

DEVELOPMENT PROPOSAL

ADDRESS: 44 STARKEY ST, FORSTVILLE, NSW 2087.
WORK: ADDITIONS & ALTERNATIONS TO EXISTING DWELLING.
NEW ROOMS ABOVE GARAGE..
D.P: 369969 LOT: C.
BUILDING CLASS 1A.



BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A405116

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 25, March 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	44 Starkey St Forestville
Street address	44 Starkey Street Forestville 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 369969
Lot number	C
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	tim woods
ABN (if applicable):	N/A

LOCATION

44 STARKEY ST,
FORESTVILLE,
NSW 2087

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

proudly supporting

bearcottage

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Project ADDITIONS AND ALTERATIONS	Sheet	
Date 28/01/2021	CV	
Scale NTS		
DP No. 369969		
LOT No. C		
A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

dhDRAFTING HELP

ARCHITECTURAL DRAFTING & DESIGN SERVICES

5/470 Sydney Rd
Balgoviah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087

NOTE: IMAGES ARE FOR VISUALISATION PURPOSES ONLY. REFER TO DRAWINGS FOR ACTUAL DETAILS.

GENERAL NOTES	
•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS	
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.	
•CONNECT DPS TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS	

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FINAME

REVDATE

USER

- General Notes

G1.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH DURING THE COURSE OF THE PROJECT. ANY DISCREPANCIES ARE TO BE REFERRED TO THE PRINCIPAL FOR DECISION BEFORE PROCEEDING WITH THE WORK.

G2.

ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE FABRICATION WORK SHALL BE VERIFIED BY THE BUILDER BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.

G3.

DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.

G4.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.

G5.

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES.

G6.

FLASHINGS AND DAMPROOF COURSE TO BE PLACED IN ACCORDANCE WITH GOOD BUILDING PRINCIPLES WHETHER SHOWN ON THE DETAILS OR NOT.

G7.

THIS DRAWING TO BE READ IN CONJUNCTION WITH HIA GENERAL HOUSING SPECIFICATION.
- Foundations

F1.

UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH AS 2870.

F2.

TERMITE TREATMENT SHALL BE IN ACCORDANCE WITH AS 3660.1

F3.

THE UNDERFLOOR VAPOUR BARRIER SHALL BE IN ACCORDANCE WITH AS 2870

F4.

REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH AS 3600, AS 2870 AND THE ENGINEERS RECOMMENDATIONS.

F5.

STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH AS 3600. PRE MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379.

F6.

PROVIDE ADEQUATE CROSS FLOOR VENTILATION TO THE SPACE UNDER SUSPENDED GROUND FLOOR.

F7.

ALL SLABS SHALL BE CURED IN ACCORDANCE WITH AS 3600.

- Masonry

M1.

ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS/NZS 4455, AS/NZS 4456 AND AS 3700.

M2.

CONCRETE BLOCKS ARE TO BE IN ACCORDANCE WITH AS 2733.

M3.

ALL DAMP PROOF COURSES SHALL COMPLY WITH AS 3700 AND AS 2904.

M4.

CAVITY VENTILATION WEEP HOLES SHALL BE IN ACCORDANCE WITH AS 3700.

M5.

MORTAR SHALL COMPLY WITH AS 3700, JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS 3700.

M6.

ALL WALL TIES SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2699 AND BE INSTALLED IN ACCORDANCE WITH AS 3700.
- Timber Framing

T1.

ALL TIMBER FRAMEWORK SHALL COMPLY WITH AS 1684.

T2.

ROOF FRAMING TO BE IN ACCORDANCE WITH AS 1684.

T3.

TIMBER ROOF TRUSSES TO MANUFACTURERS DETAILS AND SPECIFICATIONS.

T4.

TIMBER BRACING TO BE IN ACCORDANCE WITH AS 1684.

- Tiling

T1.

CEMENT MORTAR AND OTHER ADHESIVES SHALL COMPLY WITH AS 3958.1

T2.

INSTALLATION OF TILES SHALL BE IN ACCORDANCE WITH AS 3958.
- Claddings & Linings

C1.

THE LINING OF WET AREA WALLS SHALL BE CONSTRUCTED IN

C2.

ACCORDANCE WITH AS 3740.

C3.

ALL INTERNAL WET AREAS AND BALCONIES OVER INHABITABLE ROOMS TO BE WATER PROOFED TO AS 3740.

- Joinery

J1.

ALL INTERNAL AND EXTERNAL TIMBER DOOR AND DOOR SETS SHALL BE IN ACCORDANCE WITH AS 1909. TIMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2688 AND AS 2689.

J2.

ALL GLAZING SHALL COMPLY WITH AS 1288.

- Steel Framing

S1.

ALL STEEL FRAMING INCLUDING FLOORS, WALLS AND ROOF FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND AS 3623.

- Roofing

R1.

CONCRETE AND TERRACOTTA TILES SHALL COMPLY WITH AS 2049 AND BE INSTALLED IN ACCORDANCE WITH AS 2050.

R2.

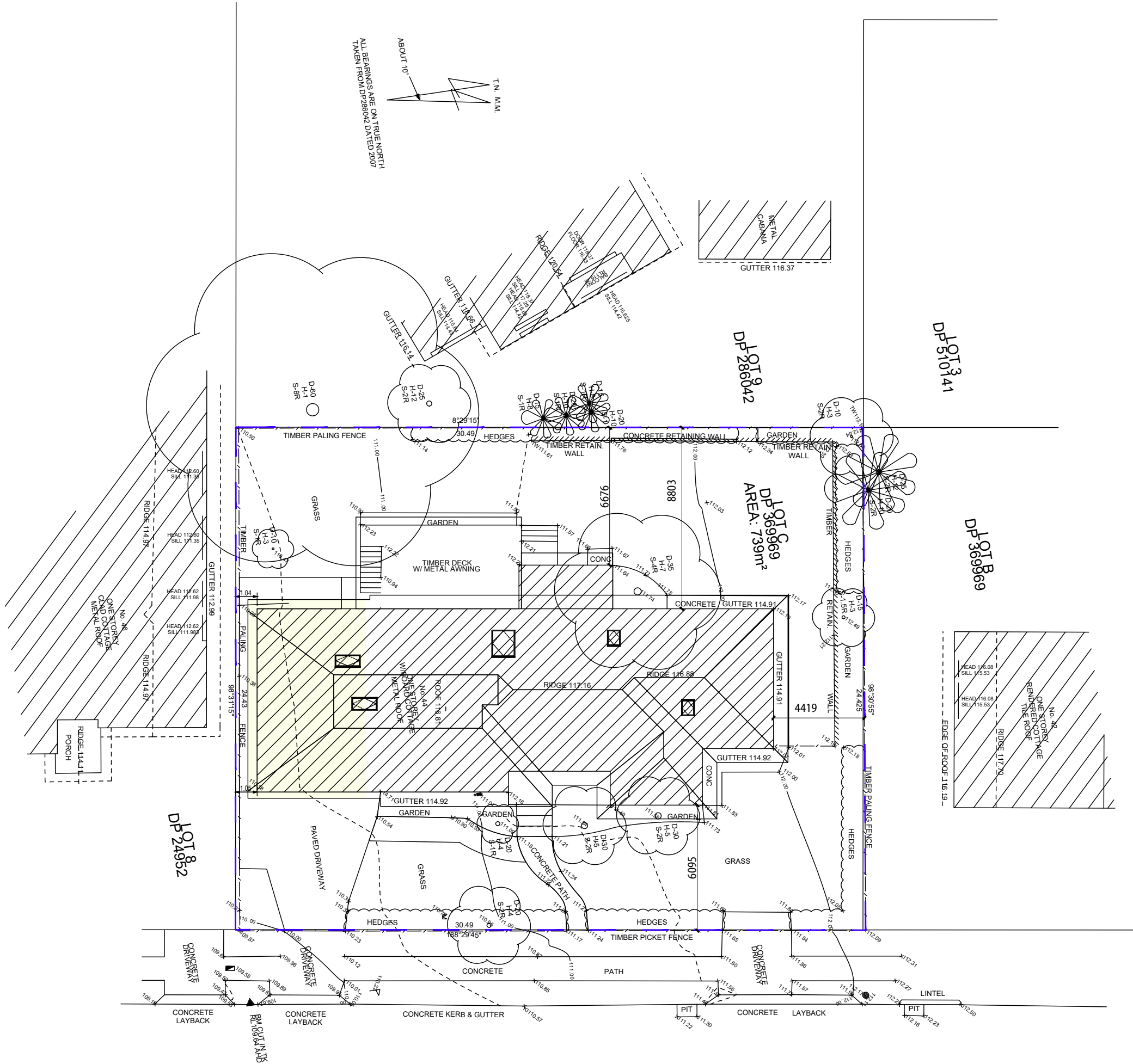
METAL RAINWATER GOODS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2179 AND INSTALLED IN ACCORDANCE WITH AS 2180.

R3.

SARKING TO COMPLY AND BE FIXED IN ACCORDANCE WITH AS/NZS 4200.1 & AS/NZS 4200.2.

R4.

WEATHERPROOFINGS AND FLASHINGS SHALL COMPLY WITH AS 2904, AS 1804 AND AS 3700.



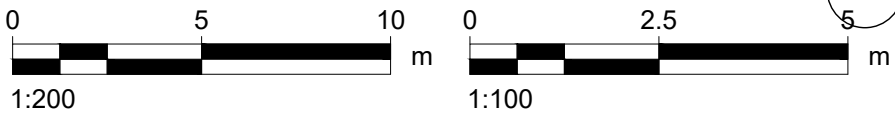
STARKEY STREET

- GENERAL NOTES

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•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.

•CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



1 SITE PLAN – PROPOSED Scale 1:200

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 28/01/2021	SP
Scale 1:200	

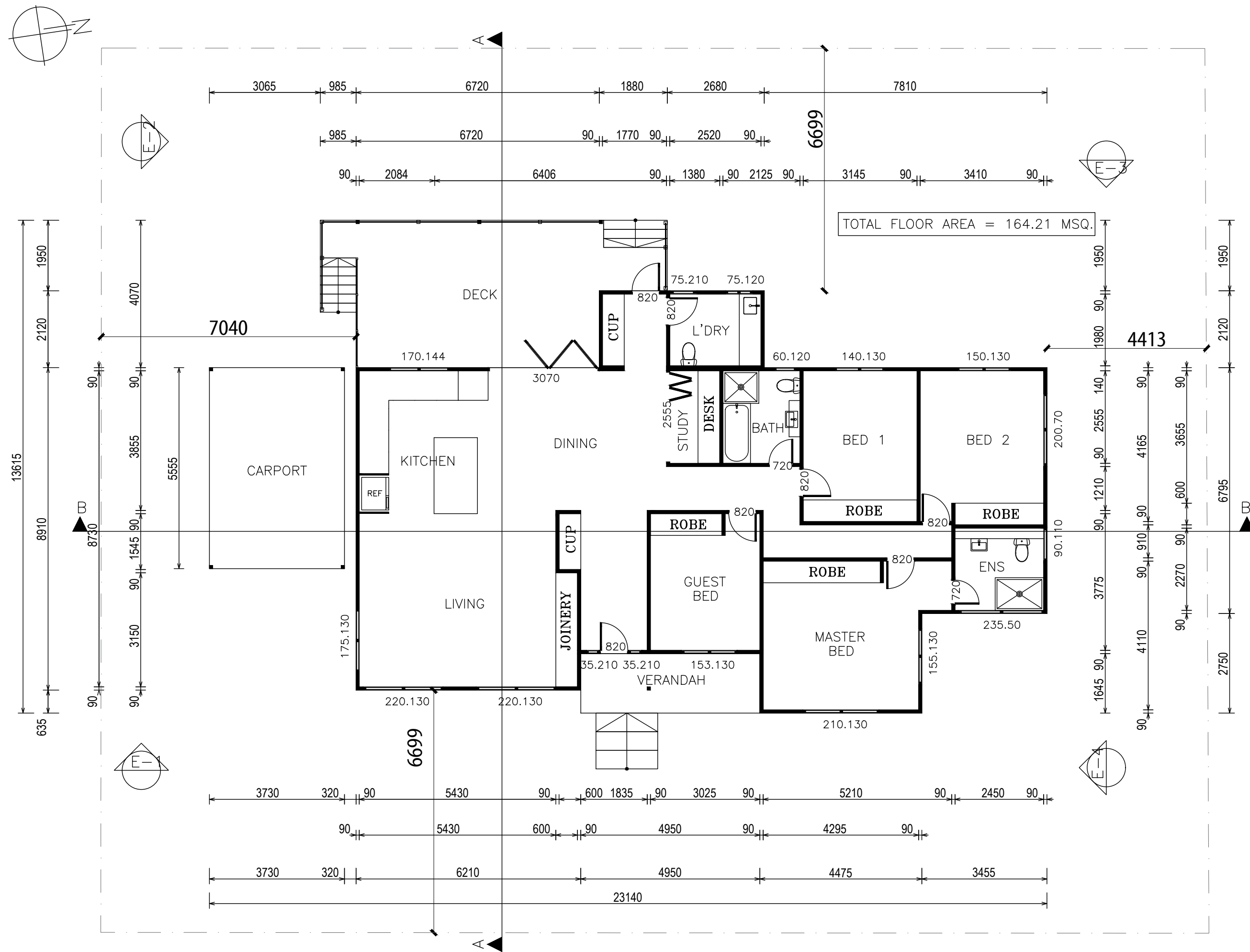
DP No. 369969

LOT No. C

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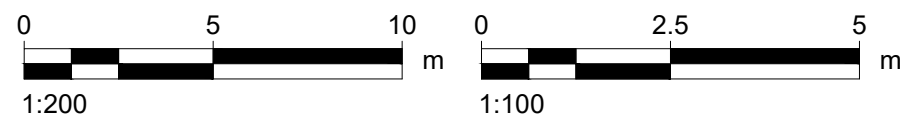
Project Name and Address
JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087



1 GROUND FLOOR PLAN - EXISTING
Scale 1:100

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Project ADDITIONS AND ALTERATIONS	Sheet 1
Date 28/01/2021	
Scale 1:100	

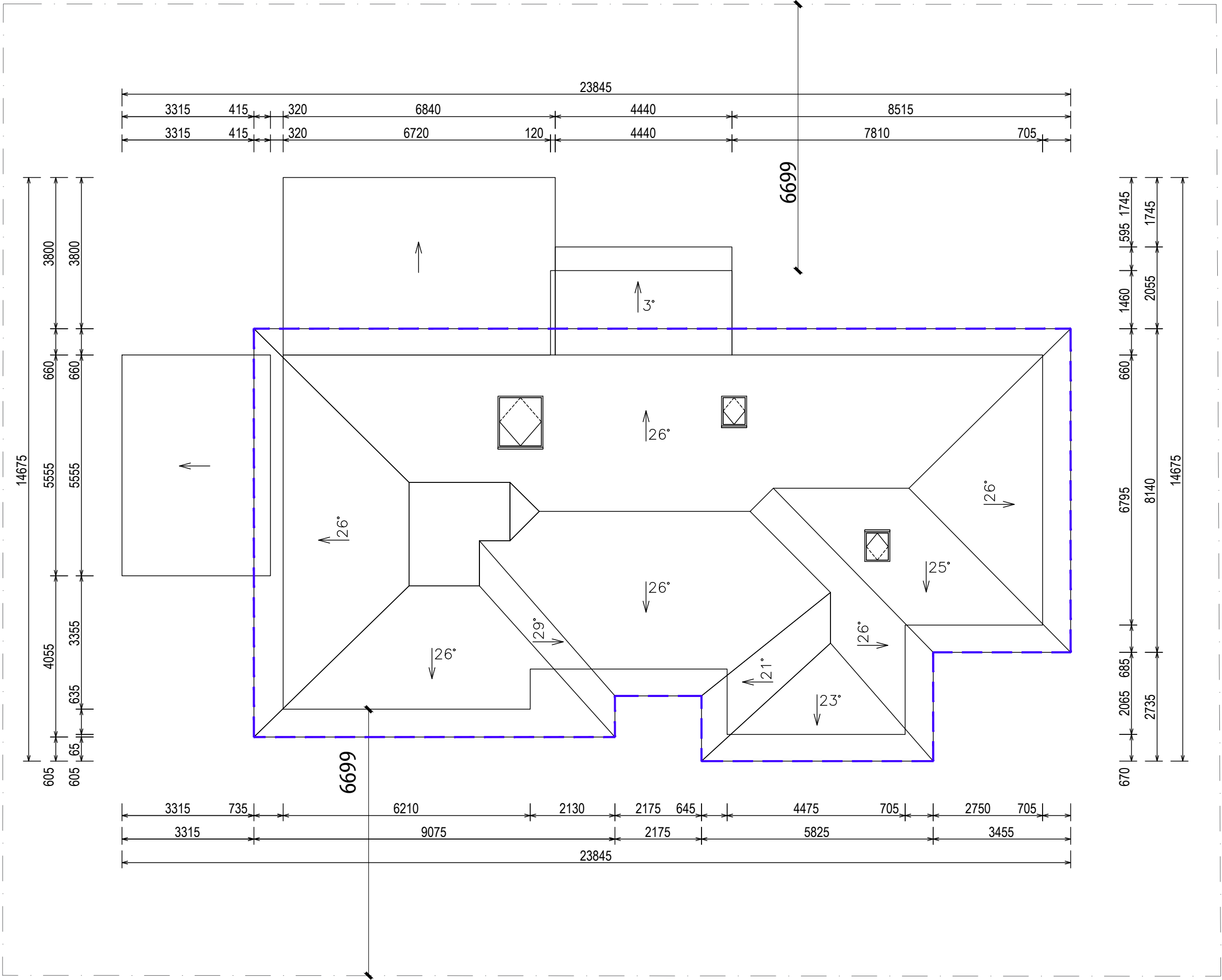
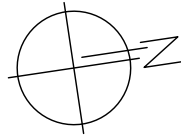
DP No. **369969**

LOT No. **C**

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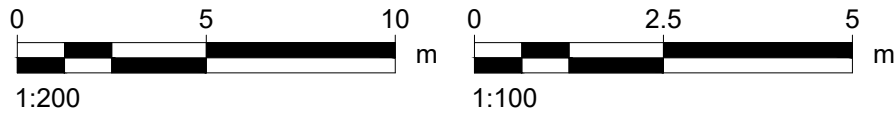
Project Name and Address
**JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087**



1 ROOF PLAN – EXISTING
Scale 1:100

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LEGEND:

- EXISTING BUILDING OUTLINE
- PROPOSED WORK

General Notes



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Project	Sheet
AUDITS AND ALTERATIONS	2
Date	
28/01/2021	
Scale	
1:100	

DP No. 369969

LOT No. C

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No.	Revision/Issue	Date

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Project Name and Address
JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087

FNAME

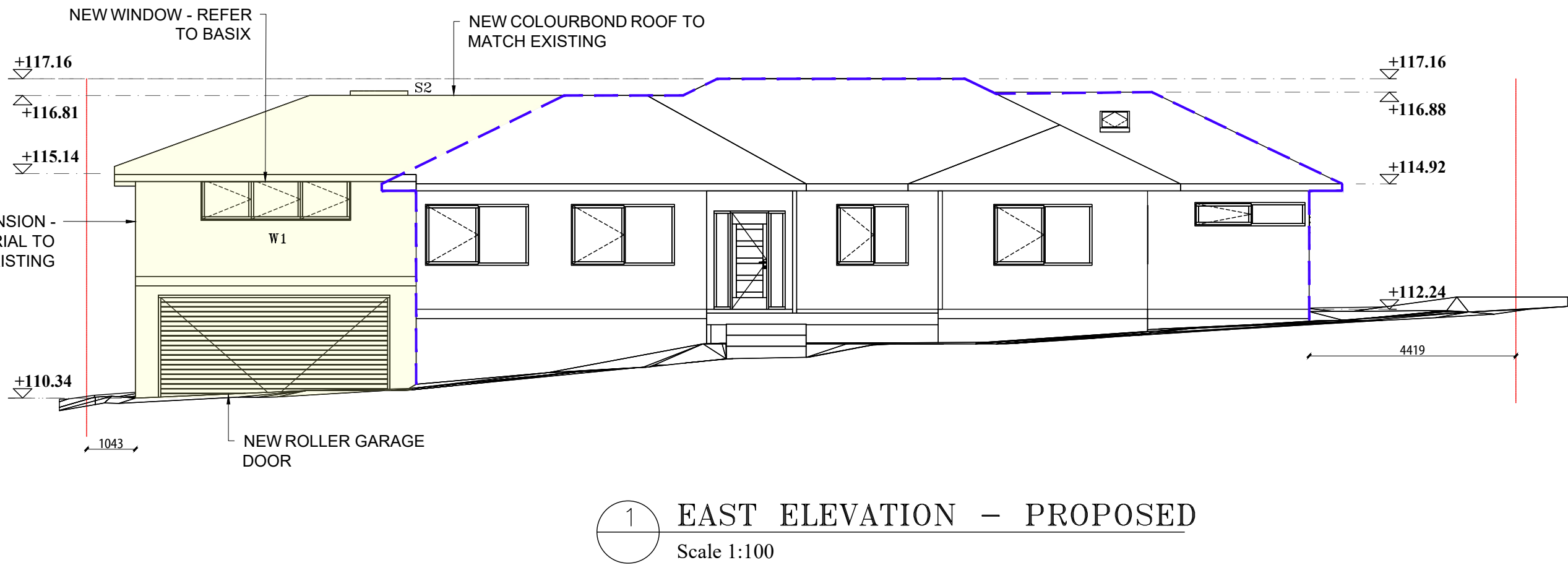
REVDATE

USER

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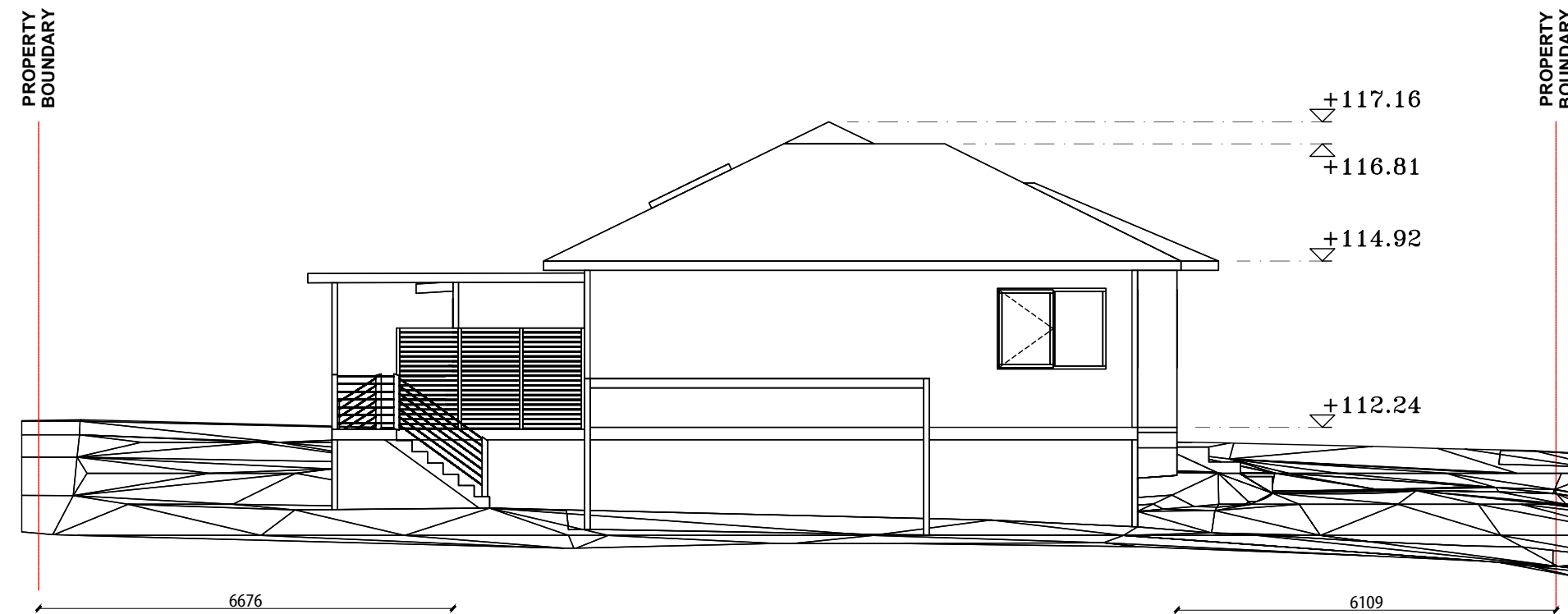


