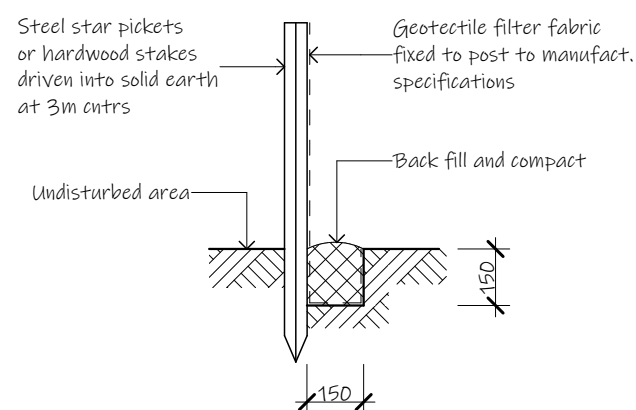


A hand-drawn sketch of a circle with several lines radiating from a point on its circumference. One line is labeled 'North'.

DA - LANDSCAPING
243.30sqm (40.93%)
Provided
237.80sqm MINIMUM



1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any adjoining property or to the street. This measure is to be placed prior to any excavation work beginning and is to be removed only when the sites surface as been stabilized, i.e. paved, landscaped or turfed

2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

Garage
F.F.R.L. 58.414

GARAGE
Floor Level:
57.67m

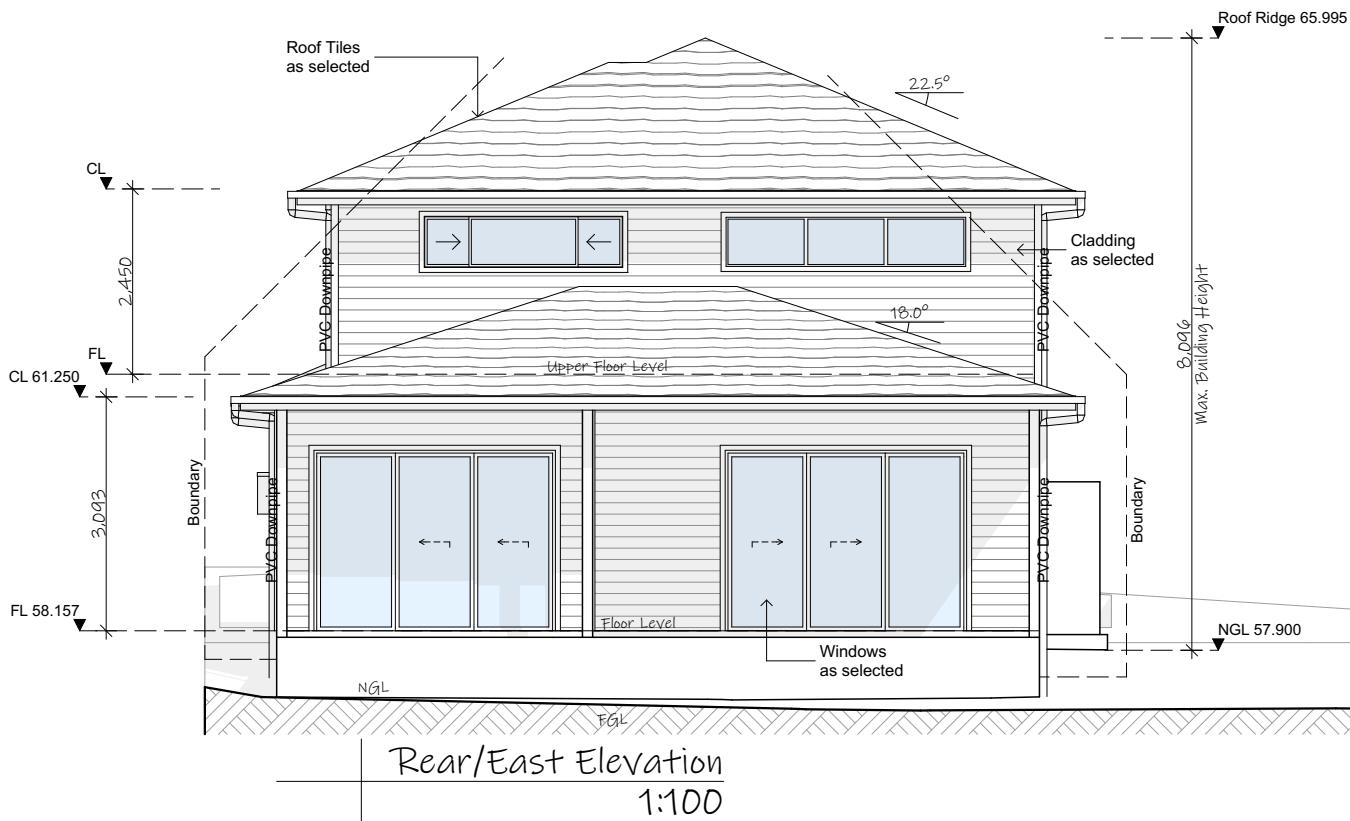
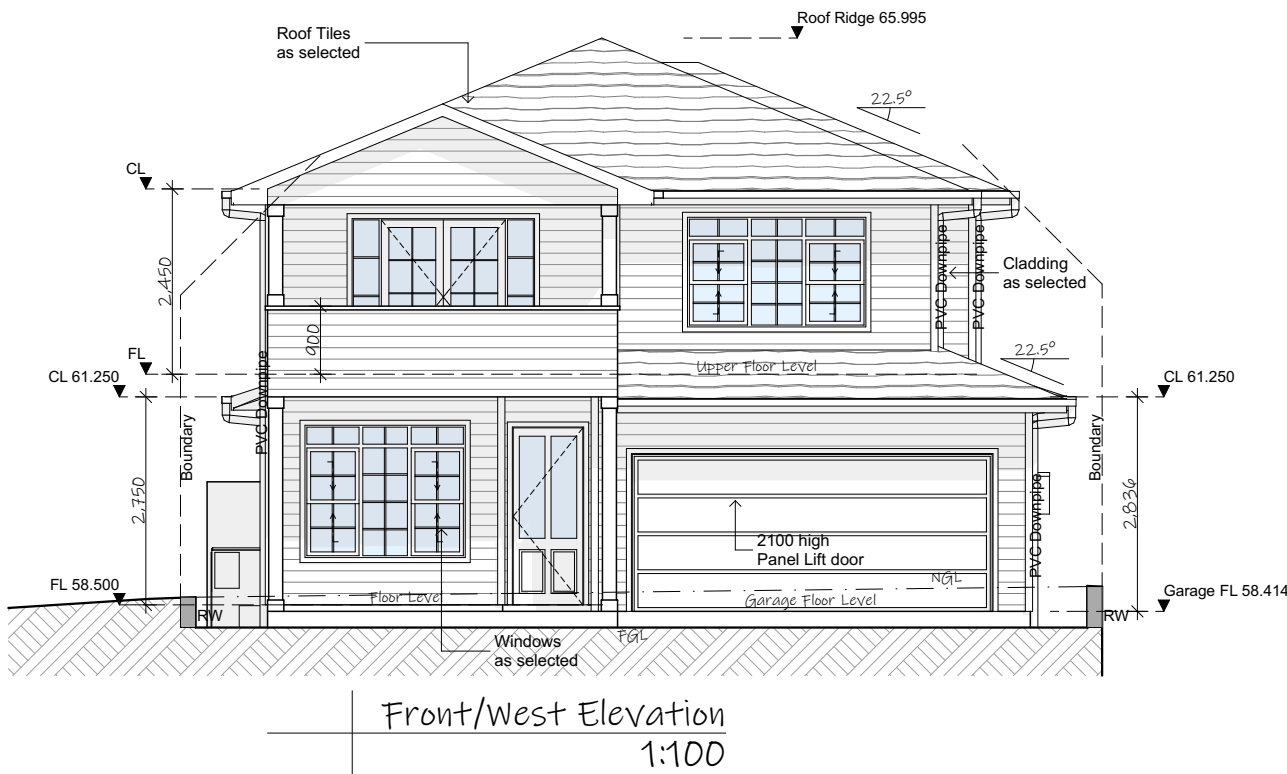
Proposed Site Plan
1:200

