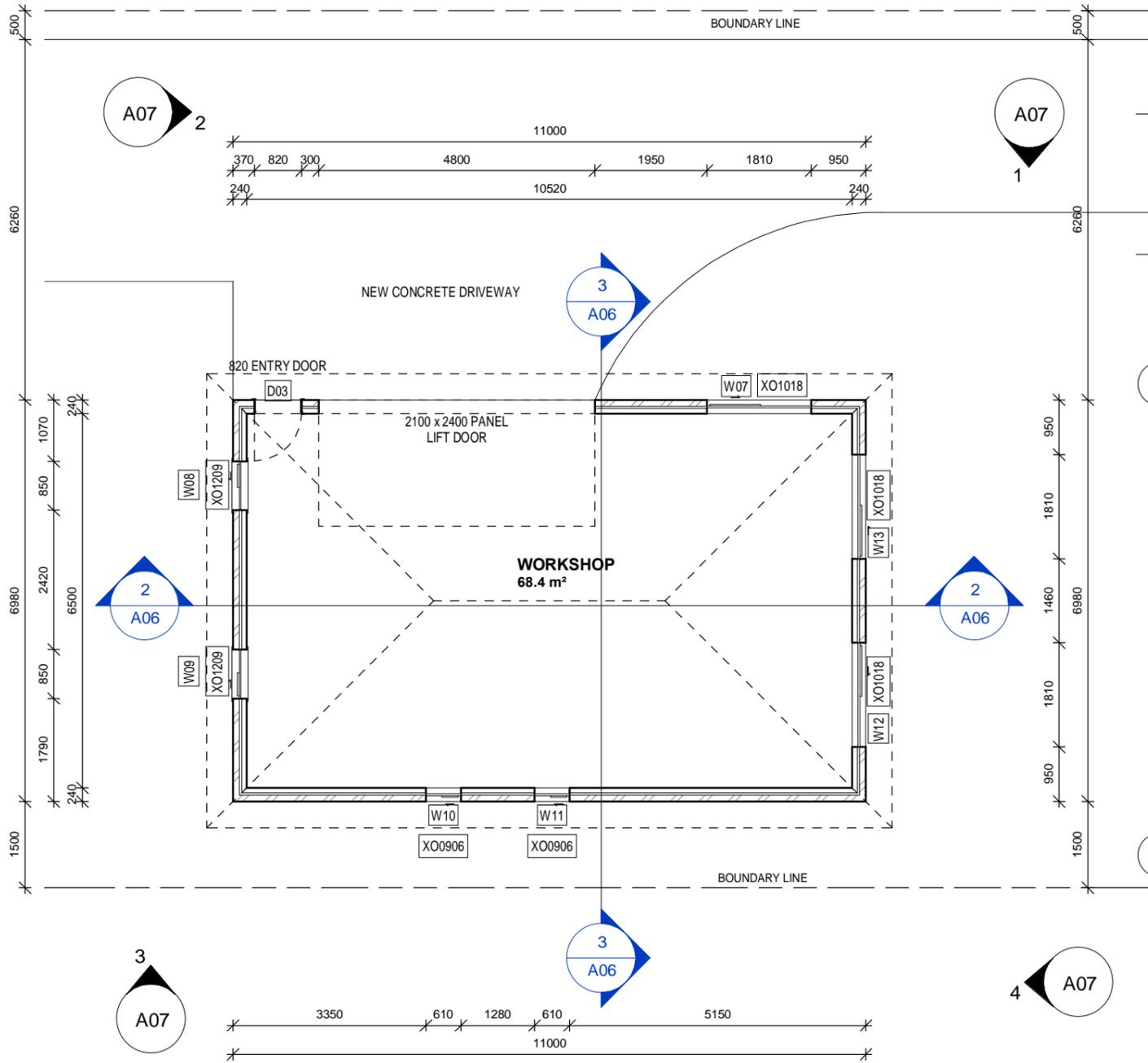


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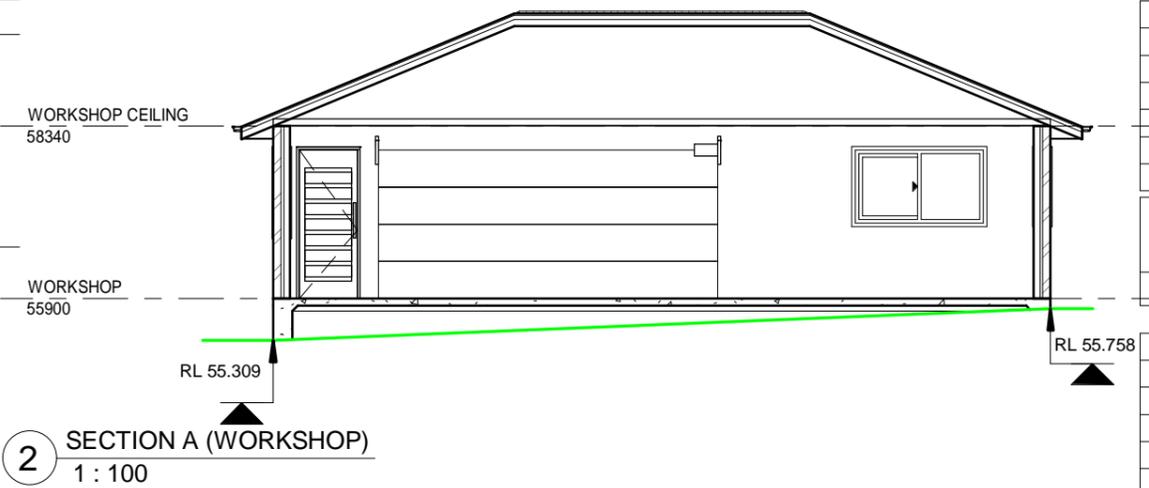
G.J. Gardner. HOMES Builders Details	DRAFTERS: SUITE 302 5 CELEBRATION DRIVE BELLA VISTA NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrafting@kjr.net.au	CLIENT: DOUBLE STOREY DWELLING WOHL	PROJECT: 51 REDMAN ROAD, DEE WHY NSW 2099	SHEET SIZE: A3 SHEET No: A05 REVISION: J
		DRAWING TITLE: ELEVATIONS (GRANNY FLAT) SCALE: 1 : 100	DATE: 28/11/2019	JOB NO: 230250 STAGE: DA

REFER TO COLOUR SELECTION FOR BATHROOM AND LAUNDRY FINAL LAYOUT & FINISHES

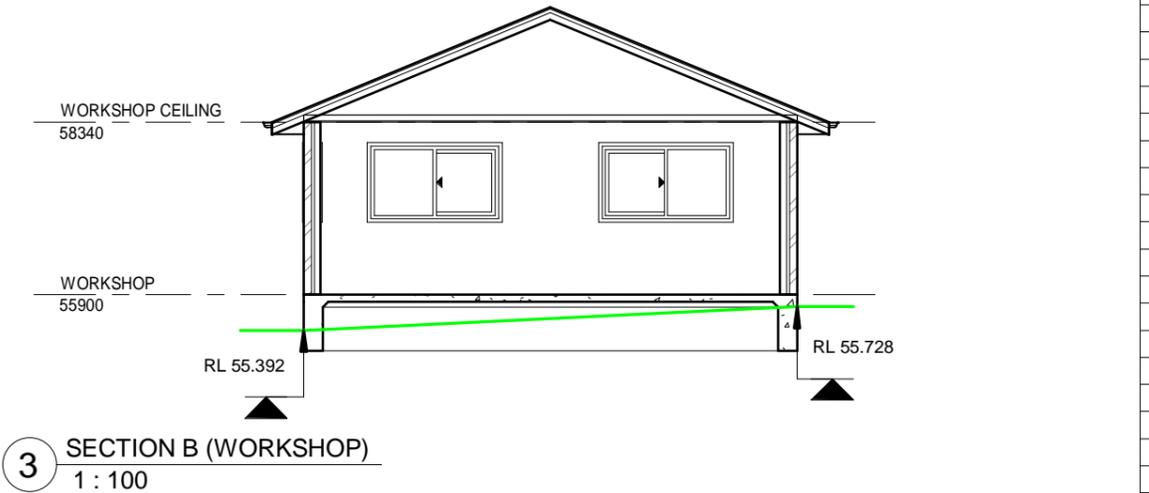
Lot D
DP 420004
1114.7m²



1 WORKSHOP
1 : 100



2 SECTION A (WORKSHOP)
1 : 100



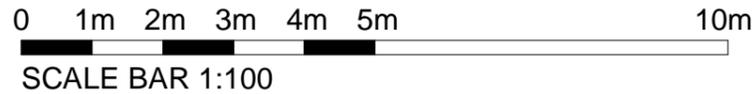
3 SECTION B (WORKSHOP)
1 : 100

DOOR SCHEDULE		
Code	Width	Height
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D02	870	2100
D03	820	2100
D04	1020	2100
D05	1570	2100
D06	2170	2100
D07	2170	2100

WINDOW SCHEDULE		
Code	Width	Height
W01	1570	1200
W02	1570	1200
W03	1570	1200
W04	1570	1200
W05	610	860
W06	1210	600
W07	1810	1030
W08	850	1200
W09	850	1200
W10	610	860
W11	610	860
W12	1810	1030
W13	1810	1030
W14	1210	1800
W15	450	1800
W16	2650	600
W17	850	1460
W18	850	1460
W19	2410	1460
W20	2650	860
W21	1810	600
W22	2170	1800
W23	610	1200
W24	610	1200
W25	1570	860
W26	610	860
W27	1210	860
W28	2170	860
W29	2170	860
W30	2170	860
W31	1800	900
W32	2170	860
W33	2170	600

PROPOSED FLOOR SPACES		
NAME	AREA	%
ALFRESCO	14 m ²	4%
FIRST FLOOR	90 m ²	25%
GARAGE	115 m ²	33%
GRANNY FLAT	51 m ²	15%
MAIN HOUSE	81 m ²	23%
PORCH	2 m ²	1%
TOTAL AREAS:	354 m ²	100%

DRAWING REVISION SCHEDULE		
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J	MOVE GRANNY FLAT	28/11/2019



G.J. Gardner. HOMES
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
WORKSHOP
SCALE: 1 : 100