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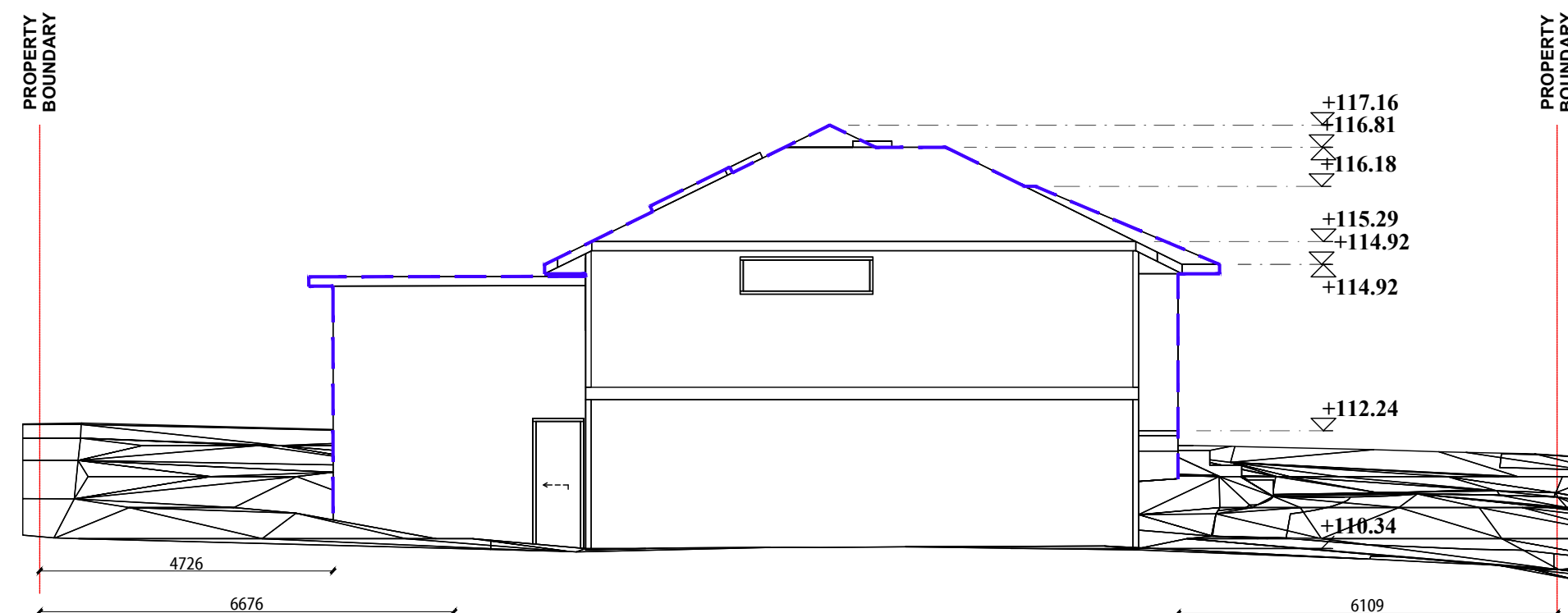
Project ADDITIONS AND ALTERATIONS	Sheet
Date 28/01/2021	3
Scale 1:100	
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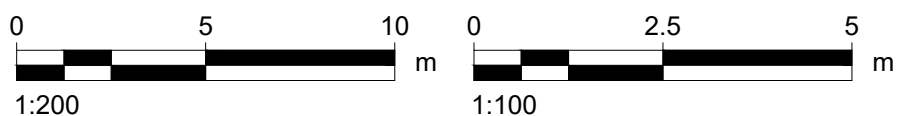


1 NORTH ELEVATION – EXISTING
Scale 1:100



1 NORTH ELEVATION – PROPOSED
Scale 1:100

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LEGEND:
EXISTING BUILDING OUTLINE - - - - -

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3D VISUALISATION
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LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

proudly supporting bear cottage
a member of the children's hospital & museum

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Project ADDITIONS AND ALTERATIONS	Sheet	
Date 28/01/2021	4	
Scale 1:100		
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Project ADDITIONS AND ALTERATIONS	Sheet
Date	6
28/01/2021	
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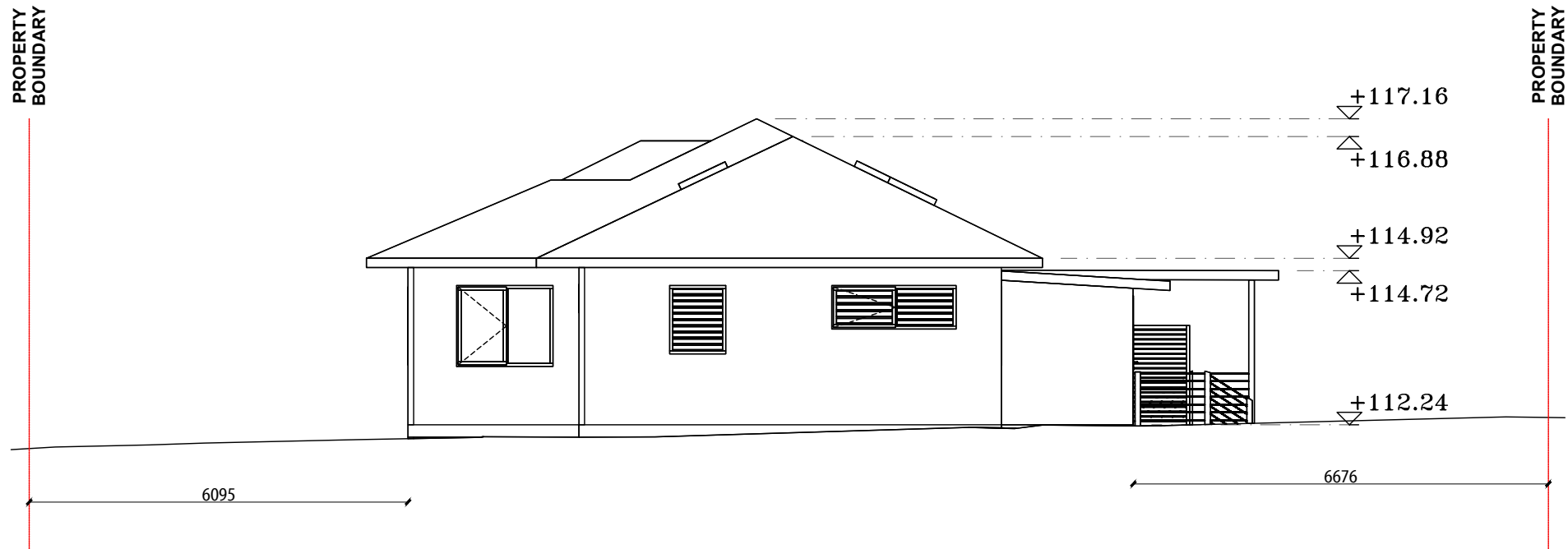
DP No. 369969

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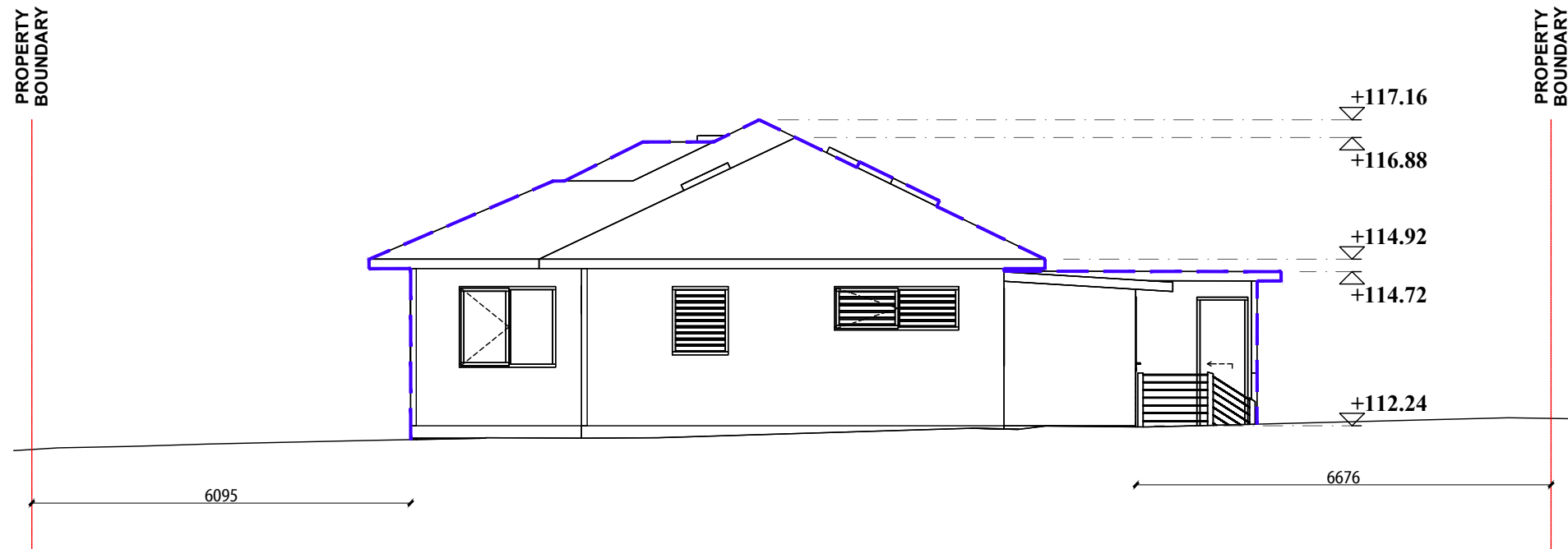
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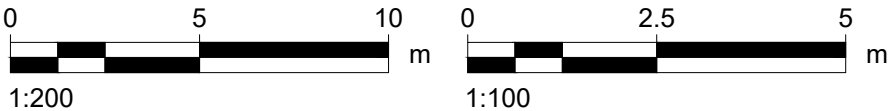


1 SOUTH ELEVATION – EXISTING
Scale 1:100



1 SOUTH ELEVATION – PROPOSED
Scale 1:100

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NOTES:

PRELIMINARIES

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install proprietry products or systems in accordance with the published recommendations of the manufacturer or supplier.

