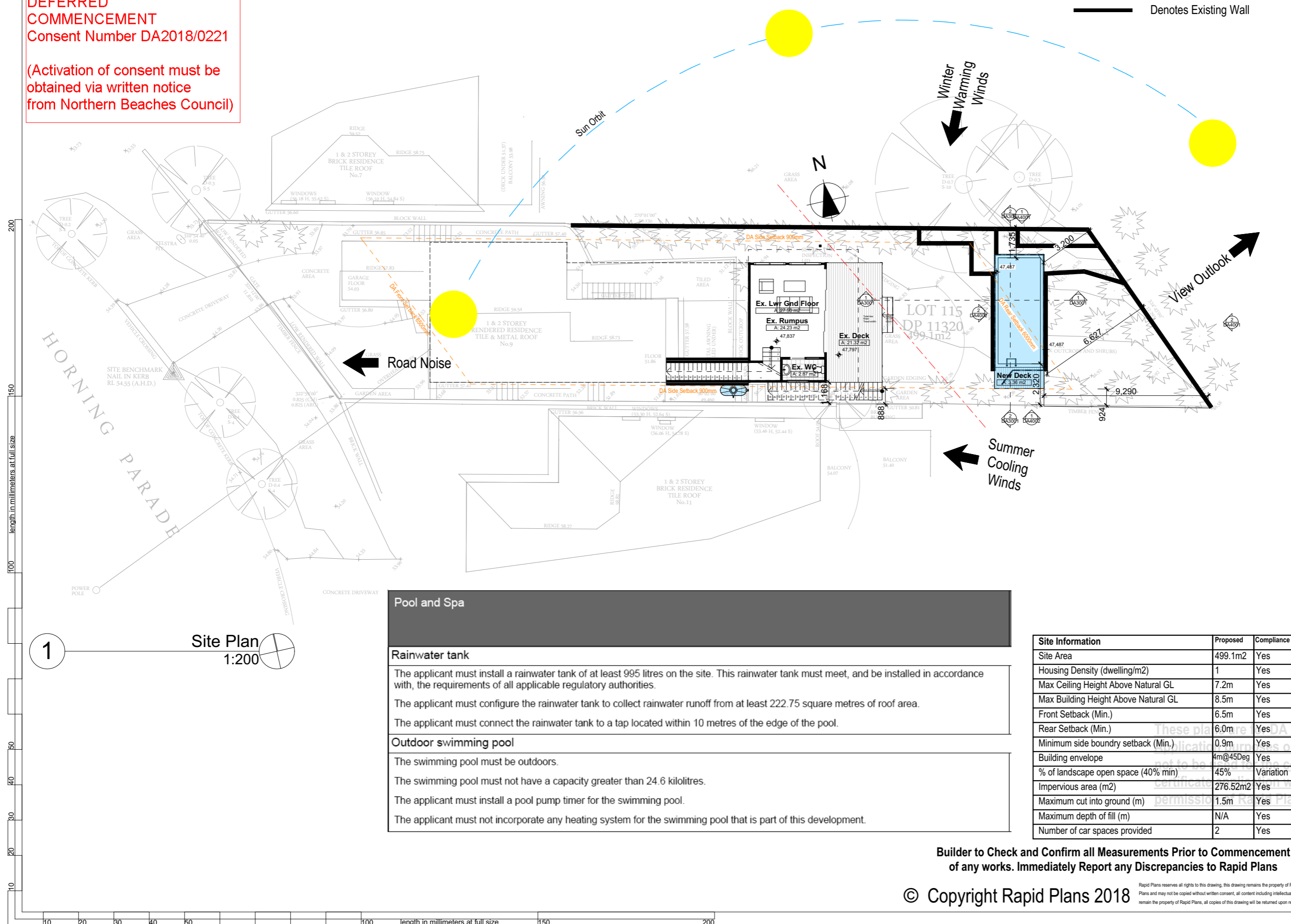


NORTHERN BEACHES COUNCIL
THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT
Consent Number DA2018/0221