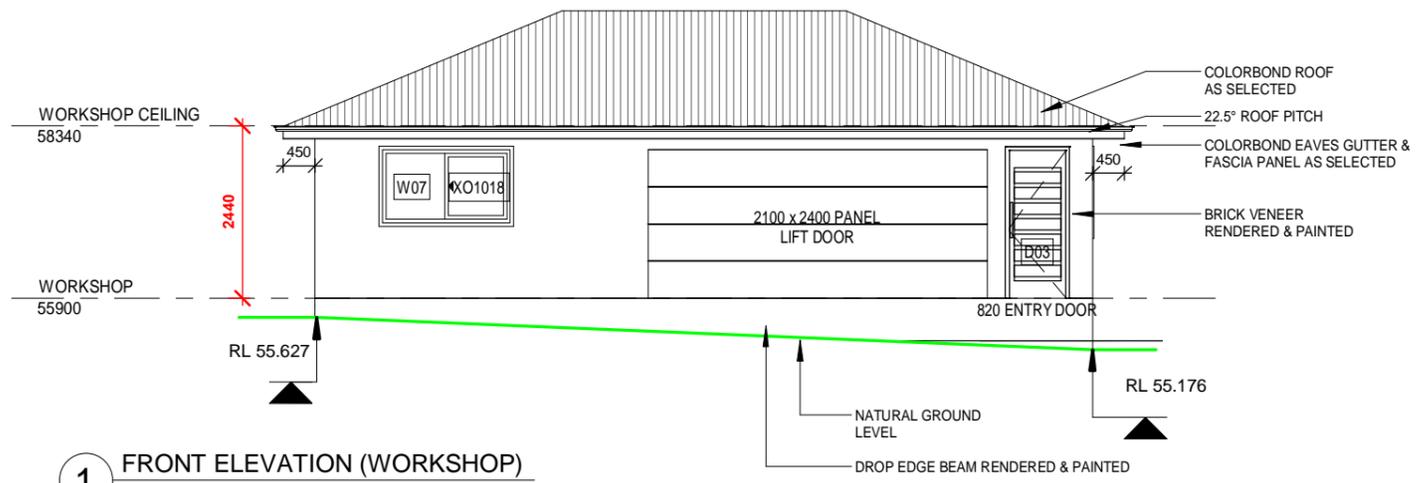
PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**
STAGE: DA

SHEET SIZE: **A3** SHEET No: **A06** REVISION: **J**
DATE: **28/11/2019**
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090

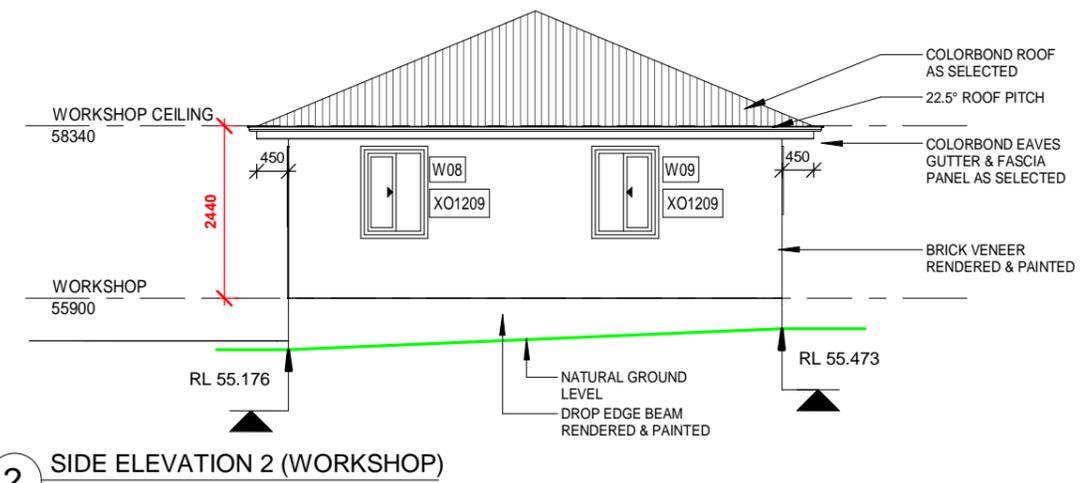


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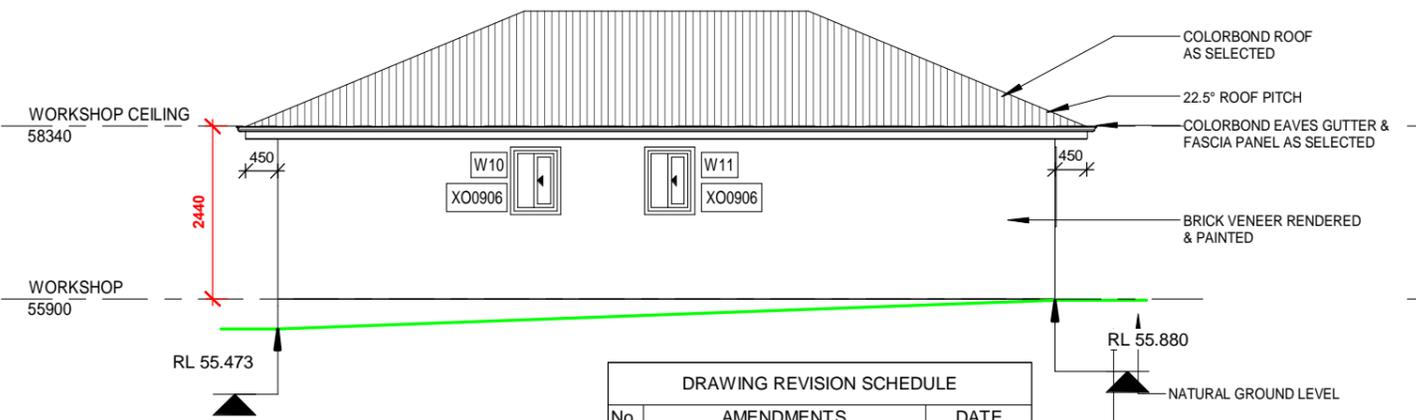
REFER TO COLOUR SELECTION FOR BATHROOM AND LAUNDRY FINAL LAYOUT & FINISHES



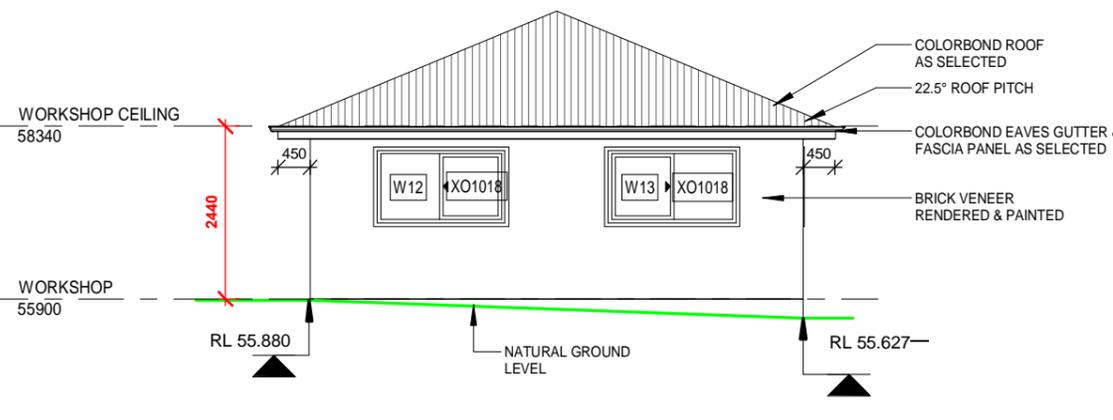
1 FRONT ELEVATION (WORKSHOP)
1 : 100



2 SIDE ELEVATION 2 (WORKSHOP)
1 : 100



3 REAR ELEVATION (WORKSHOP)
1 : 100



4 SIDE ELEVATION (WORKSHOP)
1 : 100

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	03/04/2019
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H	MOVE GRANNY FLAT	20/11/2019
J	MOVE GRANNY FLAT	28/11/2019

PROPOSED FLOOR SPACES		
NAME	AREA	%

ALFRESCO	14 m ²	4%
FIRST FLOOR	90 m ²	25%
GARAGE	115 m ²	33%
GRANNY FLAT	51 m ²	15%
MAIN HOUSE	81 m ²	23%
PORCH	2 m ²	1%
TOTAL AREAS:	354 m²	100%



DOOR SCHEDULE		
Code	Width	Height
D01	820	2100
D02	870	2100
D03	820	2100
D04	1020	2100
D05	1570	2100
D06	2170	2100
D07	2170	2100

WINDOW SCHEDULE		
Code	Width	Height
W01	1570	1200
W02	1570	1200
W03	1570	1200
W04	1570	1200
W05	610	860
W06	1210	600
W07	1810	1030
W08	850	1200
W09	850	1200
W10	610	860
W11	610	860
W12	1810	1030
W13	1810	1030
W14	1210	1800
W15	450	1800
W16	2650	600
W17	850	1460
W18	850	1460
W19	2410	1460
W20	2650	860
W21	1810	600
W22	2170	1800
W23	610	1200
W24	610	1200
W25	1570	860
W26	610	860
W27	1210	860
W28	2170	860
W29	2170	860
W30	2170	860
W31	1800	900
W32	2170	860
W33	2170	600

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(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
ELEVATIONS (WORKSHOP)
SCALE: 1 : 100

PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**
STAGE: DA

SHEET SIZE: **A3** SHEET No: **A07** REVISION: **J**
DATE: **28/11/2019**
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090