Proposed Residence
#11 Kimo Street, North Balgowlah
 Icon Job Number: J/0938

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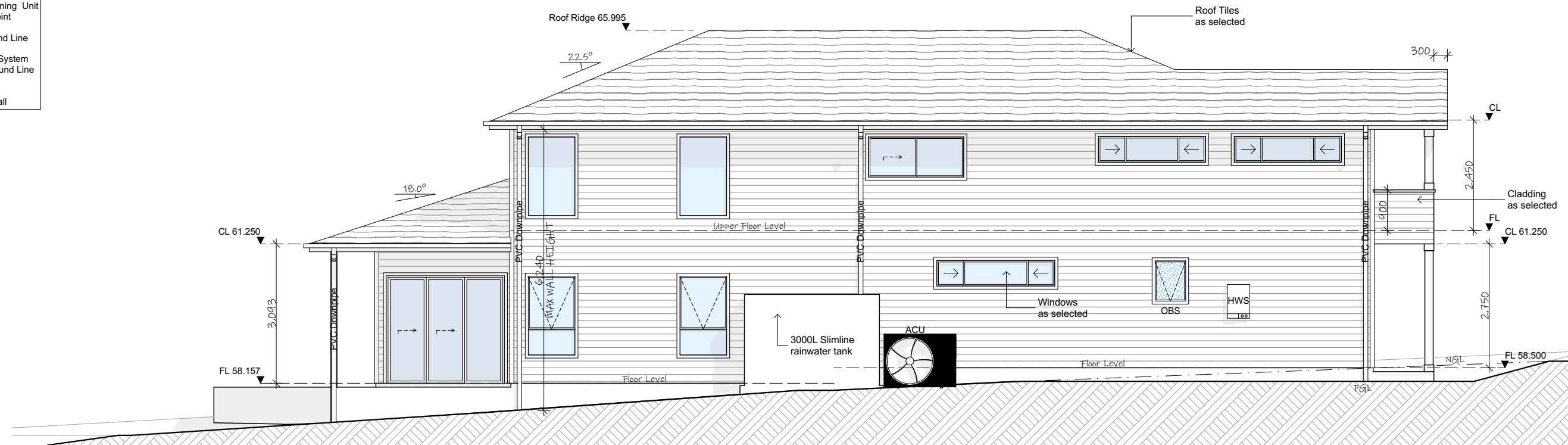
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Legend:
ACU - Air Conditioning Unit
AJ - Articulation Joint
CL - Ceiling Level
FGL - Finish Ground Line
FL - Floor Level
HWS - Hot Water System
NGL - Natural Ground Line
OBS - Obscure
DP - Downpipe
RW - Retaining Wall

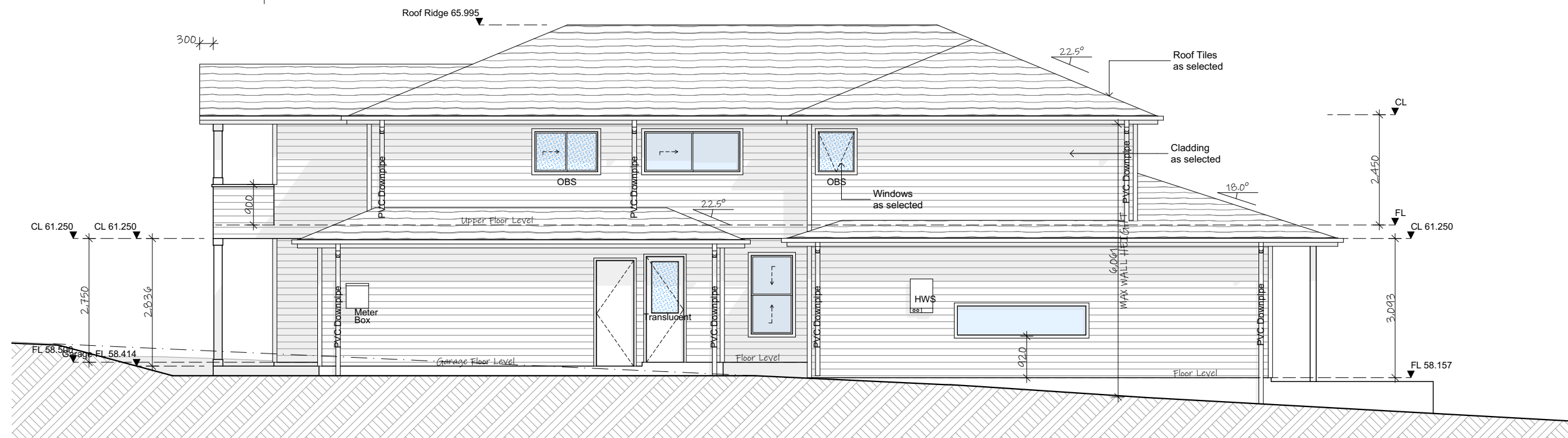


Legend:

ACU - Air Conditioning Unit
AJ - Articulation Joint
CL - Ceiling Level
FGL - Finish Ground Line
FL - Floor Level
HWS - Hot Water System
NGL - Natural Ground Line
OBS - Obscure
DP - Downpipe
RW - Retaining Wall



Side/North Elevation
1:100



Side/South Elevation
1:100

ISSUE:

J

DRAWING:

21192-10

SHEET:

14/20

DATE:

15-09-22

PAPER:

A3

LOT:

342

DP:

12316

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Residence
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