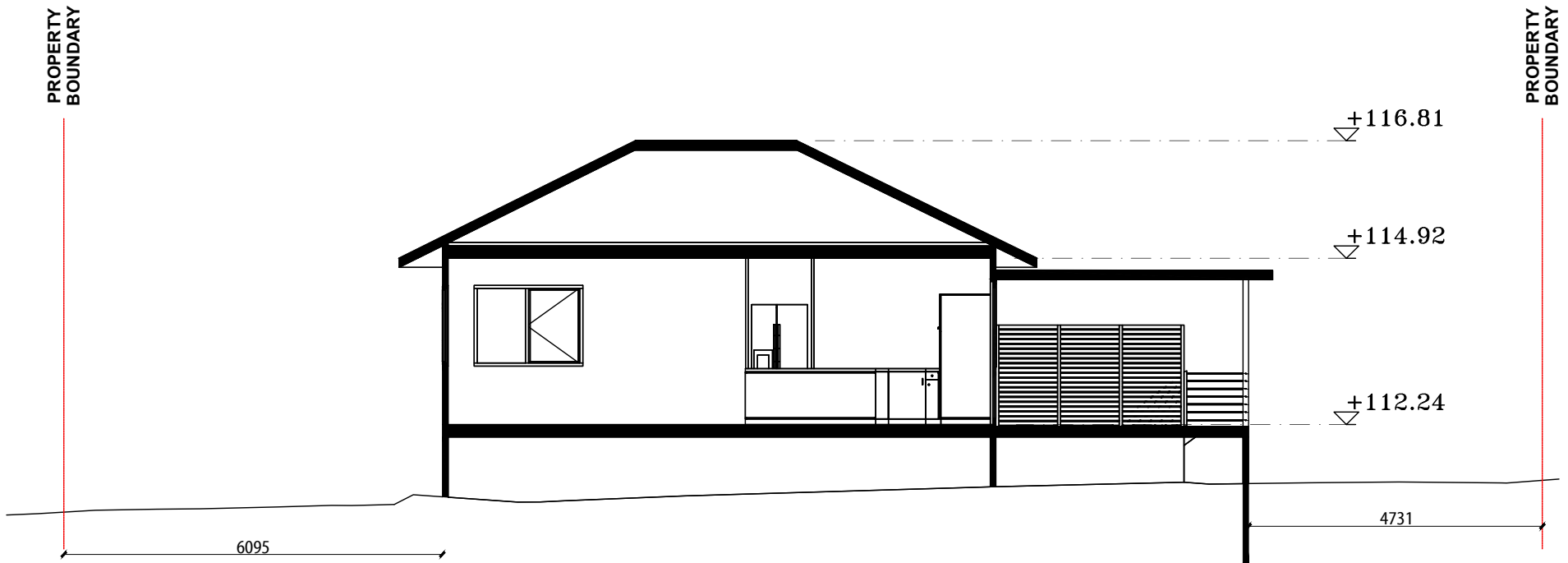
Dimensions and Setout

Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

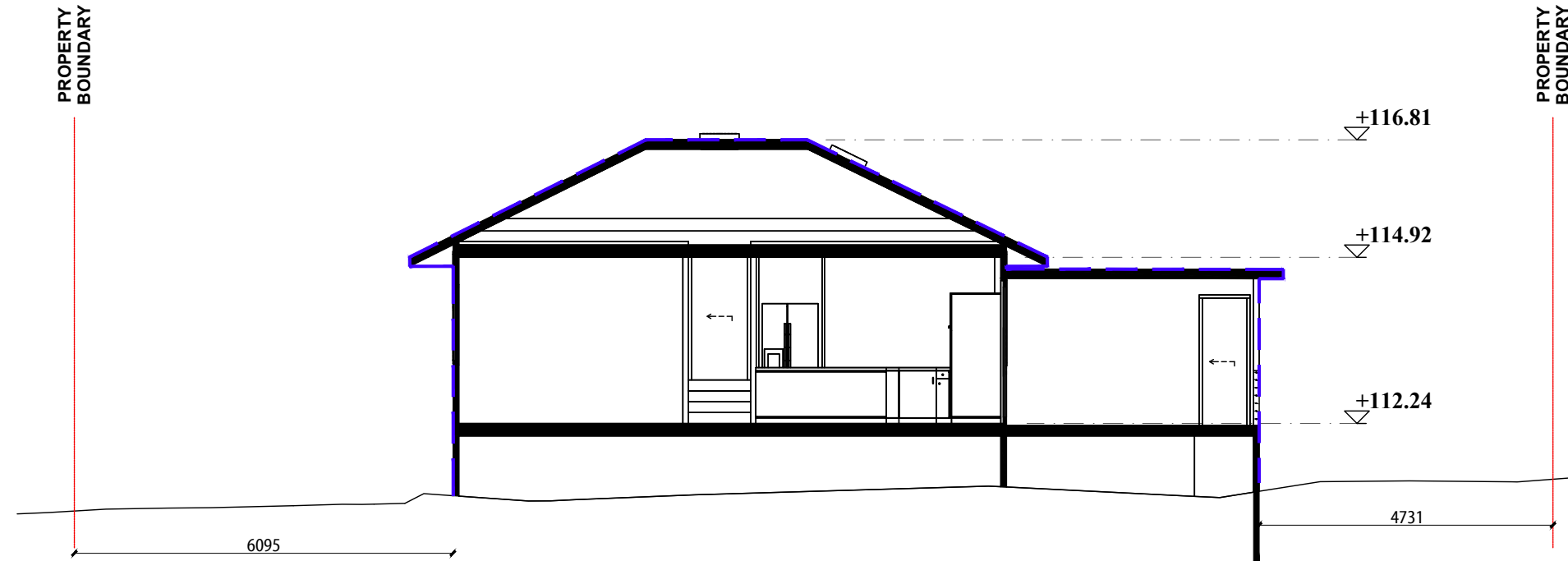
CONCRETE CONSTRUCTION

Concrete structures generally to AS3600.
Ground slabs and footings to AS2870.
Ready-mixed concrete to AS1379.

All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required. Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.



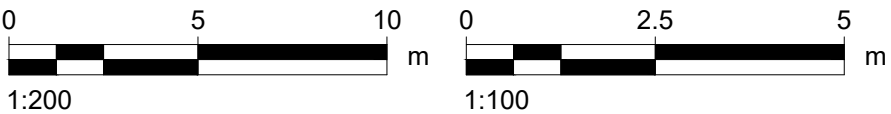
SECTION - EXISTING
Scale 1:100



SECTION - PROPOSED
Scale 1:100

GENERAL NOTES

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- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



LEGEND:

EXISTING BUILDING OUTLINE

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 28/01/2021	7
Scale 1:100	

DP No. 369969

LOT No. C

A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087

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NOTES:
TIMBER AND STEEL CONSTRUCTION
All timber framing and flooring to AS1684, AS1720.1 where relevant.
Structural steelwork to AS4100.
Preparation of metal surfaces to AS1627.
Flashing and damp-proof courses to AS2904.

TERMITE PROTECTION
Termite protection to AS3660.1.
Use a physical barrier system installed by licensed installers to manufacturer's specification.
Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

Decking
Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.
New timber decking to AS2796.

GUTTERS AND DOWNPIPES TO COMPLY WITH PART 3.5.2 OF THE BCA.
GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART 3.5 BCA AND AS 3500.

SMOKE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH PART 3.7.2 BCA ABD COMPLY WITH AS 3786.

ALL ELECTRICAL WORK SHALL BE COMPLIANT WITH AS/NZS5033 AND AS3000.

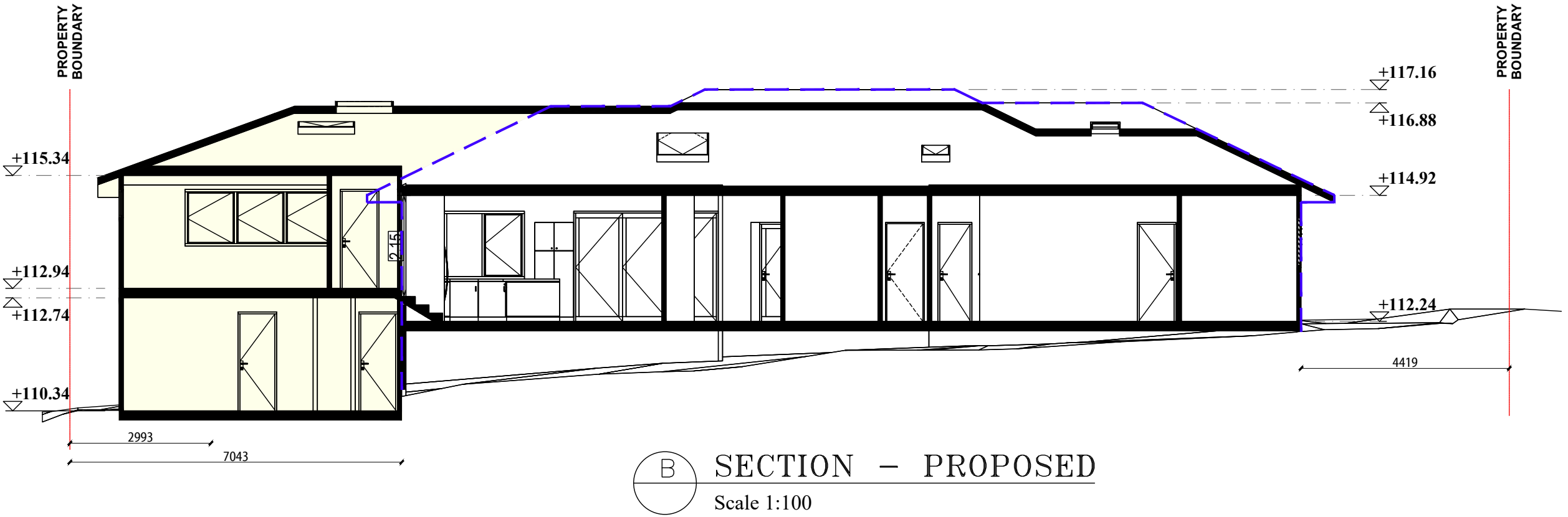
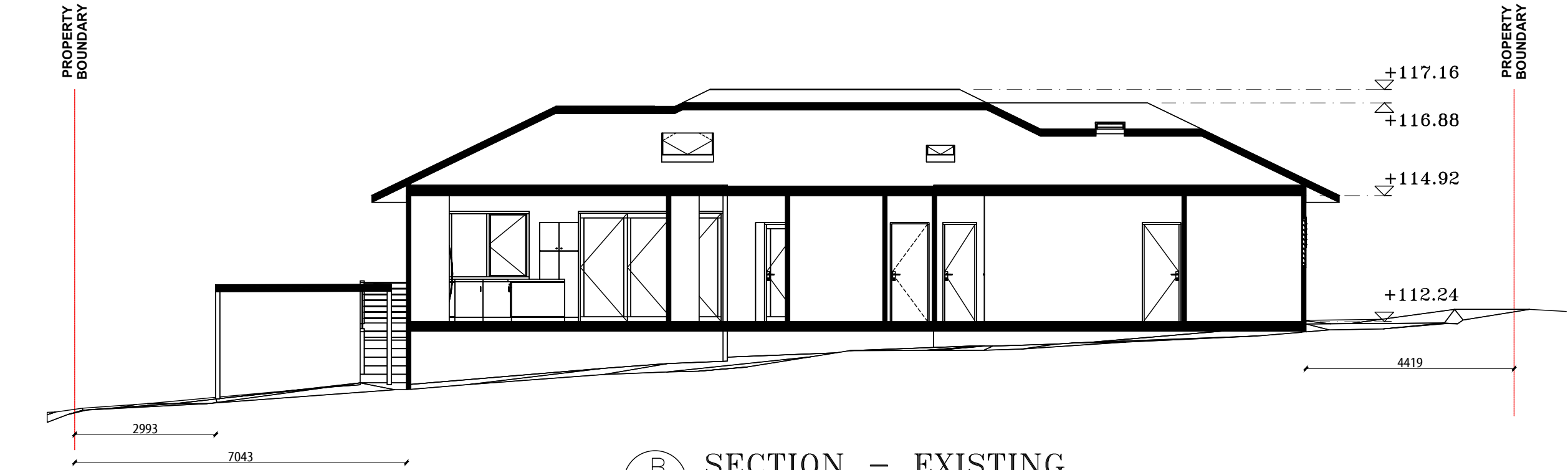
FALLS IN WET AREAS: FLOOR TILES TO BE GRADED TO WASTE AREAS AND WHERE REQUIRED. RECOMMENED RATIO OF FALL WITHIN THE SHOWER TO BE BETWEEN 1:60 & 1:100.