RL 63.939 ▼ ROOF PEAK

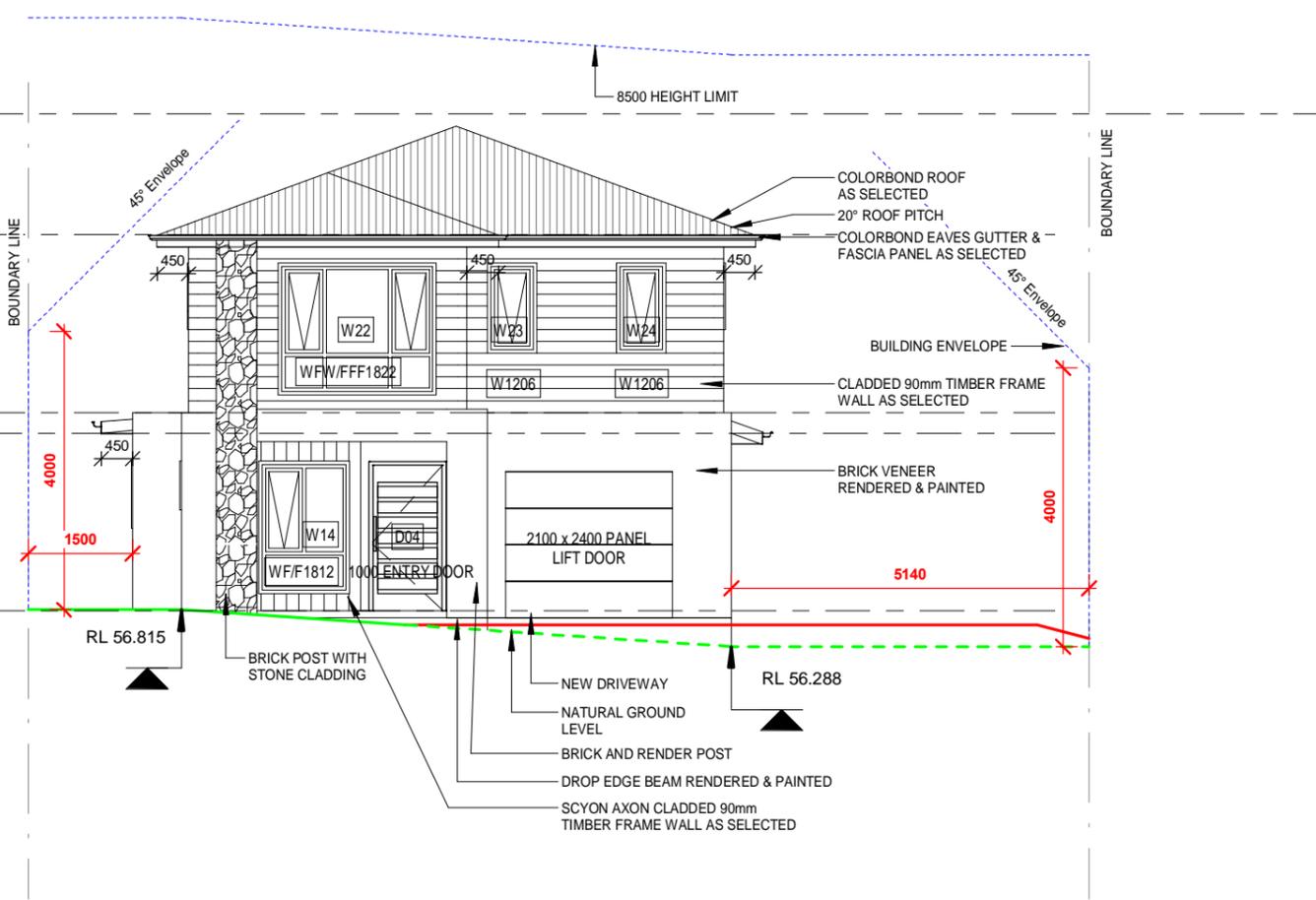
RL 62.200 ▼ UF CEILING

RL 59.650 ▼ FIRST FLOOR

RL 59.350 ▼ MAIN HOUSE CEILING

RL 56.800 ▼ MAIN HOUSE

1 FRONT ELEVATION (MAIN HOUSE)
1 : 100



RL 63.939 ▼ ROOF PEAK

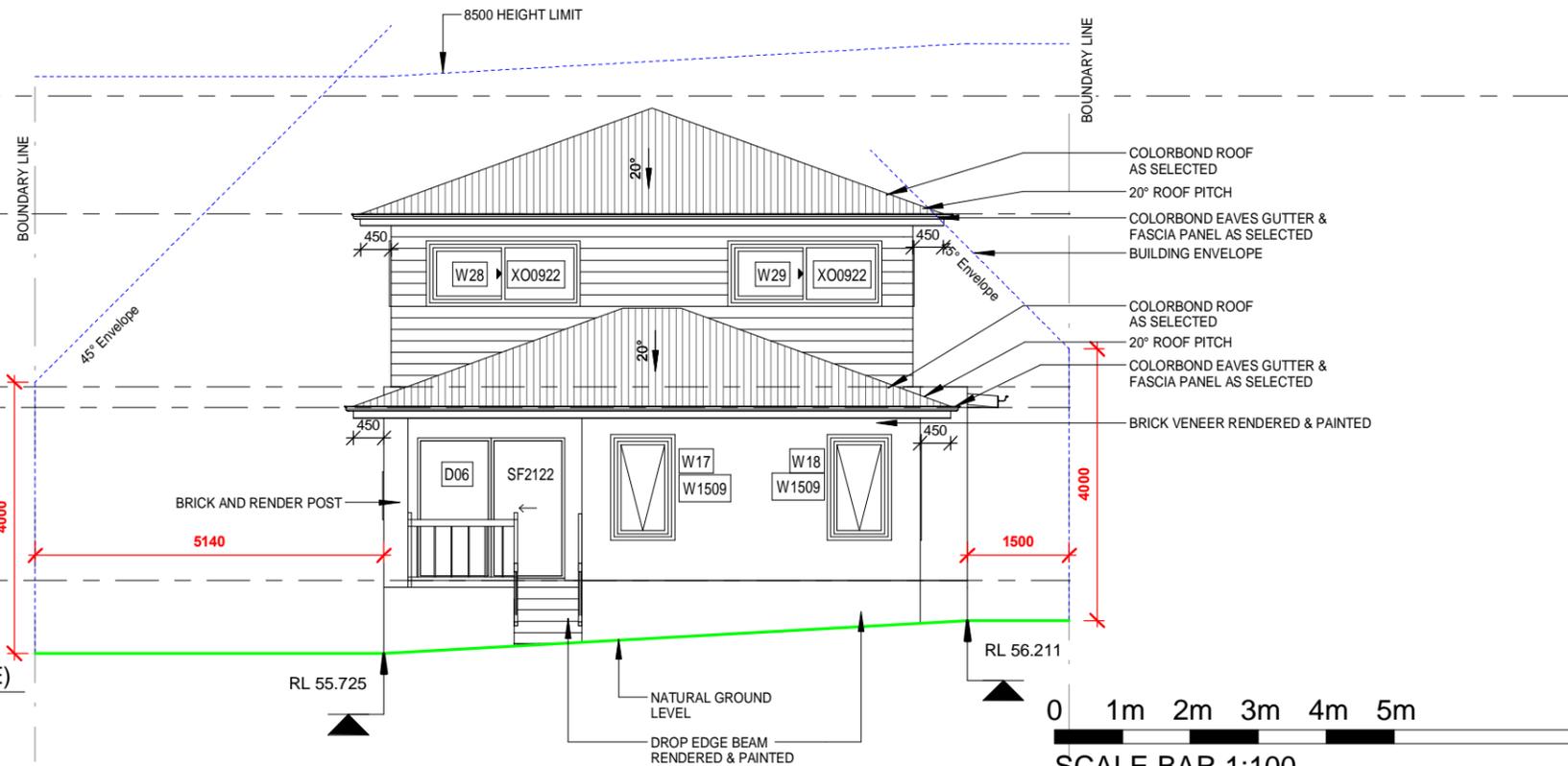
RL 62.200 ▼ UF CEILING

RL 59.650 ▼ FIRST FLOOR

RL 59.350 ▼ MAIN HOUSE CEILING

RL 56.800 ▼ MAIN HOUSE

2 REAR ELEVATION (MAIN HOUSE)
1 : 100



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
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H	MOVE GRANNY FLAT	20/11/2019
J	MOVE GRANNY FLAT	28/11/2019

DOOR SCHEDULE		
Code	Width	Height
D01	820	2100
D02	870	2100
D03	820	2100
D04	1020	2100
D05	1570	2100
D06	2170	2100
D07	2170	2100

WINDOW SCHEDULE		
Code	Width	Height
W01	1570	1200
W02	1570	1200
W03	1570	1200
W04	1570	1200
W05	610	860
W06	1210	600
W07	1810	1030
W08	850	1200
W09	850	1200
W10	610	860
W11	610	860
W12	1810	1030
W13	1810	1030
W14	1210	1800
W15	450	1800
W16	2650	600
W17	850	1460
W18	850	1460
W19	2410	1460
W20	2650	860
W21	1810	600
W22	2170	1800
W23	610	1200
W24	610	1200
W25	1570	860
W26	610	860
W27	1210	860
W28	2170	860
W29	2170	860
W30	2170	860
W31	1800	900
W32	2170	860
W33	2170	600

PROPOSED FLOOR SPACES		
NAME	AREA	%
ALFRESCO	14 m ²	4%
FIRST FLOOR	90 m ²	25%
GARAGE	115 m ²	33%
GRANNY FLAT	51 m ²	15%
MAIN HOUSE	81 m ²	23%
PORCH	2 m ²	1%
TOTAL AREAS:	354 m ²	100%

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CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
ELEVATIONS (MAIN HOUSE)
SCALE: 1 : 100

PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**
STAGE: DA

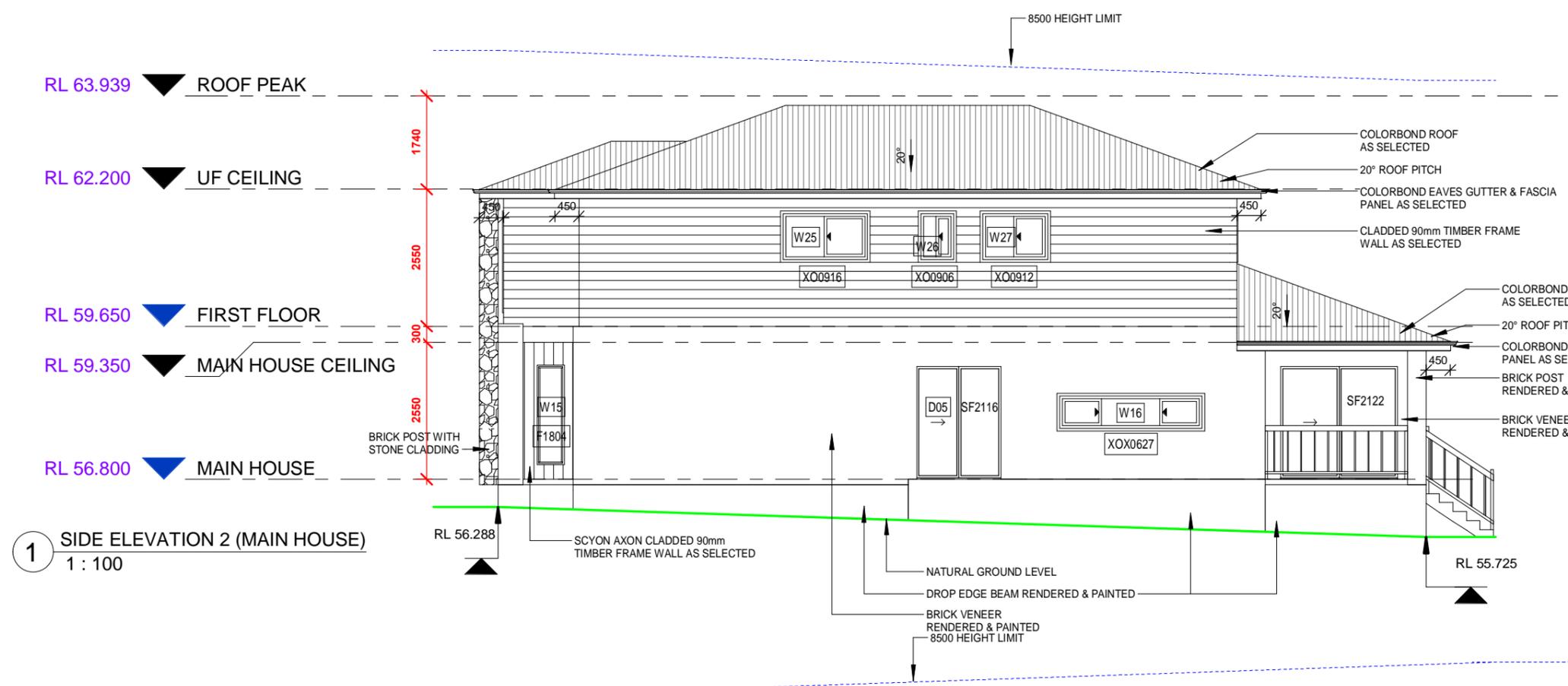
SHEET SIZE: **A3** SHEET No: **A10** REVISION: **J**
DATE: **28/11/2019**
JOB NO: STAGE: DA
DRAWN: NF GJGN090