(Activation of consent must be obtained via written notice from Northern Beaches Council)



| Pool and Spa | |
|--|--|
| Rainwater tank | |
| The applicant must install a rainwater tank of at least 995 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | |
| The applicant must configure the rainwater tank to collect rainwater runoff from at least 222.75 square metres of roof area. | |
| The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool. | |
| Outdoor swimming pool | |
| The swimming pool must be outdoors. | |
| The swimming pool must not have a capacity greater than 24.6 kilolitres. | |
| The applicant must install a pool pump timer for the swimming pool. | |
| The applicant must not incorporate any heating system for the swimming pool that is part of this development. | |

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 499.1m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 45% | Variation |
| Impervious area (m ²) | 276.52m ² | Yes |
| Maximum cut into ground (m) | 1.5m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| Number of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Denotes New Works
Wall Legend
Denotes Existing Wall

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bda BUILDING DESIGNERS AUSTRALIA NSW

NOTES
9 Horning Parade is zoned R2 Low Density
Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
9 Horning Parade is not considered a heritage item
Construction
Timber, N/A Walls
Roof to be N/A
Roof N/A to have N/A Insulation
Insulation to External N/A Walls N/A
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number A288089_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North
DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Dave & Penny Dixon
Project Name: **Alterations & Additions**
9 Horning Parade, Manly Vale 2093
Lot 115 D.P. 11320
Drawing Title: **Site Plans - Site Plan**
Site Plan
Scale: A3 as noted Date: 13-2-2018
Status: DA Rev1 Checked By: GBJ
Project No: RP0614REA Drawing No: DA1003
Plot Date: 4/09/2012

Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 995 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 222.75 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

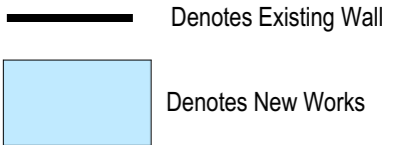
The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 24.6 kilolitres.

The applicant must install a pool pump timer for the swimming pool.