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LEGEND:
EXISTING BUILDING OUTLINE

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

proudly supporting bear cottage

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 28/01/2021	8
Scale 1:100	
DP No. 369969	
LOT No. C	
A ISSUED FOR DA	XXXX
No.	Revision/Issue Date

dh DRAFTING HELP

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Project Name and Address
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FORESTVILLE
NSW 2087

FNAME

REVDATE

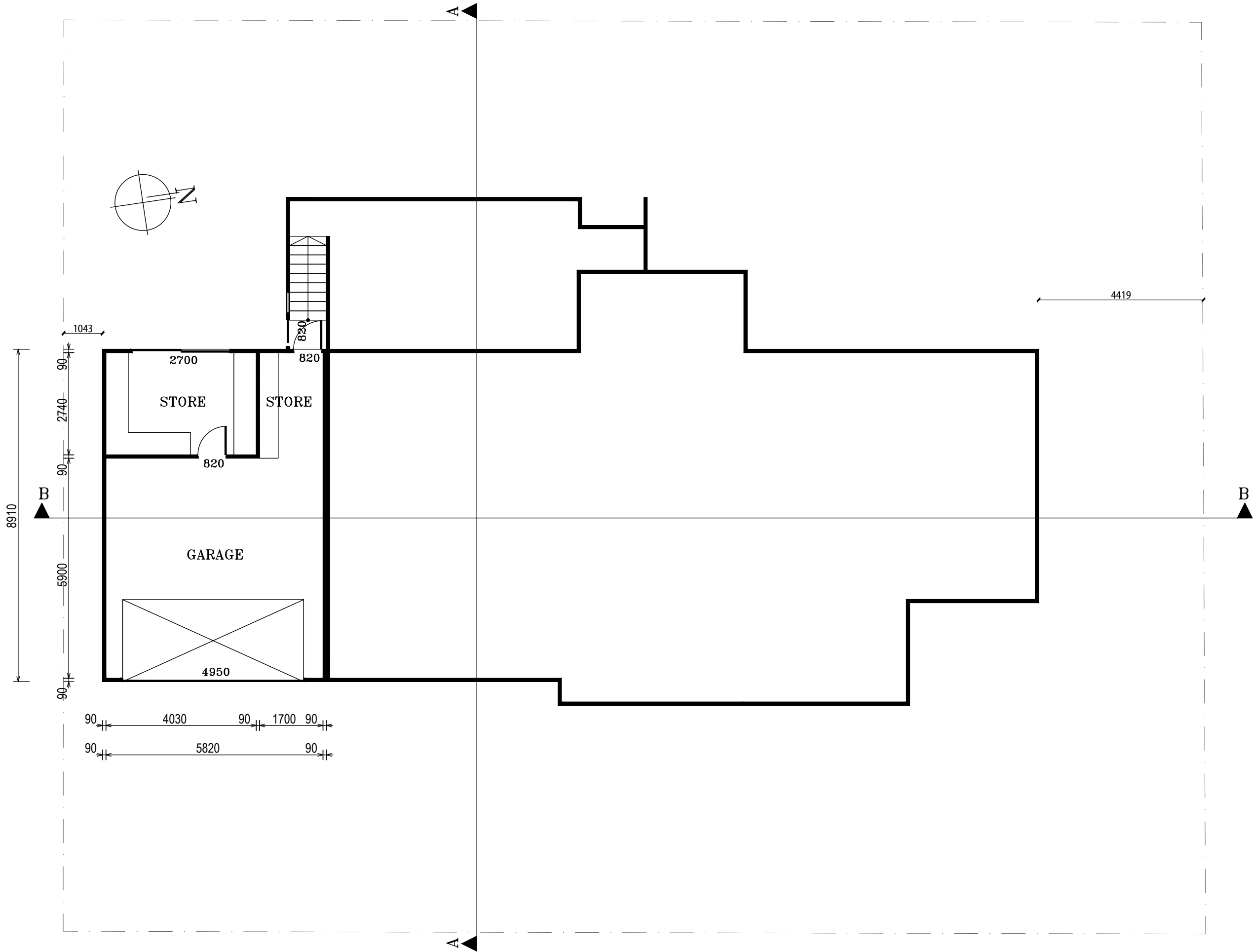
USER

NOTES:
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Structural steelwork to AS4100.
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TERMITE PROTECTION
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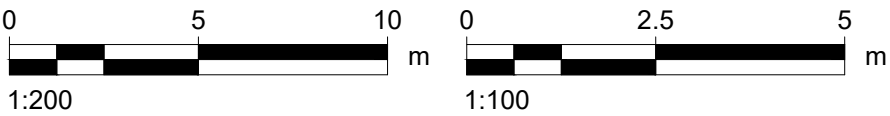
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1 GARAGE FLOOR PLAN – PROPOSED
Scale 1:100

- GENERAL NOTES**
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- LEGEND:**
- EXISTING BUILDING OUTLINE
 - PROPOSED WORK

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

proudly supporting

bear cottage

a member of the children's hospital network

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 28/01/2021	9
Scale 1:100	

DP No.	369969	
LOT No.	C	
A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

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ARCHITECTURAL DRAFTING & DESIGN SERVICES

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Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address

JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087

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Preparation of metal surfaces to AS1627.
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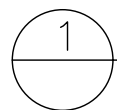
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FSR = 0.2:1



Scale 1:100

 EXISTING BUILDING OUTLINE

JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087

TIMBER AND STEEL CONSTRUCTION

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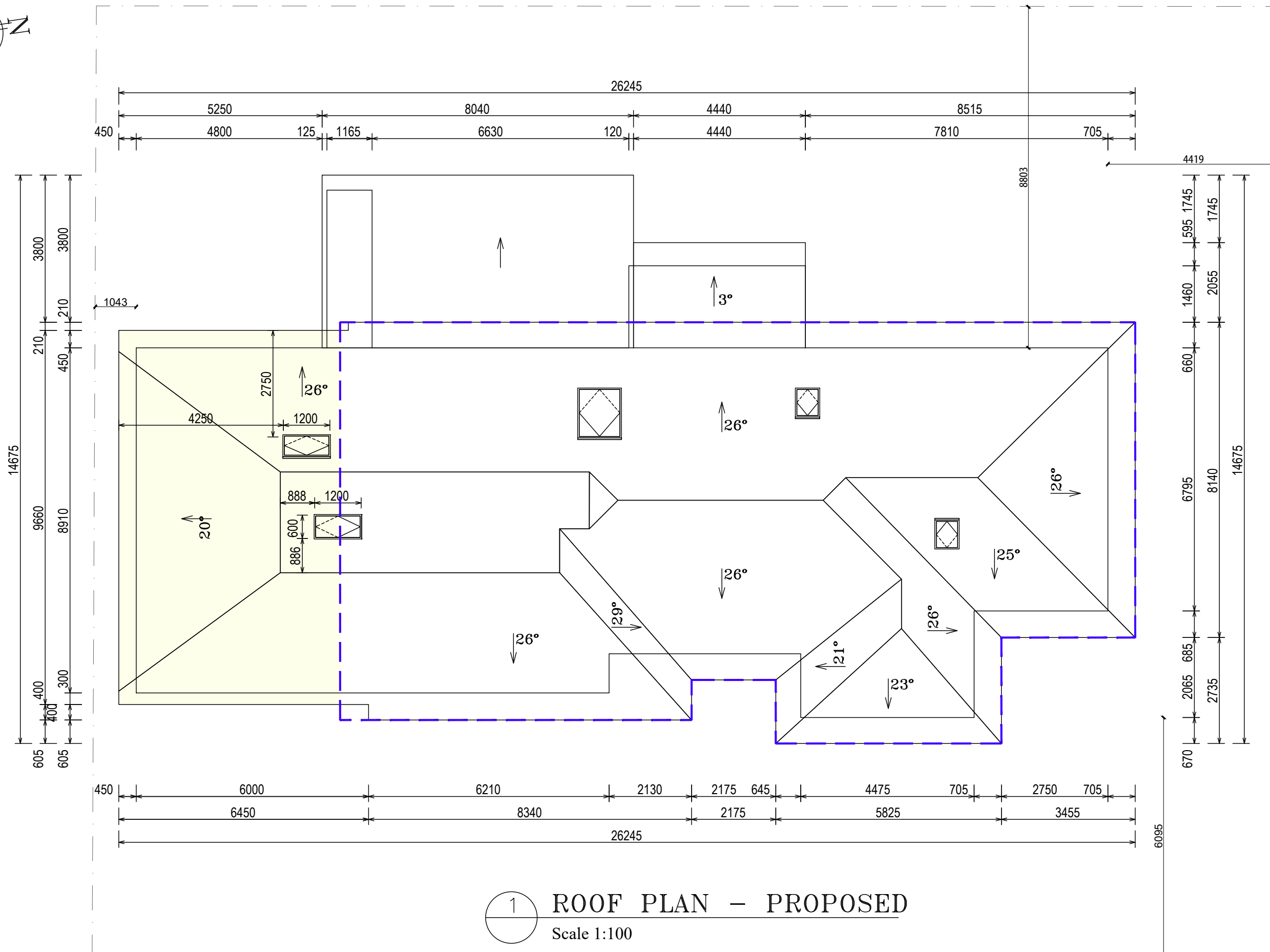
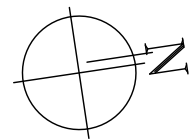
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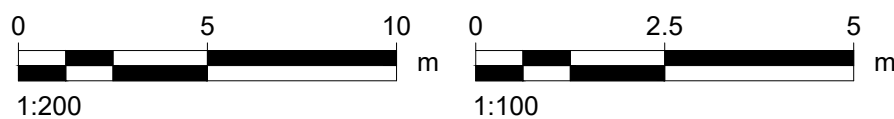
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LEGEND:

 EXISTING BUILDING OUTLINE

**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

proudly supporting

bear cottage

an initiative of
the children's hospital at westmead

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Project ADDITONS AND ALTERATIONS	Sheet
Date 11/01/2021	11
Scale 1:100	

DP No. 369969

LOT No. C

A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

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ARCHITECTURAL DRAFTING & DESIGN SERVICES
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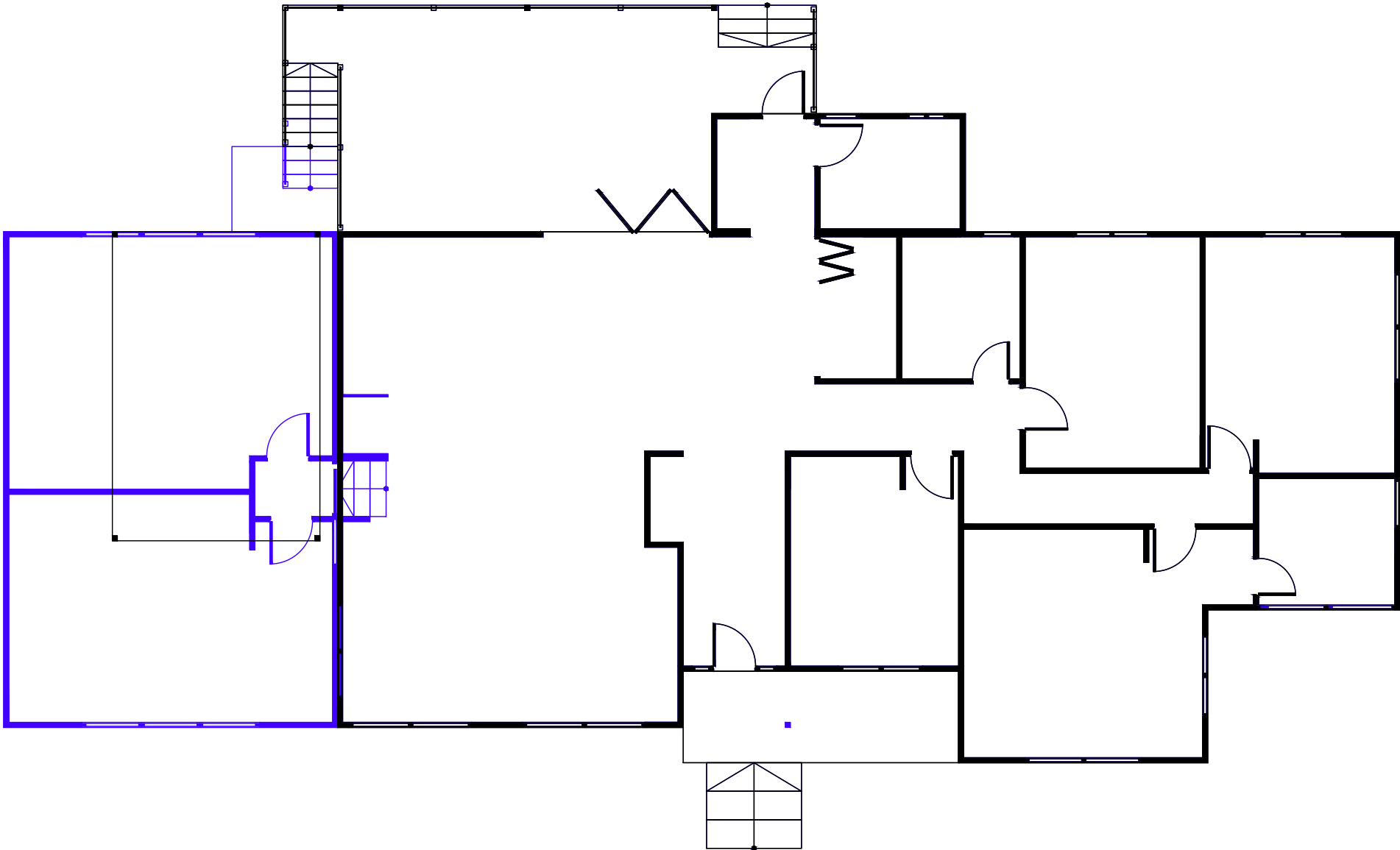
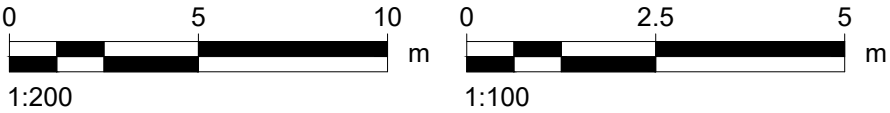
Project Name and Address

JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087

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DEMO PLAN

SCALE 1:100

LEGEND:

PROPOSED WORKS

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

proudly supporting

bear cottage

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Project
ADDITIONS AND
ALTERATIONS

Date

28/01/2021

Scale

1:100

Sheet

D1

DP No.