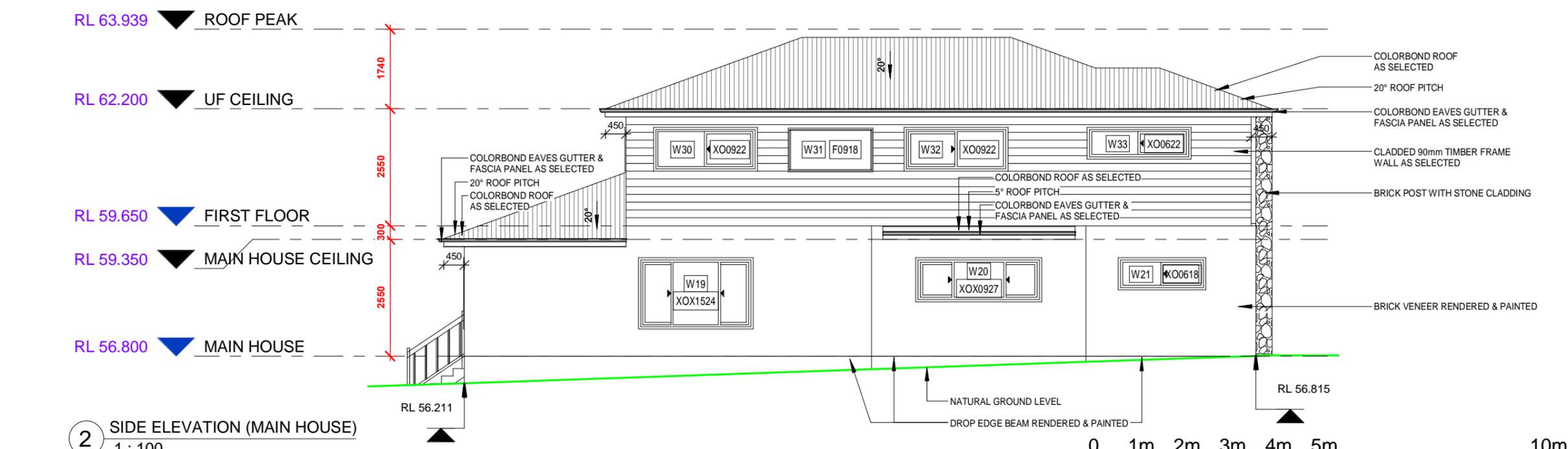
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No.	AMENDMENTS	DATE
A	FIRST ISSUE	03/04/2019
B	ADJUST LOCATION OF GARAGE; ADJUST GRANNY FLAT LOCATION; CHANGED CEILING HEIGHTS; CHANGES TO GRANNY FLAT DESIGN.	08/04/2019
C	CHANGES TO DRIVEWAY, GRANNY FLAT LAUNDRY, GARAGE ROOF, KITCHEN, STAIRS.	27/05/2019
D	ADJUST SIZE OF DETACHED GARAGE	07/06/2019
E	UPDATE TO FULL SET DA ISSUE	28/06/2019
F	ADDED SLAB PLAN	23/09/2019
G	REDESIGN OF MAIN HOUSE AND ADJUST LOCATIONS OF BUILDINGS	13/11/2019
H	MOVE GRANNY FLAT	20/11/2019
J	MOVE GRANNY FLAT	28/11/2019

DOOR SCHEDULE		
Code	Width	Height
D01	820	2100
D02	870	2100
D03	820	2100
D04	1020	2100
D05	1570	2100
D06	2170	2100
D07	2170	2100

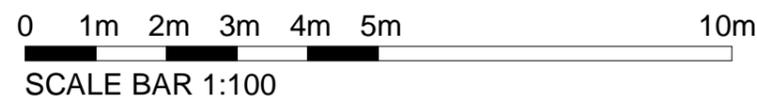
WINDOW SCHEDULE		
Code	Width	Height
W01	1570	1200
W02	1570	1200
W03	1570	1200
W04	1570	1200
W05	610	860
W06	1210	600
W07	1810	1030
W08	850	1200
W09	850	1200
W10	610	860
W11	610	860
W12	1810	1030
W13	1810	1030
W14	1210	1800
W15	450	1800
W16	2650	600
W17	850	1460
W18	850	1460
W19	2410	1460
W20	2650	860
W21	1810	600
W22	2170	1800
W23	610	1200
W24	610	1200
W25	1570	860
W26	610	860
W27	1210	860
W28	2170	860
W29	2170	860
W30	2170	860
W31	1800	900
W32	2170	860
W33	2170	600



1 SIDE ELEVATION 2 (MAIN HOUSE)
1 : 100



2 SIDE ELEVATION (MAIN HOUSE)
1 : 100



PROPOSED FLOOR SPACES		
NAME	AREA	%
ALFRESCO	14 m ²	4%
FIRST FLOOR	90 m ²	25%
GARAGE	115 m ²	33%
GRANNY FLAT	51 m ²	15%
MAIN HOUSE	81 m ²	23%
PORCH	2 m ²	1%
TOTAL AREAS:	354 m ²	100%

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G.J. Gardner. HOMES
Builders Details

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DRAFTERS:
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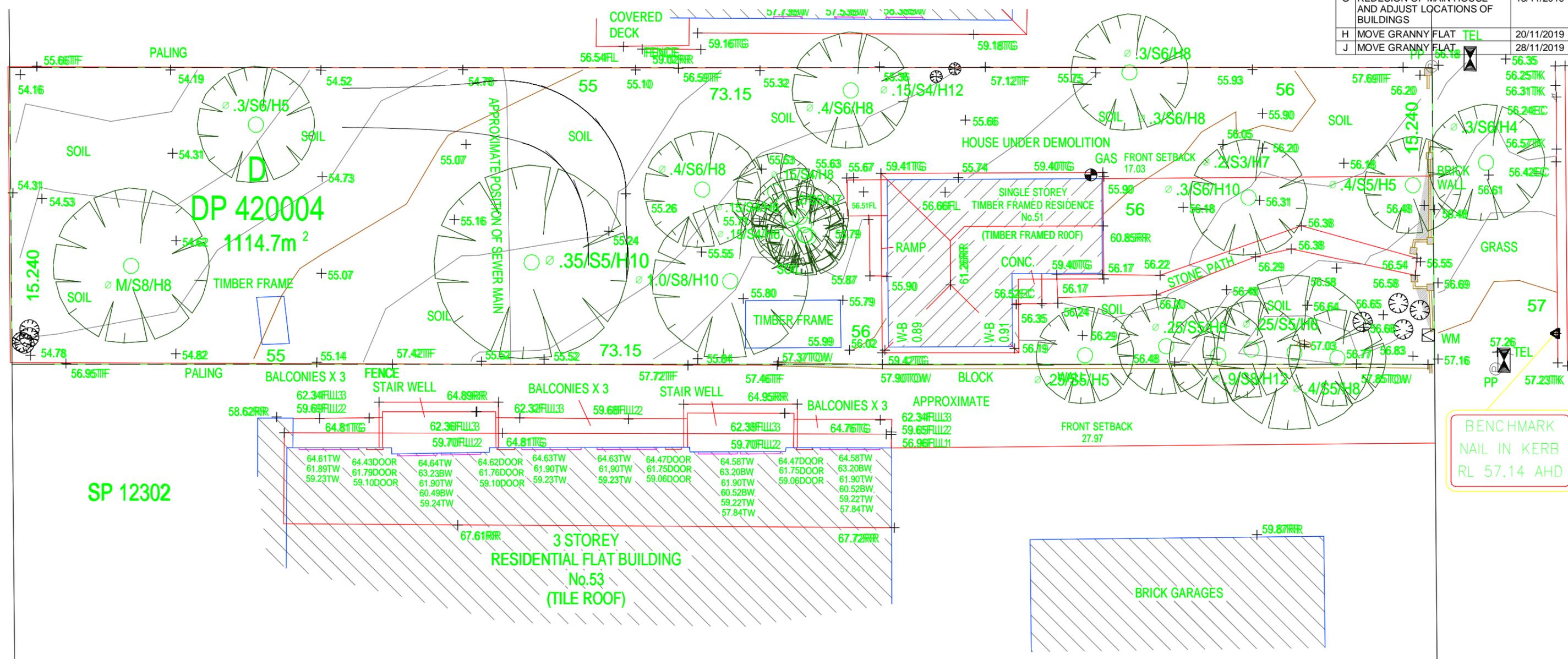
CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
ELEVATIONS (MAIN HOUSE)
SCALE: 1 : 100

PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**
STAGE: DA

SHEET SIZE: **A3** SHEET No: **A11** REVISION: **J**
DATE: **28/11/2019**
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090

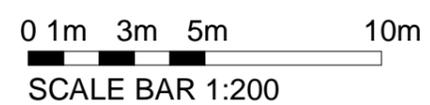
ALFRESCO	14 m ²	4%
FIRST FLOOR	90 m ²	25%
GARAGE	115 m ²	33%
GRANNY FLAT	51 m ²	15%
MAIN HOUSE	81 m ²	23%
PORCH	2 m ²	1%
TOTAL AREAS:	354 m ²	100%