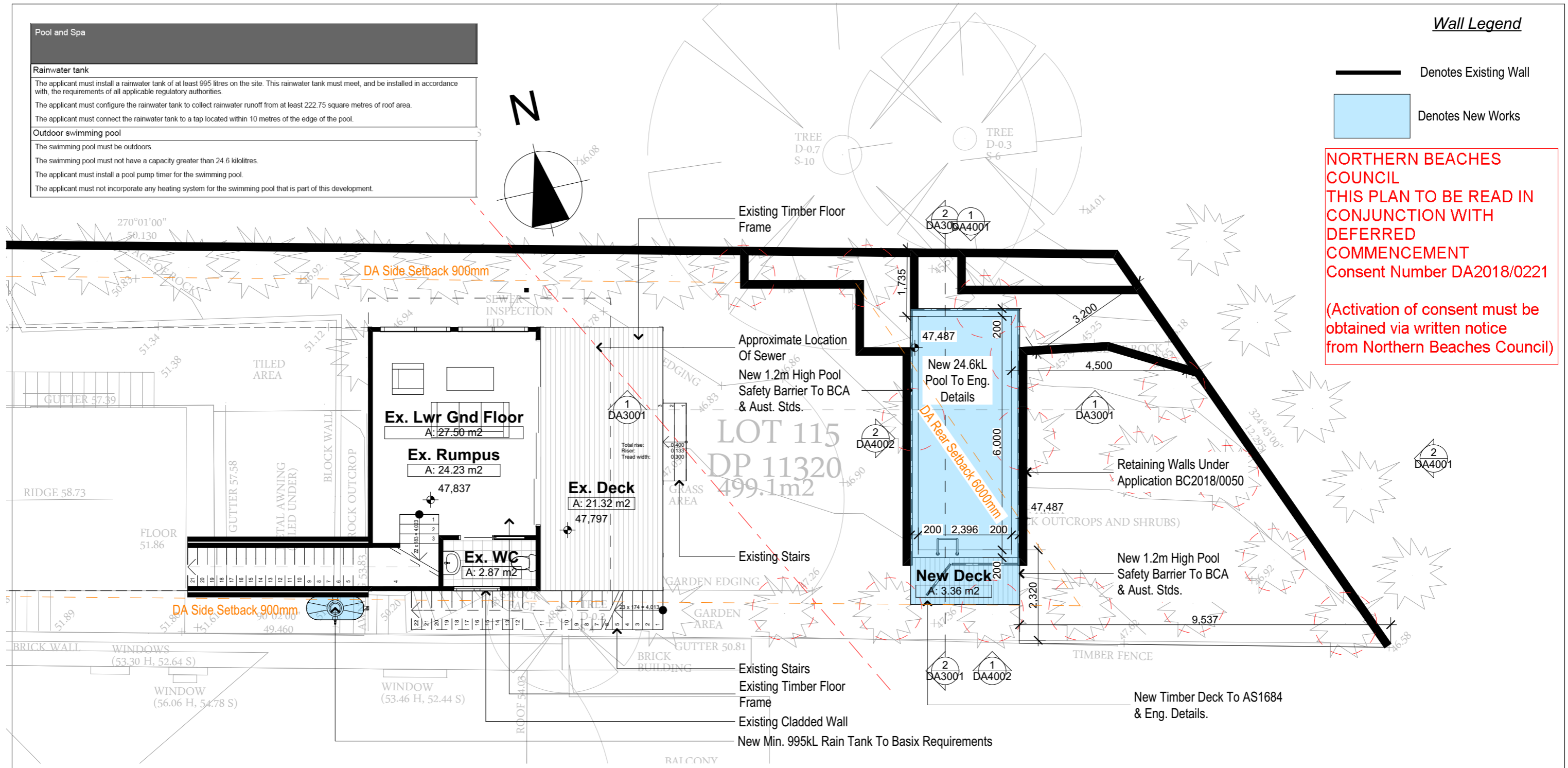
The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Wall Legend



NORTHERN BEACHES COUNCIL
THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT
Consent Number DA2018/0221

(Activation of consent must be obtained via written notice from Northern Beaches Council)



1

Lower Ground Floor Plan

1:100

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

9 Horning Parade is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue
9 Horning Parade is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber, N/A Walls
Roof N/A to have N/A Insulation
Insulation to External N/A Walls N/A
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A288089_02

All Plans to be read in conjunction with Basix Certificate

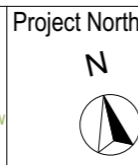
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 499.1m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 45% | Variation |
| Impervious area (m ²) | 276.52m ² | Yes |
| Maximum cut into ground (m) | 1.5m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| Number of car spaces provided | 2 | Yes |



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www.rapidplans.com.au
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Client:
Dave & Penny Dixon