369969

LOT No.

C

A

ISSUED FOR DA

XXXX

No.

Revision/Issue

Date

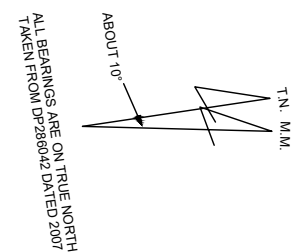
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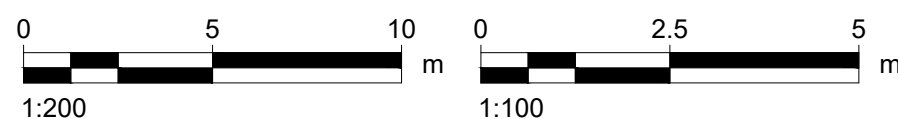


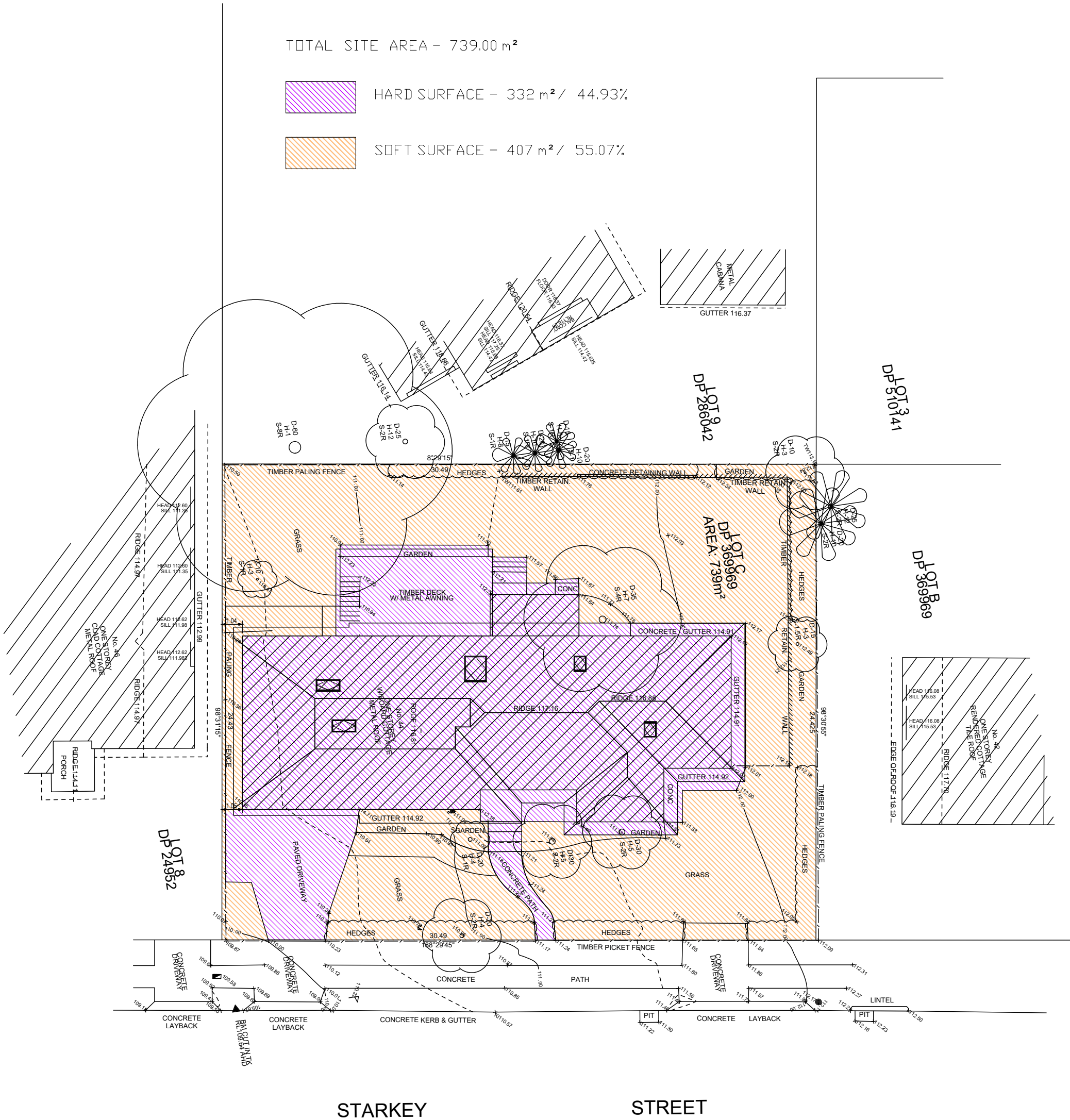
ALL BEARINGS ARE ON TRUE NORTH
TAKEN FROM DP286042 DATED 2007

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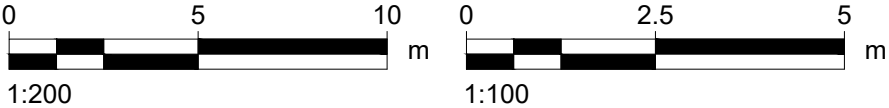




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 PROPOSED WORK

General Notes



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 28/01/2021	L2
Scale 1:100	

DP No. **369969**

LOT No. **C**

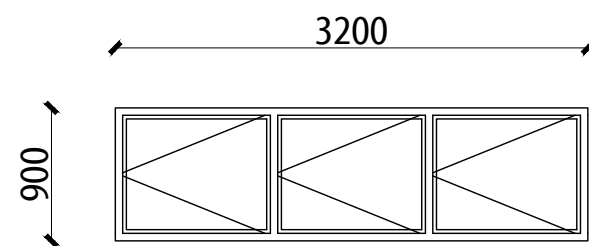
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Project Name and Address
**JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087**

WINDOWS AND DOORS FOR BASIX

EAST ELEVATION

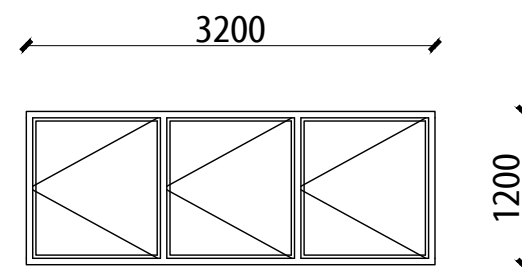


W1

TYPE: SLIDING

AREA : 2.88MSQ.

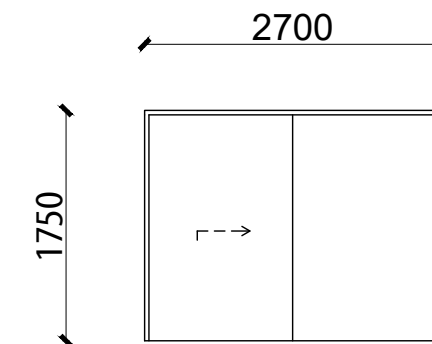
WEST ELEVATION



W2

TYPE:

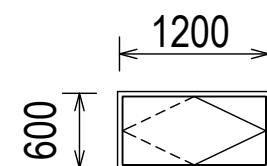
AREA : 3.80MSQ.



D 1

TYPE: SLIDING DOOR

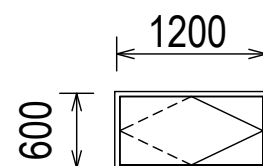
AREA : 4.70MSQ.



S1

TYPE: SKYLIGHT

AREA : 1.0MSQ.



S2

TYPE: SKYLIGHT

AREA : 1.0MSQ.

GENERAL NOTES

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Project ADDITONS AND ALTERATIONS	Sheet
Date 01/2021	W1
Scale :200	