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H	MOVE GRANNY FLAT TEL	20/11/2019
J	MOVE GRANNY FLAT	28/11/2019



BENCHMARK
NAIL IN KERB
RL 57.14 AHD

1 EXISTING SURVEY
1 : 200



TSS TOTAL SURVEYING SOLUTIONS
ARTARMON | CAMDEN | MANLY VALE

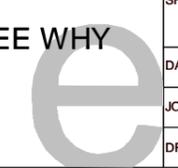
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PLAN SHOWING DETAIL & LEVELS
OVER LOT D IN DP420004

JOB No.: 190503	LGA: NORTHERN BEACHES
PLAN No.: 190503_A	DATUM: AHD
CLIENT: GJ GARDNER HOMES SYDNEY NORTH	SCALE: 1:250@A3
DATE: 12/03/2019	CONT. INTERVAL: 0.25m
PROJECT: DEE WHY	DRAWN: DF
ADDRESS: 51 REDMAN ROAD, DEE WHY	CHK: GS
	SHEET 1 OF 1

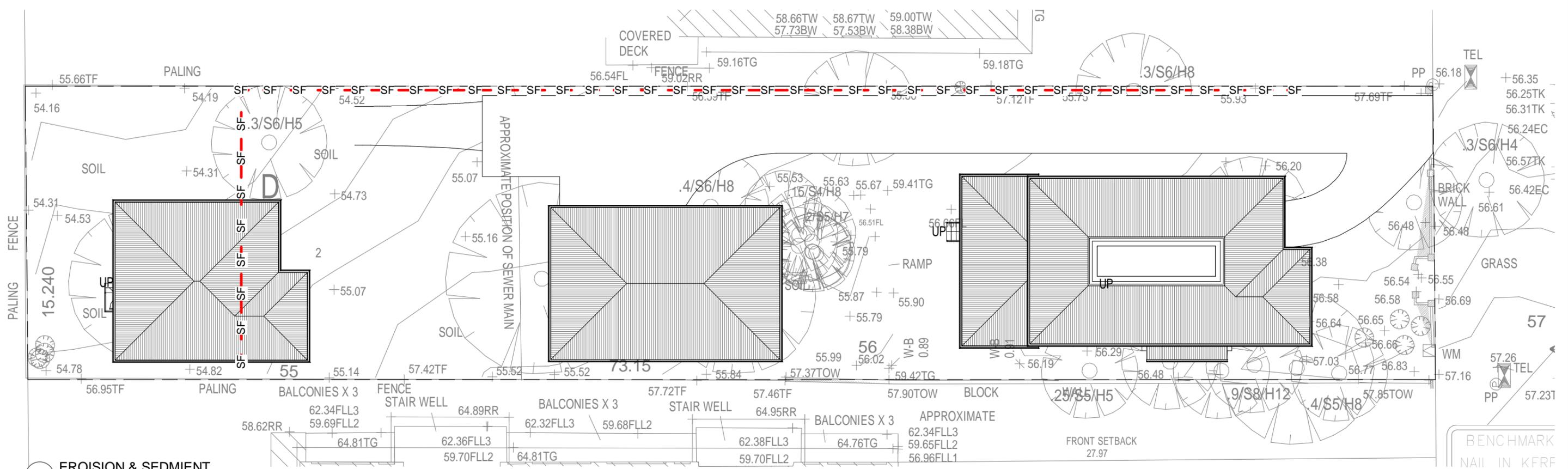
G.J. Gardner. HOMES Builders Details	DRAFTERS: SUITE 302 5 CELEBRATION DRIVE BELLA VISTA NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrafting@kjr.net.au	CLIENT: DOUBLE STOREY DWELLING WOHL	PROJECT: 51 REDMAN ROAD, DEE WHY NSW 2099	SHEET SIZE: A3 SHEET No: A13 REVISION: J
		DRAWING TITLE: EXISTING SURVEY SCALE: 1 : 200	DATE: 28/11/2019	JOB NO: 230250 STAGE: DA

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DRAWING REVISION SCHEDULE		
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H	MOVE GRANNY FLAT	20/11/2019
J	MOVE GRANNY FLAT	28/11/2019



1 EROSION & SEDIMENT
1 : 200

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		WOHL	DRAWING TITLE: EROSION & SEDIMENT	DATE: 28/11/2019	JOB NO: 230250	STAGE: DA	
		SCALE: 1 : 200		DRAWN: NF	GJGN090		

WASTE MANAGEMENT PLAN FOR PROPOSED 2 STOREY DWELLING AT: 51 REDMAN ROAD DEE WHY NSW 2099

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
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J	MOVE GRANNY FLAT	28/11/2019

DEMOLITION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste	2	Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks	Nil			Nil to landfill
Concrete	20		Waste Management centre for recycling	Nil to landfill
Timber	10	Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard	10		Waste Management centre	Taken to landfill
Roof tiles	8		Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals	2		Waste Management centre for recycling	Nil to landfill
Asbestos	5		Cart to licensed asbestos tip	Taken to landfill

CONSTRUCTION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Excavation Material	5	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-	
Green waste	Nil			
Bricks	Nil			
Concrete	2		Excess concrete returned to supplier	Nil to landfill
Timber	2		Excess timber returned to supplier	Nil to landfill
Plasterboard	0.5		Excess plasterboard returned to supplier	Nil to landfill
Roof colorbond	0.5		Excess colorbond roof returned to supplier	Nil to landfill
Metals	0.1		Waste Management centre for recycling	Nil to landfill

USE OF PREMISES			
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection

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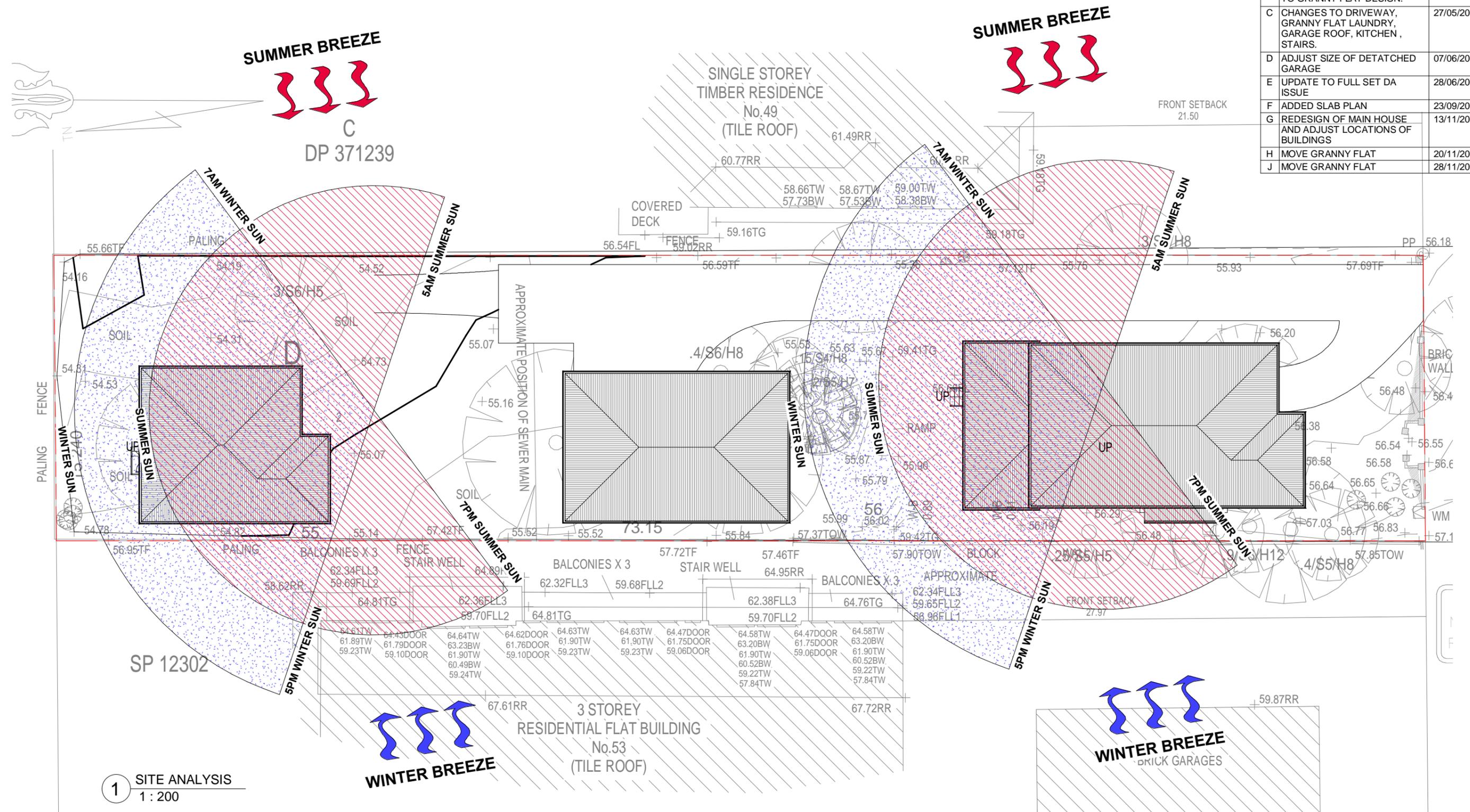
DRAFTERS:
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
WASTE MANAGEMENT
SCALE: 1 : 1

PROJECT:
51 REDMAN ROAD, DEE WHY
NSW 2099

SHEET SIZE: A3 SHEET No: A15 REVISION: J
DATE: 28/11/2019
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
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H	MOVE GRANNY FLAT	20/11/2019
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1 SITE ANALYSIS
1 : 200