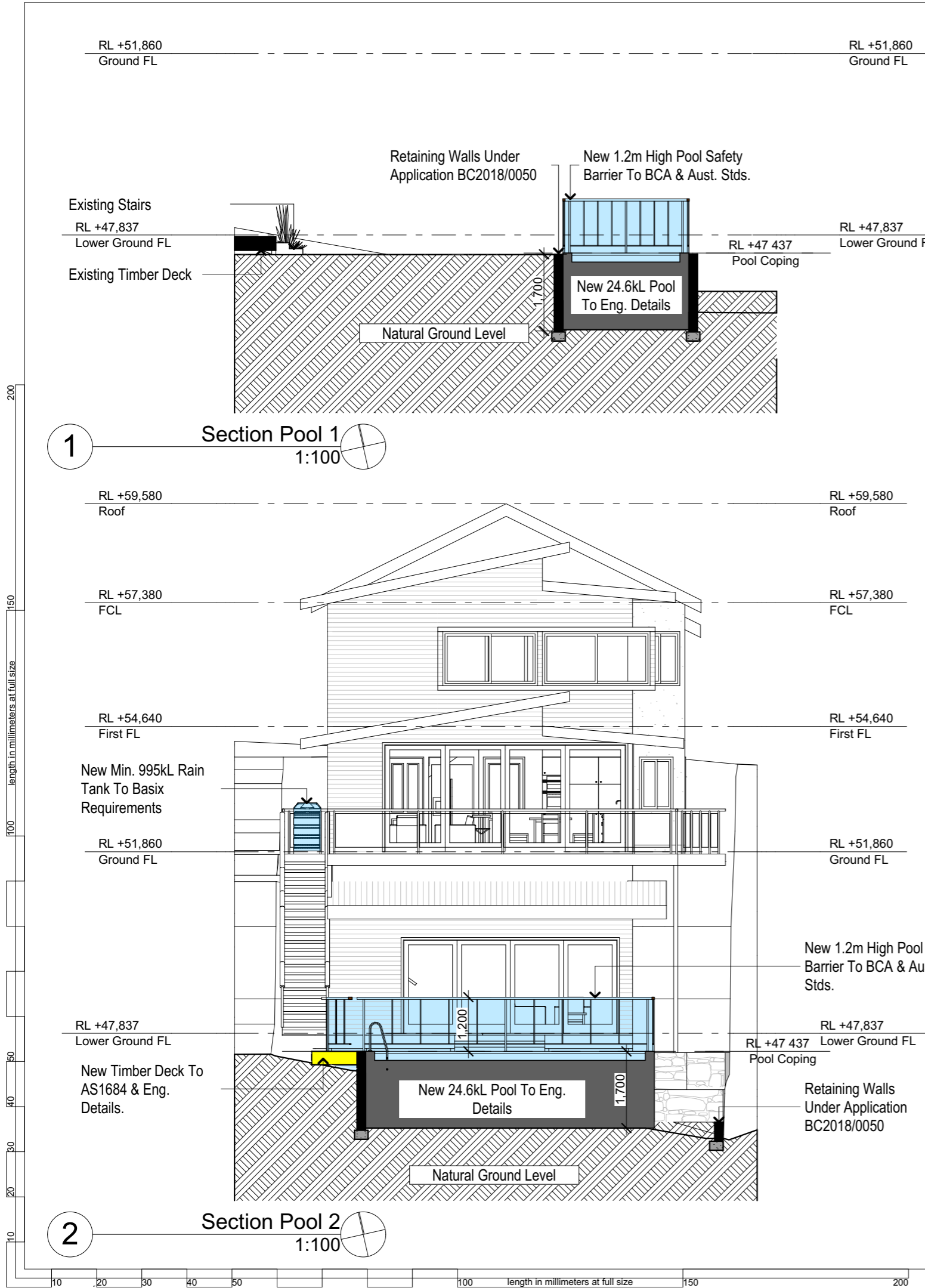
Client
Dave & Penny Dixon
Project Name
Alterations & Additions
9 Horning Parade, Manly Vale
2093

Lot 115 D.P. 11320
Drawing Title:
Plans - Lower Ground Floor
Plan
Lower Ground Floor Plan

Scale: A3 as noted
Status: DA Rev1
Project No.
RP0614REA

Date: 13-2-2018
Checked By: GBJ
Drawing No.
DA2001

Plot Date: Dave &



Wall Legend

- Denotes Existing Wall
- Denotes New Timber Framed Wall/Floor
- Denotes New Works

NORTHERN BEACHES COUNCIL
THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT
Consent Number DA2018/0221

(Activation of consent must be obtained via written notice from Northern Beaches Council)

Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 995 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 222.75 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 24.6 kilolitres.

The applicant must install a pool pump timer for the swimming pool.

The applicant must not incorporate any heating system for the swimming pool that is part of this development.

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 499.1m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 45% | Variation |
| Impervious area (m ²) | 276.52m ² | Yes |
| Maximum cut into ground (m) | 1.5m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| Number of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOTES

9 Horning Parade is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
9 Horning Parade is not considered a heritage item.