DP No. **369969**

LOT No. **C**

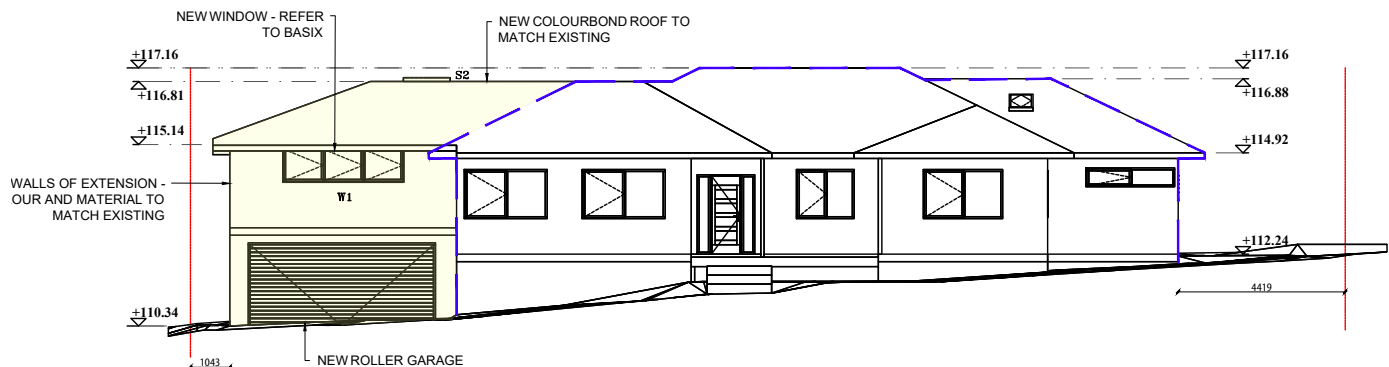
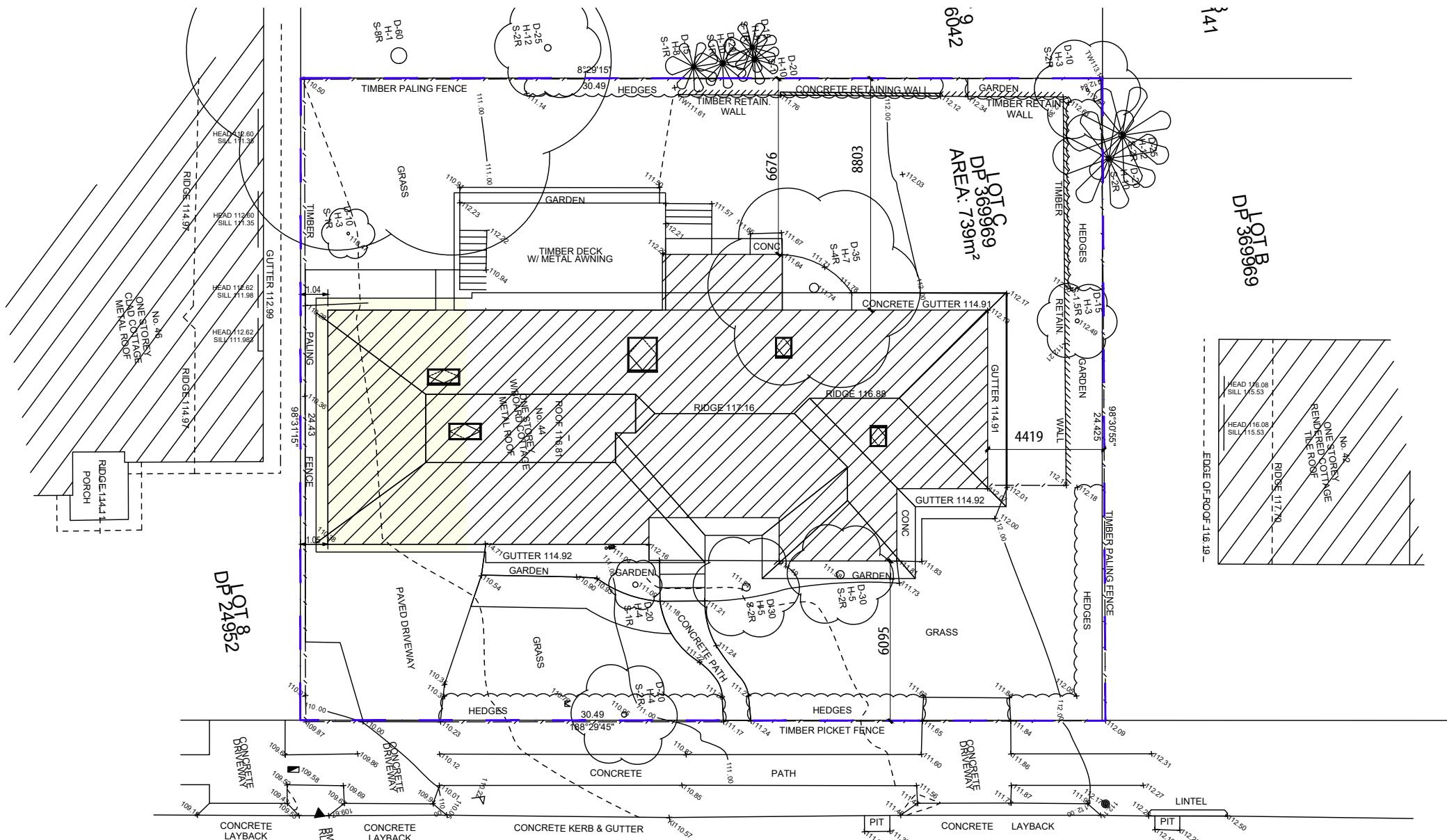
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Revision/Issue	Date



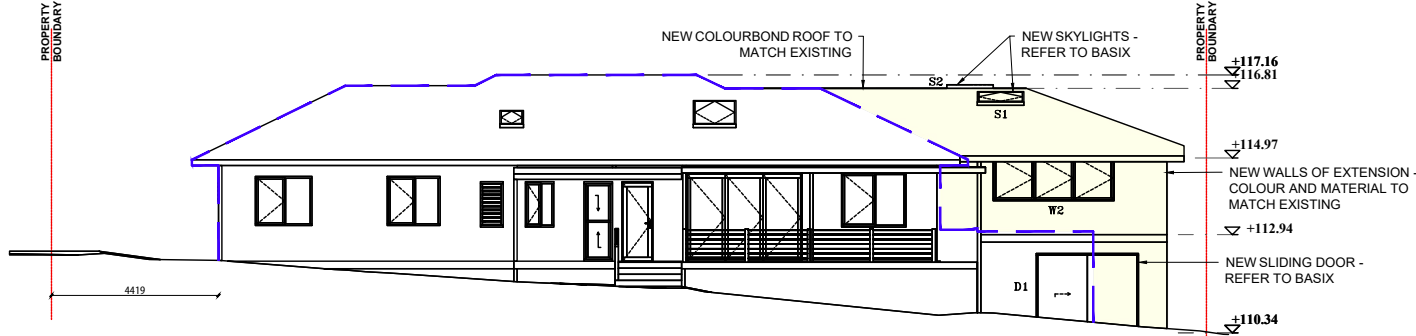
Project Name and Address

JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087

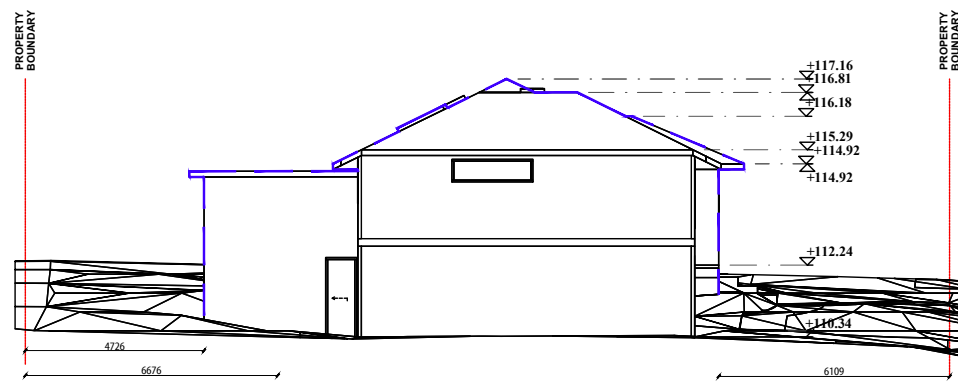
NOTIFICATION PLAN



1 EAST ELEVATION - PROPOSED
Scale 1:100



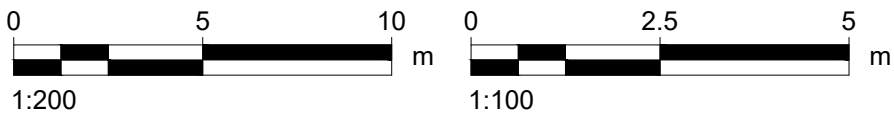
1 WEST ELEVATION - PROPOSED
Scale 1:100



1 NORTH ELEVATION - PROPOSED
Scale 1:100

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Scale NTS	

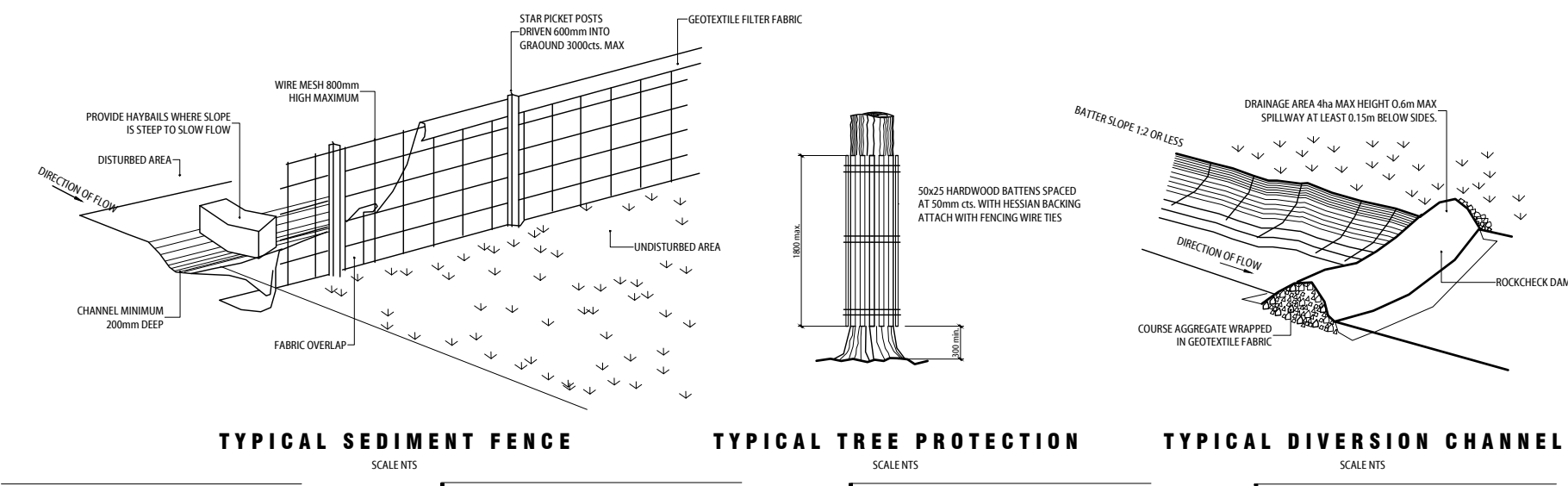
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NSW 2087



Designated Site Manager/Builder
PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSURES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUB-CONTRACTED PARTIES AS WELL AS ADDING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

Topsoil Management
PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REVEALED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES, FLOWS PATHS OR AROUND OR AGAINST TREE CURVES. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY REVEALING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE IMMEDIATELY. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRADED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

Building Material Stockpiling
SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

Sediment Fences
A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWN-SLOPE BOUNDARY OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

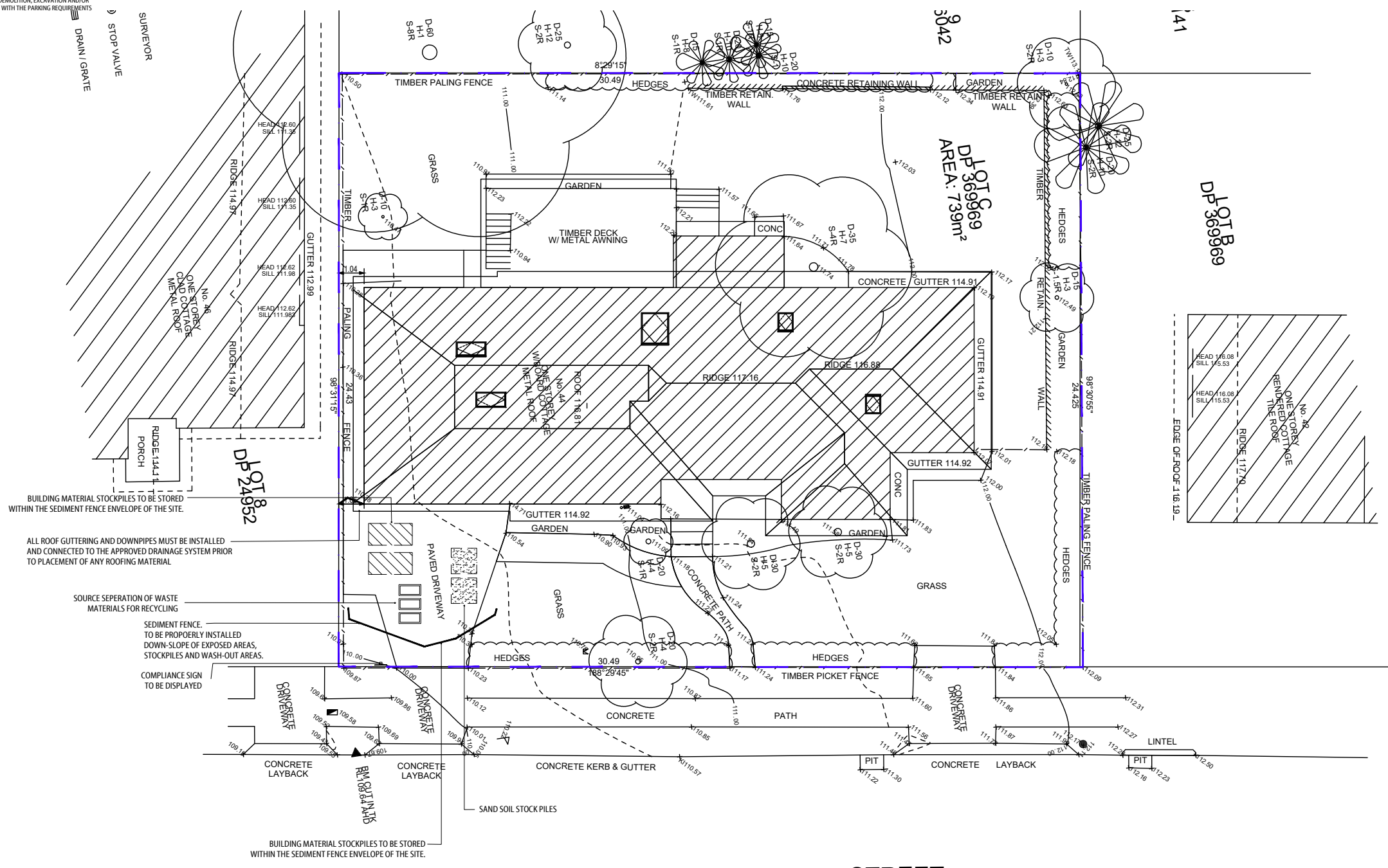
Vehicle Movements
TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS.
ACCESS POINTS AND APPROACH AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE AS SOON AS POSSIBLE AFTER THEIR FORMATION. WHERE SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION.
ALL VEHICLES ARE TO BE WASHED PRIOR TO EXITING THE SITE. THIS SERVES THE PURPOSE OF REMOVING Silt MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. ALL POLLUTED WATER MUST BE RETAINED ON SITE OR TREATED BEFORE IT IS DISCHARGED INTO THE STORMWATER SYSTEM.
NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE.
ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