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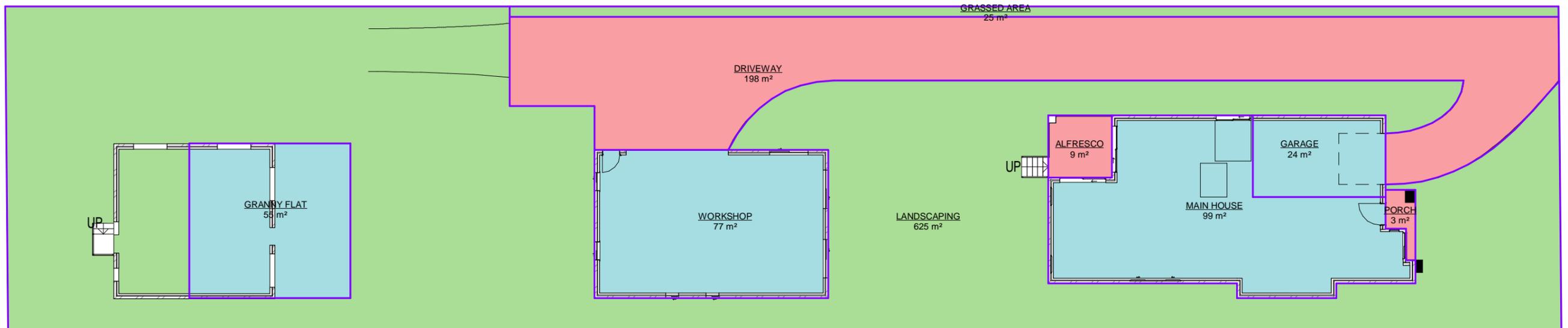
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
SITE ANALYSIS
SCALE: 1 : 200

PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**

SHEET SIZE: **A3** SHEET No: **A16** REVISION: **J**
DATE: **28/11/2019**
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090





LANDSCAPE COLOURS

- BUILDING FOOTPRINT
- OPEN LANDSCAPE
- OTHER AREAS

1 PROPOSED LANDSCAPE PLAN
1 : 200

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
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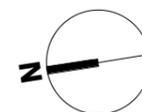
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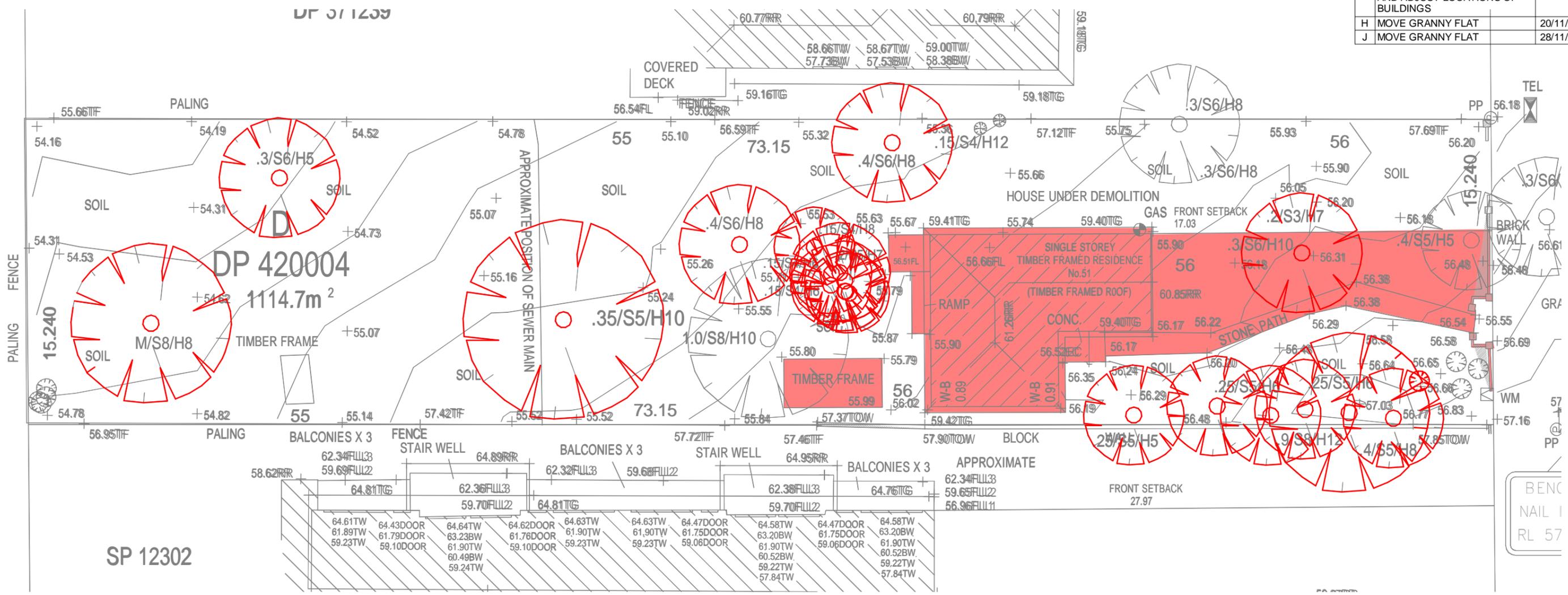
CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
LANDSCAPE PLAN
SCALE: 1 : 200

PROJECT:
51 REDMAN ROAD, DEE WHY
NSW 2099

SHEET SIZE: A3 SHEET No: A17 REVISION: J
DATE: 28/11/2019
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
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1 DEMOLITION PLAN
1 : 200

DEMOLITION WORKS ARE SHOWN IN RED

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CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
DEMOLITION PLAN
SCALE: 1 : 200

PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**

SHEET SIZE:	SHEET No:	REVISION:
A3	A18	J
DATE: 28/11/2019		
JOB NO: 230250		STAGE: DA
DRAWN: NF		GJGN090

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 13 November 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	51 Redman Road_02	
Street address	51 Redman Road Dee Why 2099	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 42004	
Lot no.	D	
Section no.	n/a	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	0	
No. of single dwelling houses	2	
Project score		
Water	41	Target 40
Thermal Comfort	Pass	Target Pass
Energy	51	Target 50

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	✓
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	✓
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.		✓	✓
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	✓
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	✓
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.		✓	✓

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.		✓	✓
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.		✓	✓
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓	✓	✓
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	✓
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Legend

- Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
- Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
- Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment it is required to monitor in relation to the building or part, has been fulfilled).

Project address	
Project name	51 Redman Road_02
Street address	51 Redman Road Dee Why 2099
Local Government Area	Northern Beaches Council
Plan type and plan number	deposited 42004
Lot no.	D
Section no.	n/a
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	0
No. of single dwelling houses	2
Site details	
Site area (m ²)	1114.7
Roof area (m ²)	230.0
Non-residential floor area (m ²)	0.0
Residential car spaces	3
Non-residential car spaces	0

Common area landscape	
Common area lawn (m ²)	0.0
Common area garden (m ²)	0.0
Area of indigenous or low water use species (m ²)	0.0
Assessor details	
Assessor number	20920
Certificate number	0004354270
Climate zone	56
Project score	
Water	41 Target 40
Thermal Comfort	Pass Target Pass
Energy	51 Target 50

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.		✓	✓
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	✓
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	✓
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	✓
(g) The pool or spa must be located as specified in the table.	✓	✓	✓
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures				Appliances		Individual pool			Individual spa				
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (>= 6 but <= 7.5 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
Gflat	individual water tank (no. 1)	Tank size (min) 3000.0 litres	To collect run-off from at least: 62.0 square metres of roof area;	yes	yes	yes	no	no
All other dwellings	individual water tank (no. 1)	Tank size (min) 3000.0 litres	To collect run-off from at least: 105.0 square metres of roof area;	yes	yes	yes	no	no

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G.J. Gardner. HOMES

Builders Details

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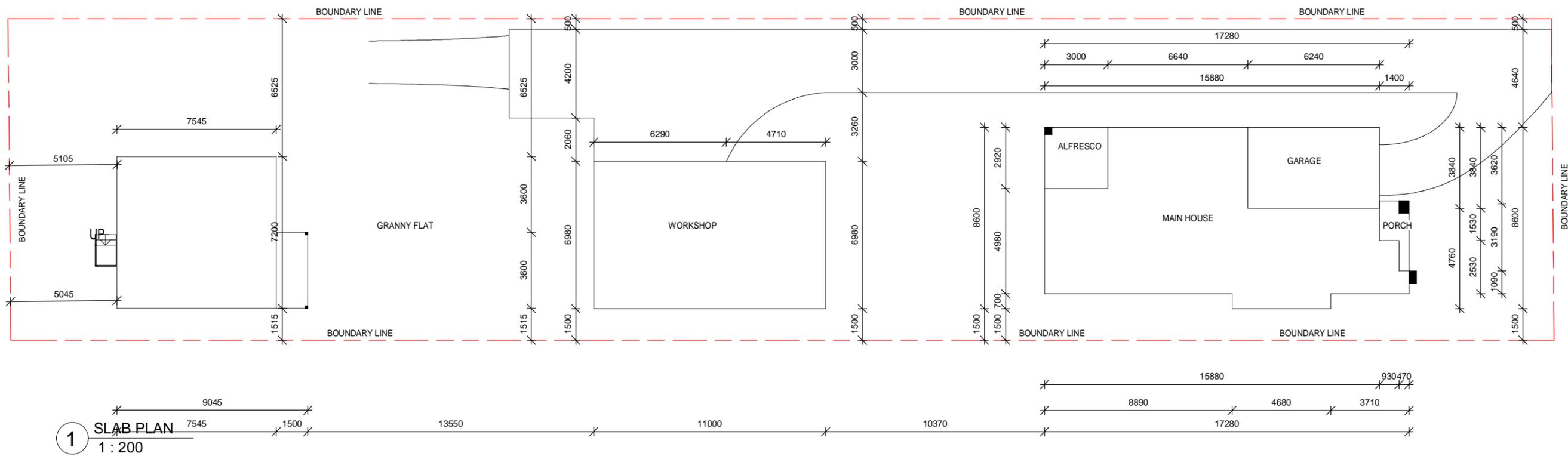
DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
BASIX COMMITMENT
SCALE:

PROJECT:
51 REDMAN ROAD, DEE WHY NSW 2099

SHEET SIZE: **A3** SHEET No: **A19** REVISION: **J**
DATE: **28/11/2019**
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	03/04/2019
B	ADJUST LOCATION OF GARAGE; ADJUST GRANNY FLAT LOCATION; CHANGED CEILING HEIGHTS; CHANGES TO GRANNY FLAT DESIGN.	08/04/2019
C	CHANGES TO DRIVEWAY, GRANNY FLAT LAUNDRY, GARAGE ROOF, KITCHEN, STAIRS.	27/05/2019
D	ADJUST SIZE OF DETACHED GARAGE	07/06/2019
E	UPDATE TO FULL SET DA ISSUE	28/06/2019
F	ADDED SLAB PLAN	23/09/2019
G	REDESIGN OF MAIN HOUSE AND ADJUST LOCATIONS OF BUILDINGS	13/11/2019
H	MOVE GRANNY FLAT	20/11/2019
J	MOVE GRANNY FLAT	28/11/2019



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G.J. Gardner. HOMES
Builders Details