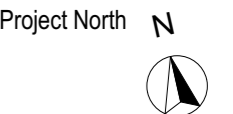
Construction
Timber, N/A Walls
Roof to be N/A
Roof N/A to have N/A Insulation
Insulation to External N/A Walls N/A
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Glazing to BCA and AS01288-2047
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Certifying

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Basix

Basix Certificate Number A288089_02
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DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client: Dave & Penny Dixon
Project Name: **Alterations & Additions**
9 Horning Parade, Manly Vale
2093

Lot 115 D.P. 11320

Drawing Title:

Sections - Section 1

Section Pool 1, Section Pool 2

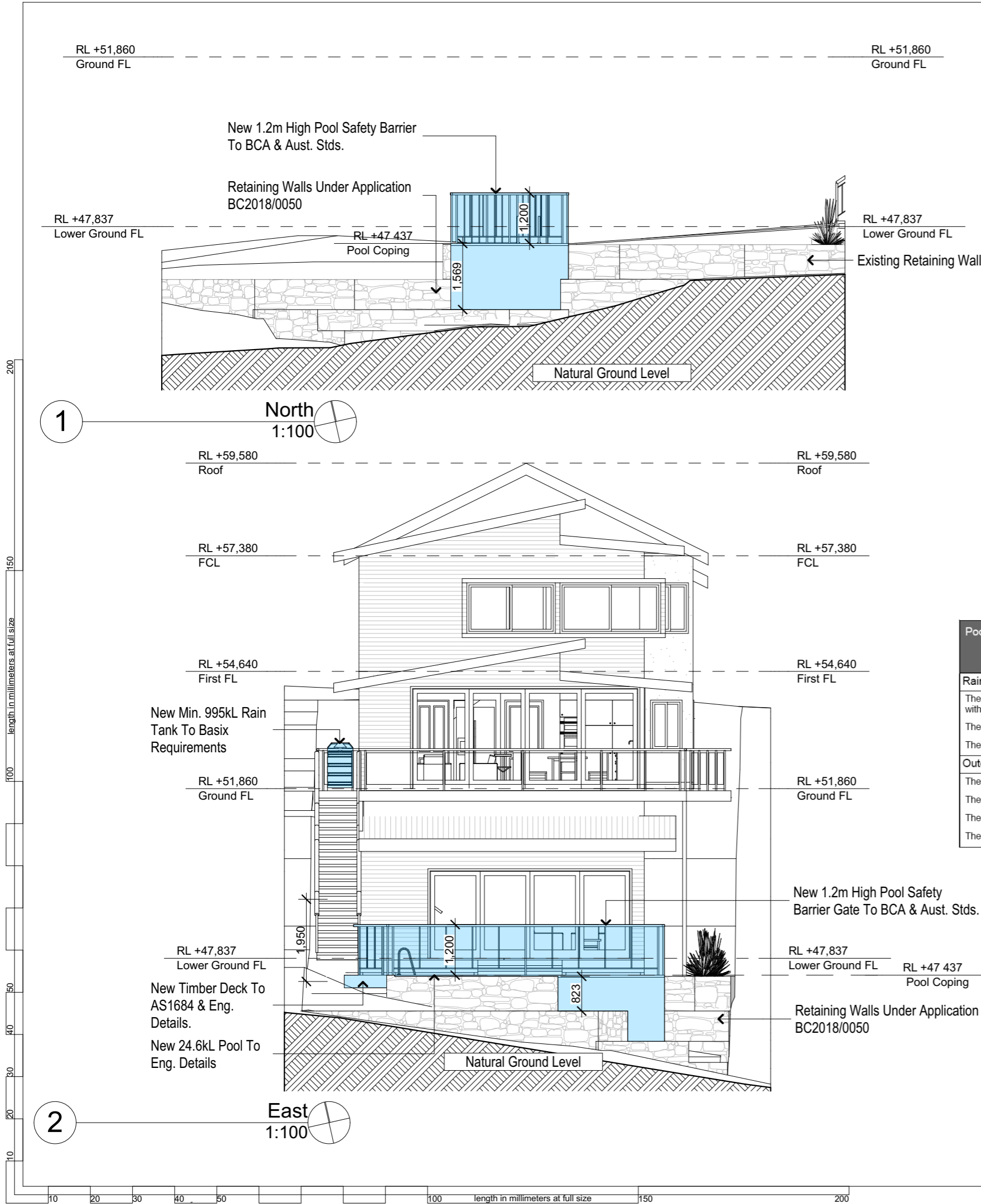
Scale: A3 as noted Date: 13-2-2018

Status: DA Rev1 Checked By: GBJ

Project No: Drawing No.

RP0614REA DA3001

Plot Date: 4/09/2012



Wall Legend

- Denotes Existing Wall
- Denotes New Works

NORTHERN BEACHES COUNCIL
THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT Consent Number DA2018/0221
(Activation of consent must be obtained via written notice from Northern Beaches Council)

| |
|--|
| Pool and Spa |
| Rainwater tank |
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| The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool. |
| Outdoor swimming pool |
| The swimming pool must be outdoors. |
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| The applicant must install a pool pump timer for the swimming pool. |
| The applicant must not incorporate any heating system for the swimming pool that is part of this development. |

| Site Information | Proposed | Compliance |
|--------------------------------------|----------|------------|
| Site Area | 499.1m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 45% | Variation |
| Impervious area (m2) | 276.52m2 | Yes |
| Maximum cut into ground (m) | 1.5m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| Number of car spaces provided | 2 | Yes |

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Mobile: 0414-945-024
Email : gregg@rapidplans.com.au

BUILDING DESIGNERS AUSTRALIA NSW

NOTES

9 Horning Parade is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
9 Horning Parade is not considered a heritage item

Construction

Timber, N/A Walls
Roof to be N/A
Roof N/A to have N/A Insulation
Insulation to External N/A Walls N/A
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basix

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Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