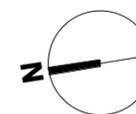
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TO G.J. GARDNER HOMES

DRAFTERS:
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DRAFTING
SUITE 302
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ABN 15 078 937 238
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CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
SLAB PLAN
SCALE: 1 : 200

PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**

SHEET SIZE: **A3** SHEET No: **A20** REVISION: **J**
DATE: **28/11/2019**
JOB NO: 230250 STAGE: DA
DRAWN: NF - KJR GJGN090



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	03/04/2019
B	ADJUST LOCATION OF GARAGE; ADJUST GRANNY FLAT LOCATION; CHANGED CEILING HEIGHTS; CHANGES TO GRANNY FLAT DESIGN.	08/04/2019
C	CHANGES TO DRIVEWAY, GRANNY FLAT LAUNDRY, GARAGE ROOF, KITCHEN, STAIRS.	27/05/2019
D	ADJUST SIZE OF DETACHED GARAGE	07/06/2019
E	UPDATE TO FULL SET DA ISSUE	28/06/2019
F	ADDED SLAB PLAN	23/09/2019
G	REDESIGN OF MAIN HOUSE AND ADJUST LOCATIONS OF BUILDINGS	13/11/2019
H	MOVE GRANNY FLAT	20/11/2019
J	MOVE GRANNY FLAT	28/11/2019

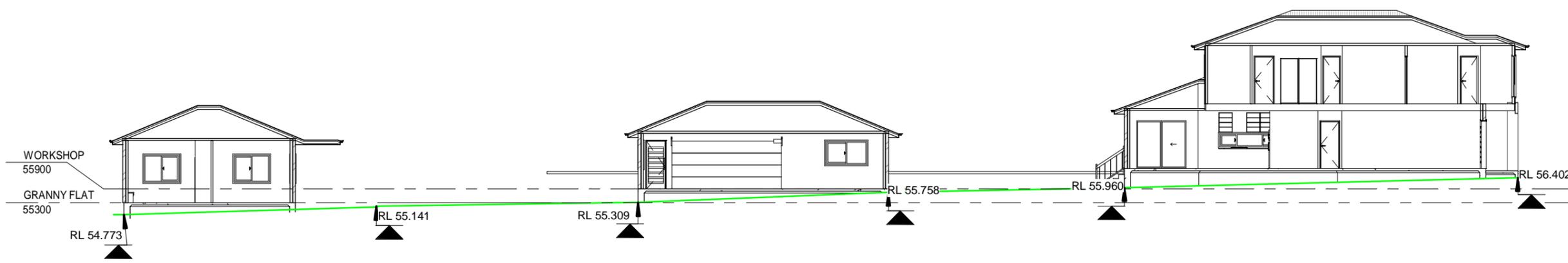
General notes
 Use figured dimensions only.
 Do not scale from drawings.
 All ground lines are approximate.
 Window and door sizes shown are nominal.
 All work to be carried out in accordance with local Council codes, BCA, Australian Standards and any relevant authorities.
 Wind rating, refer to framing manufacturers specifications.

FINAL SIGNED COPY
 I / We accept that these plans are the final working drawings. They supercede any preliminary plan and I / We have checked that all alterations and additions are shown. I / We are aware these plans form part of our contract between GJ Gardner Homes (Sydney North).

Owner(s) signature

Builders signature

Date



1 OVERALL SECTION
 1 : 200

SPECIFICATION:
 The specification overrides drawings

STRUCTURAL DESIGN:
 This design may be subject to change due to structural engineers requirements and / or LGA / PCA conditions.

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G.J. Gardner. HOMES

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 www.gjgardner.com.au

Drafted By: **KJR DRAFTING**
 SUITE 302
 5 CELEBRATION DRIVE
 BELLA VISTA NSW 2153
 PHONE: (02) 8883 4344
 EMAIL: kjrdrafting@kjr.net.au

Project
 DOUBLE STOREY DWELLING

Project address
 51 REDMAN ROAD, DEE WHY NSW
 2099

Client
 WOHL

Stage
 DA

Drawing title
 OVERALL SECTION

Date	28/11/2019	Drawn	*NOT FOR ISSUE*
Sheet Size	A3	Scale	

Job No GJGN090

True North	Drawing No	Rev
	A21	J

51 Redman Road, Dee Why

External Finishes Schedule

Roof, Fascia & Gutters – Colorbond Woodland Grey



Windows & Garage Door – Woodland Grey



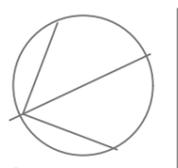
James Hardie Cladding, Cement render – Dulux Pale Tendril



Front Door – Dulux Lexicon Quarter

PLEASE NOTE: Colours reflected on this schedule do NOT necessarily reflect true colours

north



Ligustrum sinensis (Privet tree)

Backhousia citriodora (Lemon Myrtle)

Pittosporum undulatum

Group of Bangalow palms

Existing Michellia sp and other shrubs hedge to approx 2mtr high

Conifer hedge trimmed to approx 3mtr

see arborist report

Lophostemon conferta street tree

Contoneaster shrub

see arborist report

Wires over

Callistemon, Lagerstromia spp to approx 3 to 4mtr

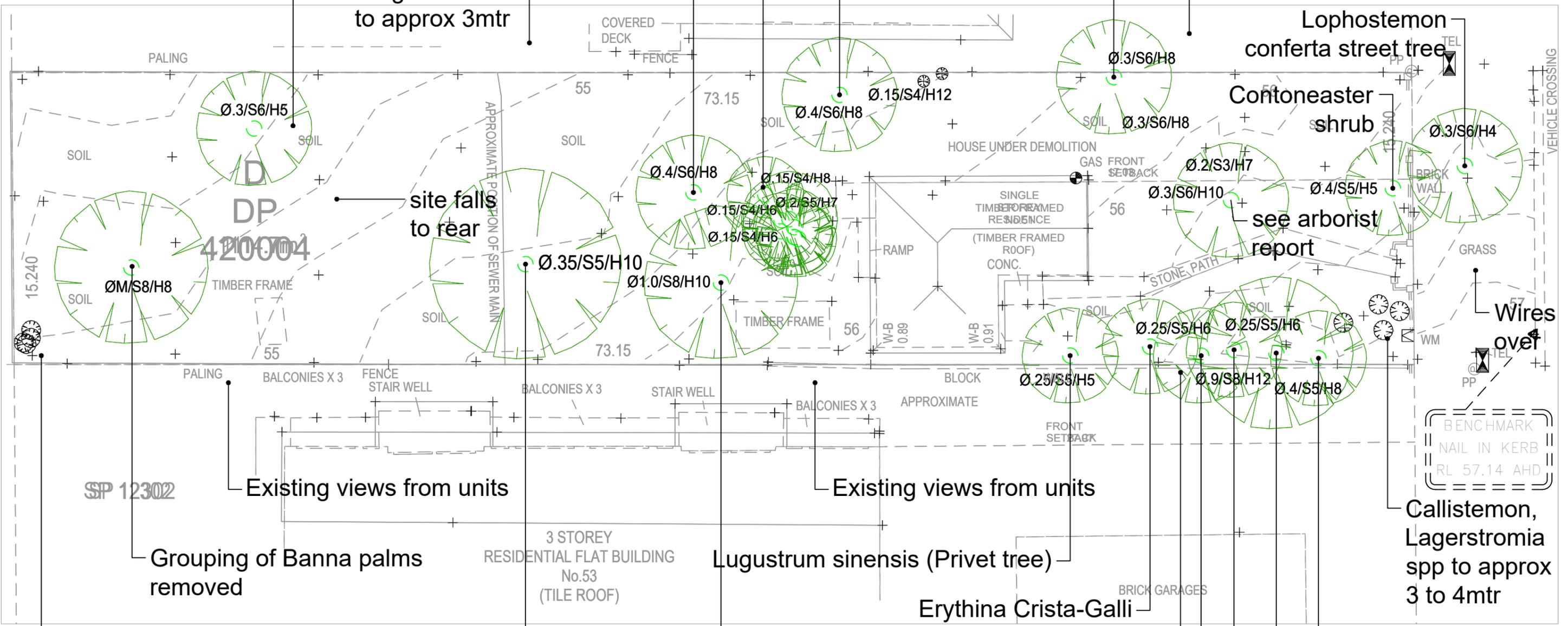
Cupressus torulosa conifer tree
Cedrus deodora

Erythina Crista-Galli (Coral tree)

Approx location of unstable block wall to be discussed with No 53

Small conifer tree in poor form
Brachychiton spp (Flame tree)

To be read in conjunction with Sand B Arborist report July 2019



Site analysis and vegetation overview

Landscape plan
51 Redman Road Dee Why

Issue: A DRAFT 4.12.19
Issue: B DA plan 6.12.19

Landscape DA Plan	
Drawing: AD/TT	Checked by: AD
Andrew Davies	Job: R23 191128
Date: 6.12.19	Issue: B
Scale: 1to200 A3	Approx 1/4