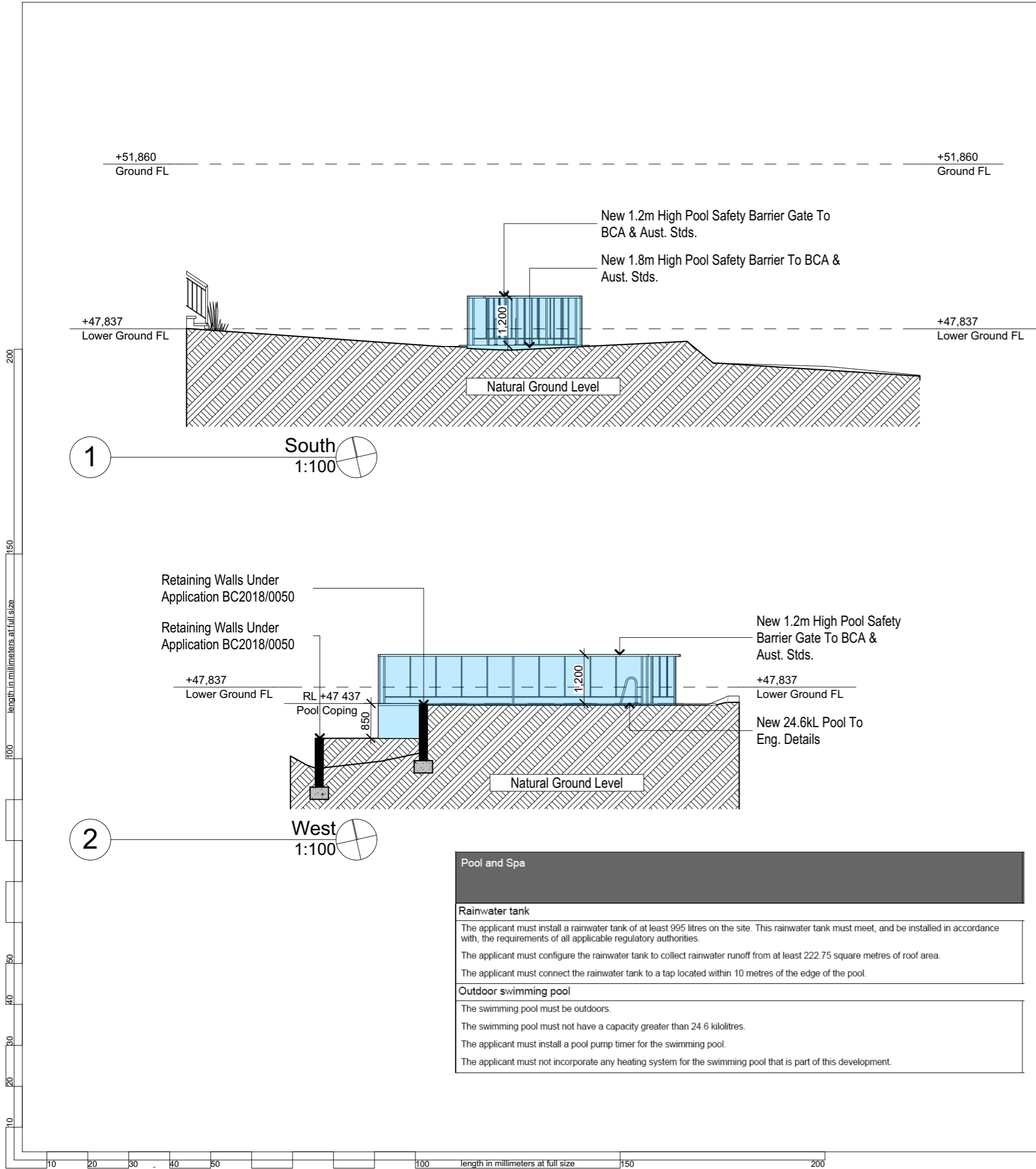
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Client: Dave & Penny Dixon
Project Name: **Alterations & Additions**
9 Horning Parade, Manly Vale 2093
Lot 115 D.P.11320
Drawing Title:

Elevations - Elevation 1

North, East

| | |
|-----------------------|--------------------|
| Scale: A3 as noted | Date: 13-2-2018 |
| Status: DA Rev1 | Checked By: GBJ |
| Project No: RP0614REA | Drawing No: DA4001 |
| Plot Date: | 4/09/2012 |



Wall Legend

- Denotes Existing Wall
- Denotes New Timber Framed Wall/Floor
- Denotes New Works

NORTHERN BEACHES COUNCIL
THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT
Consent Number DA2018/0221

(Activation of consent must be obtained via written notice from Northern Beaches Council)

| Site Information | Proposed | Compliance |
|--------------------------------------|----------|------------|
| Site Area | 499.1m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
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| Minimum side boundary setback (Min.) | 0.9m | Yes |
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| % of landscape open space (40% min) | 45% | Variation |
| Impervious area (m2) | 276.52m2 | Yes |
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| Maximum depth of fill (m) | N/A | Yes |
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BUILDING DESIGNERS AUSTRALIA NSW

NOTES

9 Horning Parade is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
9 Horning Parade is not considered a heritage item

Construction

Timber, N/A Walls
Roof to be N/A
Roof N/A to have N/A Insulation
Insulation to External N/A Walls N/A
Refer to Engineers drawings for structural details
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Project North



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Dave & Penny Dixon

Project Name
Alterations & Additions

9 Horning Parade, Manly Vale
2093

Lot 115 D.P.11320

Drawing Title:

Elevations - Elevation 2

South, West

Scale: A3 as noted Date: 13-2-2018

Status: DA Rev1 Checked By: GBJ

Project No: RP0614REA Drawing No: DA4002

Plot Date: 4/09/2012