andrew davies.
LANDSCAPE DESIGN



Street view to looking north



Street view seen from no 53 driveway



Street view to Nw corner



View to rear boundary note Conifer screen hedge to eastern boundary

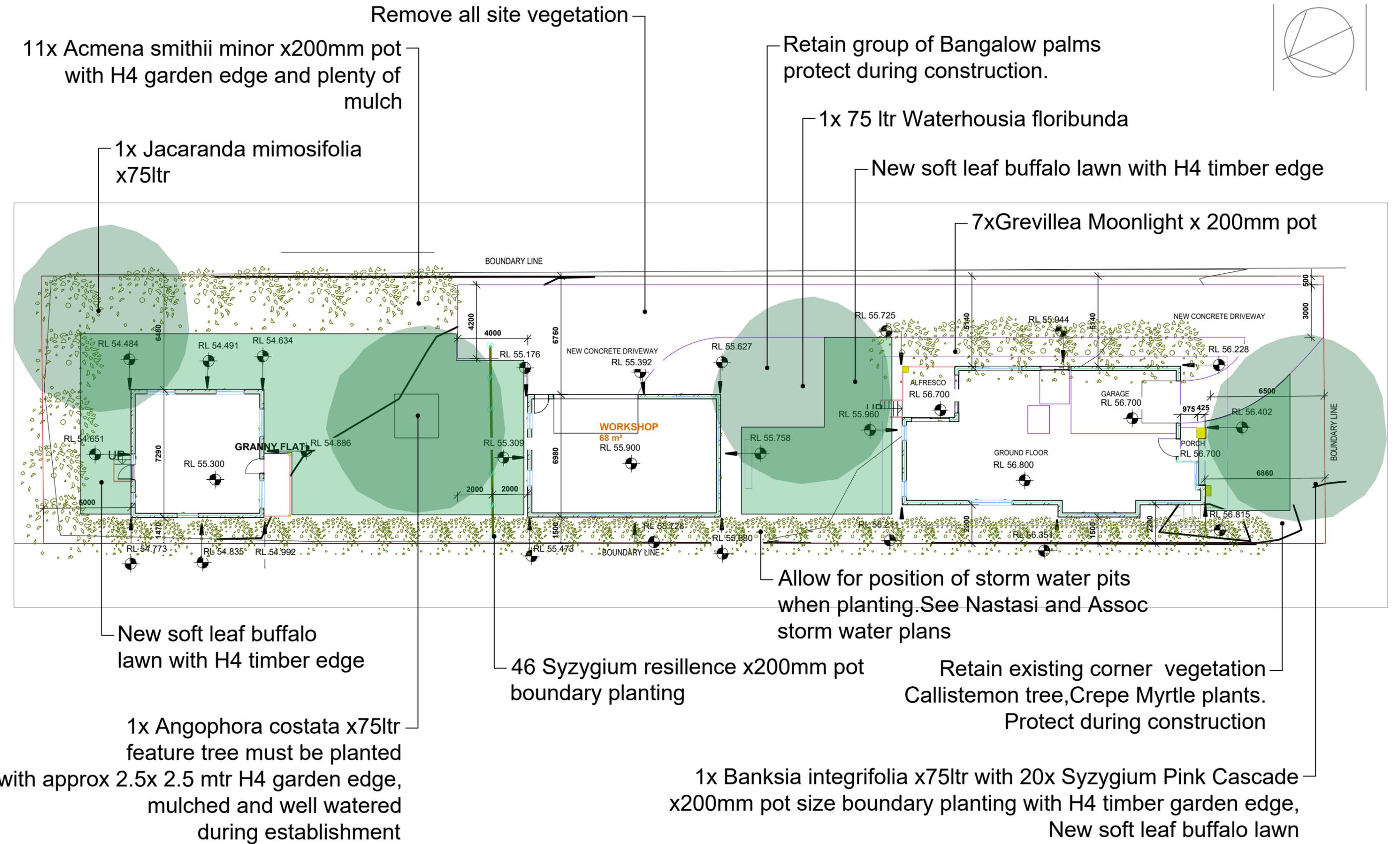
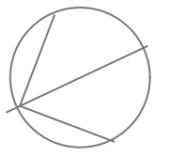


View to rear of existing house with Bangalow palms and other trees



Main street scape Lophostemon and Callistemon spp street trees

Site images



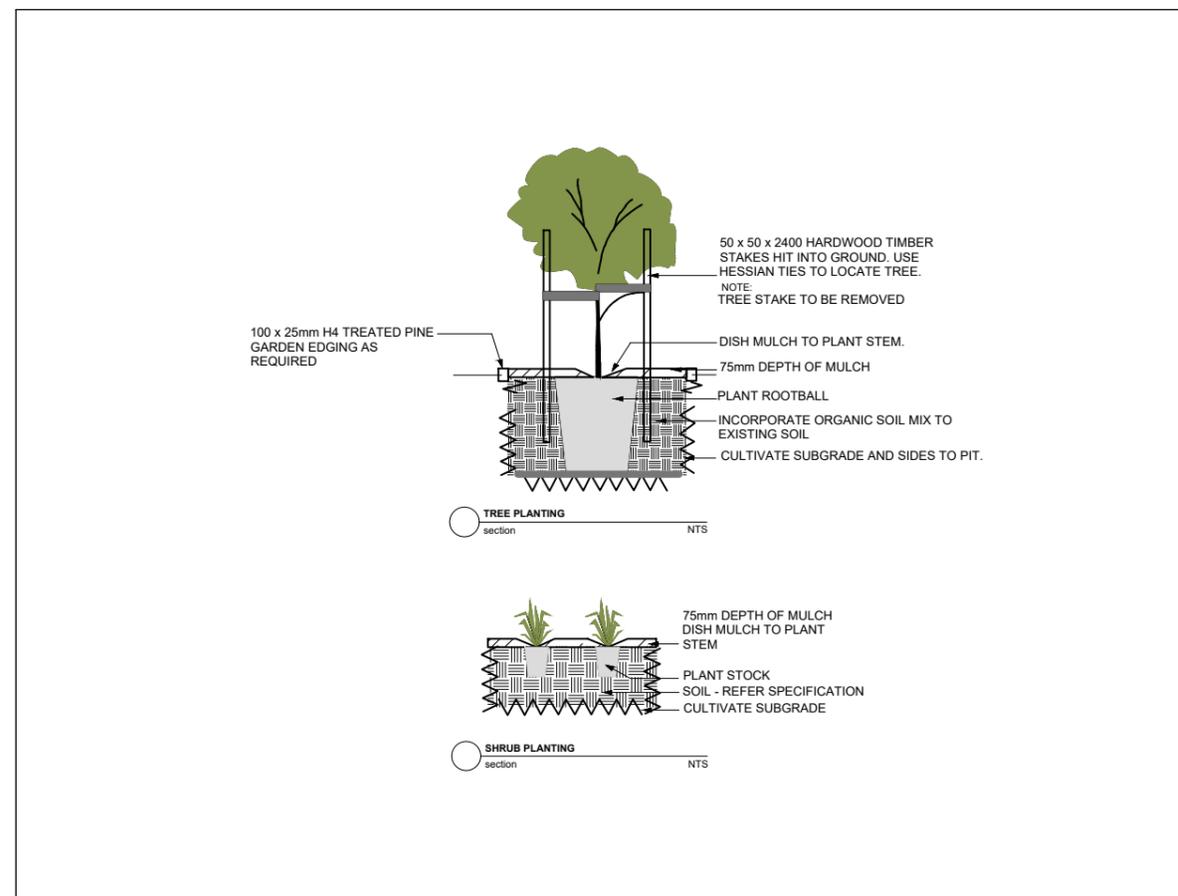
Planting Plan

Drawing: AD/TT	Checked by: AD
Andrew Davies	Job: R23 191128
Date: 6.12.19	Issue: B
Scale: 1to200 A3	3/4
Approx	



Plant schedule

<i>Angophora costata</i>	Angophora tree	250	10x10plus	1
<i>Acmena smithii Minor</i>	Lilly pilly	200	.6x1.2	11
<i>Banksia integrifolia</i>	Coastal Banksia	75ltr	9x10	1
<i>Grevillea honey gem</i>	white flowering Grevillea	200	3.0x4.0	7
<i>Jacaranda mimosifolia</i>	Jacaranda	75ltr	7x10	1
<i>Syzygium australe Resillence</i>	Lilly pilly hedge	200	.8x2.5	46
<i>Syzygium Pink Cascade</i>	Pink flowering Lillypilly	200	1.5x2.0	20
<i>Waterhousia floribunda</i>	Waterhousia	75ltr	8x10	1



Planting detail

LANDSCAPE GENERAL SPECIFICATION AND NOTES

All landscape works and material supply, to be in accordance with AS 4000, LCA guidelines and Occupational Health & Safety standards.

All landscape works to comply with relevant Australian Standards and relevant Building Codes of Australia

All dimensions and locations to be checked on site and confirmed by landscape site supervisor before commencement of works

Do not scale from drawings. Dimensions take preference

Plant schedule and quantities to be used as guide only and to be confirmed by contractor before final purchase of plants

Final plant positions to be determined on site (by Landscape Supervisor).

DESIGN LIABILITY NOTE: No liability is accepted by these plans. Contractors are required to check ALL construction facts, figures and relevant information pertaining to the soft and hard scape works to be performed. Should anomalies occur, the designer or a representative of Liberty Landscapes Pty Ltd must be contacted and given due notice and sufficient documentation and, if required, due compensation to allow for adjustment/s to plans, documentation etc

REMOVAL OF NOXIOUS WEEDS: As a duty of care exists for all contractors: if a noxious weed exists onsite it should be removed after discussion with the owner or site supervisor.

ENVIRONMENTAL MANAGEMENT AND SEDIMENT CONTROL: All Landscape works to adhere with Environmental Legislation outlined in the *Protection of the environment operations act 1997*, by the EPA NSW.

It is highly recommended to use Dial Before You Dig services – contact for information at www.dialbeforeyoudig.com.au or call 1100.

TREES: All trees to be staked: use 2 x hardwood 50x50mm stakes and hessian webbing. See detail

TURF: 1. Install turf rolls diagonal to the fall of the land. Roll turf following installation, and water as required. Use soft leaf Buffalo sp

2. 50 - 70mm topsoil underlay to be used in ground preparation .Note check ph after construction and before laying turf, adjust as required for optimum plant growth

SOIL:

1. Contractor is to check soil pH levels, two weeks prior to planting, and allow for reasonable adjustments, using lime or similar to ensure plant viability

2. Break up existing ground surface using mattock, rotary hoe or tractor tine as required

3. Topsoil sandy loam 50mm depth to turf areas.

4. Where necessary mound soil to assist in soil drainage to avoid root rot and poor plant growth

5. Incorporate ¼ tonne organic soil mix into holes where trees are planted, using recycled leaf litter as mulch

6. Soil Quality to be Australian Native Landscape Standard

7. Supply and Install 'Garden Mix' to all garden beds incorporated into the top 300mm of existing site profile. Note use rotary hoe as required do not just place on top of ground

MULCH: Mulch to be installed to all planter beds to a depth of 75mm. Mulch type to be Recycled Leaf Litter ideally from local tree company based on more native plants than general exotics.

EDGING: See plan for locations. Top edge higher than lawn to allow garden beds to be aerated & mounded

DRAINAGE: fall paving to lawn area

Install Everhard drainage pit to front of house. Liaise with Rawson Homes re connection to stormwater pipes

LIGHTING: to future plans TBA

MAINTENANCE: New plants to receive regular deep irrigation for a minimum 12 weeks establishment period. Seasonal pruning, fertilising and pest and disease checks to be carried out. Advice by qualified horticulturalist recommended

IRRIGATION: Drip irrigation TBA

Plant Schedule and Specification

Landscape plan
51 Redman Road Dee Why

Issue: A 4.12.19
Issue: B DA plan 6.12.19

Landscape DA Plan

Drawing: AD/TT	Checked by: AD
Andrew Davies	Job:R23 191128
Date: 6.12.19	Issue: B
Scale:NTSC	4/4



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andrew davies.
LANDSCAPE DESIGN