Sediment Traps
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

Diversion Channels
A DIVERSION CHANNEL CAN BE EXCAVATED ALONG THE DOWN-SLOPE OF THE SITE. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE.
ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UP-SLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

Erosion & Sediment Controls
APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK.
THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINTEGRATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

Dust Control
ALL TRUCKS/VESICLES MUST COVER THEIR LOADS AT ALL TIMES.
APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MANAGED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION.
WHERE DUST IS CREATED AS A RESULT OF WORKS AND/OR SOIL EXPOSURE, THE EXPOSED AREA MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST.
EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE DUST LEVELS.



STARKEY STREET

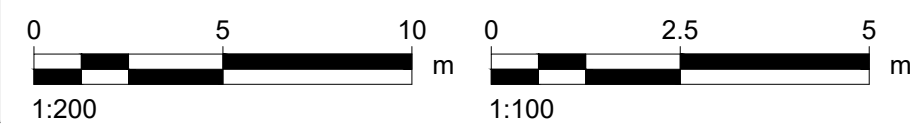
SEDIMENT AND EROSION CONTROL PLAN

SCALE 1:200

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PROPOSED WORK

General Notes

proudly supporting
bear cottage
a part of the children's hospital network

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 28/01/2021	S1
Scale 1:200	

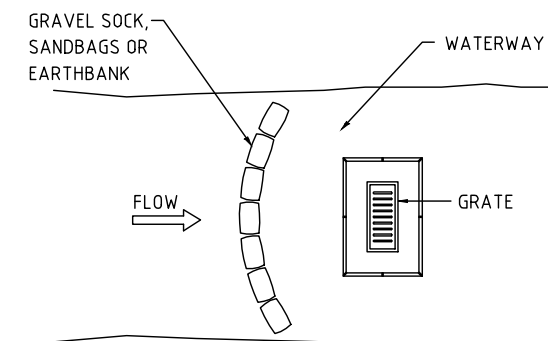
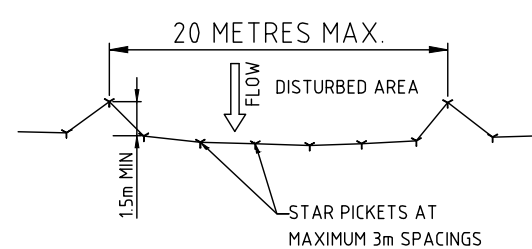
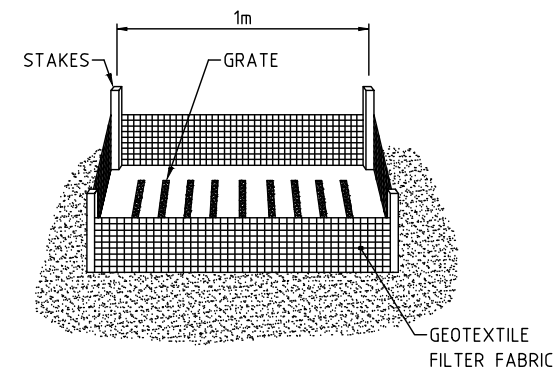
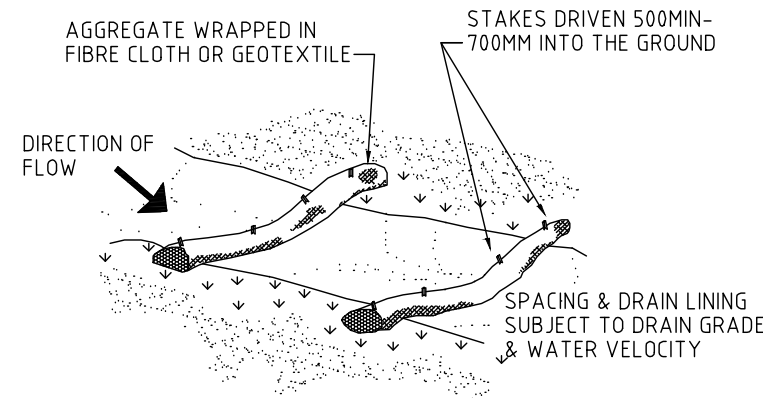
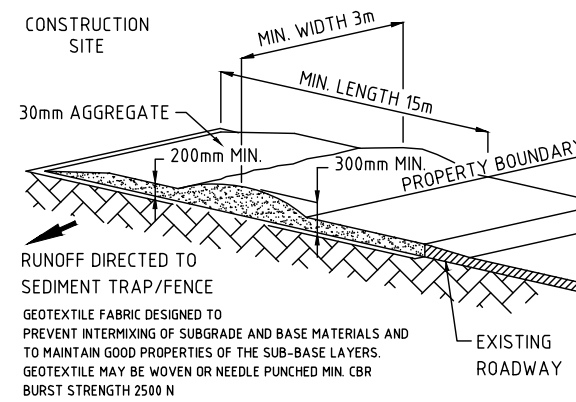
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NSW 2087



CONTROLLING CONTAMINATION ON SITE

Avoid contamination of stormwater with sediment. Use diversion devices to reduce the volume of stormwater reaching the disturbed area. On compact urban sites avoid overflow flow through the work area by installing the final stormwater drainage system as early as possible in the construction process. Before installation of the final stormwater system, install an up-slope perimeter bank and catch drain connected to a temporary drop pipe, to take uncontaminated stormwater directly to the stormwater system. On steep sites, line catch drains with turf or geotextile fabric.

Uncontaminated stormwater from the channel should discharge to the stormwater system. In some cases discharge onto non-erodible areas of land is permissible. Check with your local council. Do not allow discharge into neighbouring properties. Roof drainage must discharge to the stormwater system, unless rainwater is being harvested. Complete the final stormwater drainage system before the roof is installed. Connect using either temporary or permanent downpipes

POST-CONSTRUCTION AND EROSION CONTROL

Stabilise the site as soon as possible after construction, or while the last trades are finishing, to minimise the potential for ongoing soil erosion. Turf lawns are commonly used to stabilise soil but their high water consumption can be an environmental burden. Native ground cover plants do the same thing with considerably lower water use. Avoid replacing native vegetation with turf.

Mulch (straw or other material) can be used on open garden beds to protect soil and support plant growth. Mulch spreads to a depth of 75-100mm minimises soil and water loss and controls weed growth. Mulch may be less suitable on steep sites and in high wind areas.

Temporary, quick germinating grasses such as ryegrass and oats can be used to stabilise soil until slower growing plants can be established. This method is only effective after the grass seeds have germinated and established a root structure.

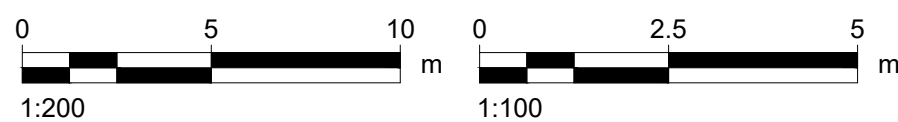
Semi permeable paving can be used to stabilise areas of the site. Avoid excessive use of hard surfaces that prevent stormwater being absorbed. Biodegradable erosion control mats are useful when revegetating steep slopes.

Integrate landscaping strategy with sediment control. For example, diversion channels and benches that filter sediment can be used with rubble in the base to create a deep root planting opportunity.

SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS

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LEGEND:

 **EXISTING BUILDING OUTLINE**

 **PROPOSED WORK**

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Project ADDENDUM AND VARIATIONS		Sheet	
Date	S2		
01/2021			
Scale			
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DP No. 369969			
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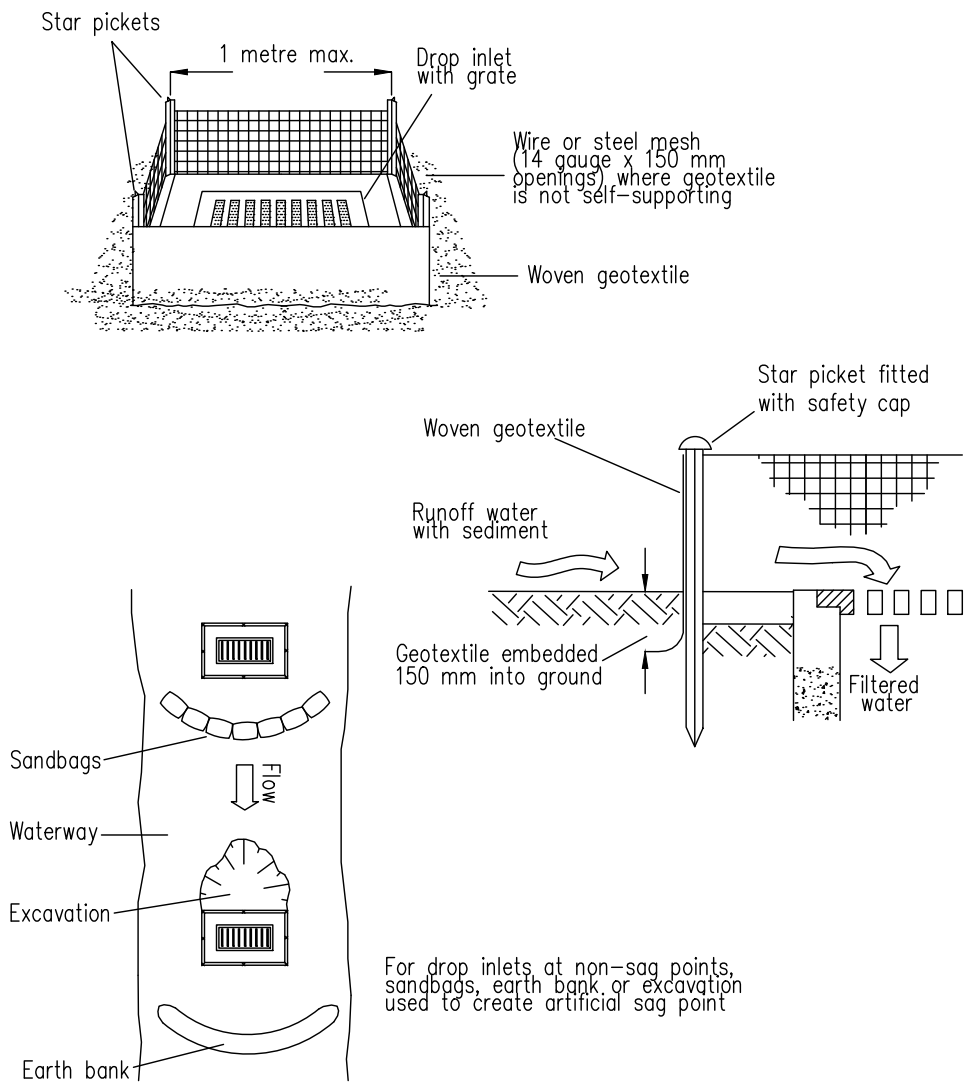
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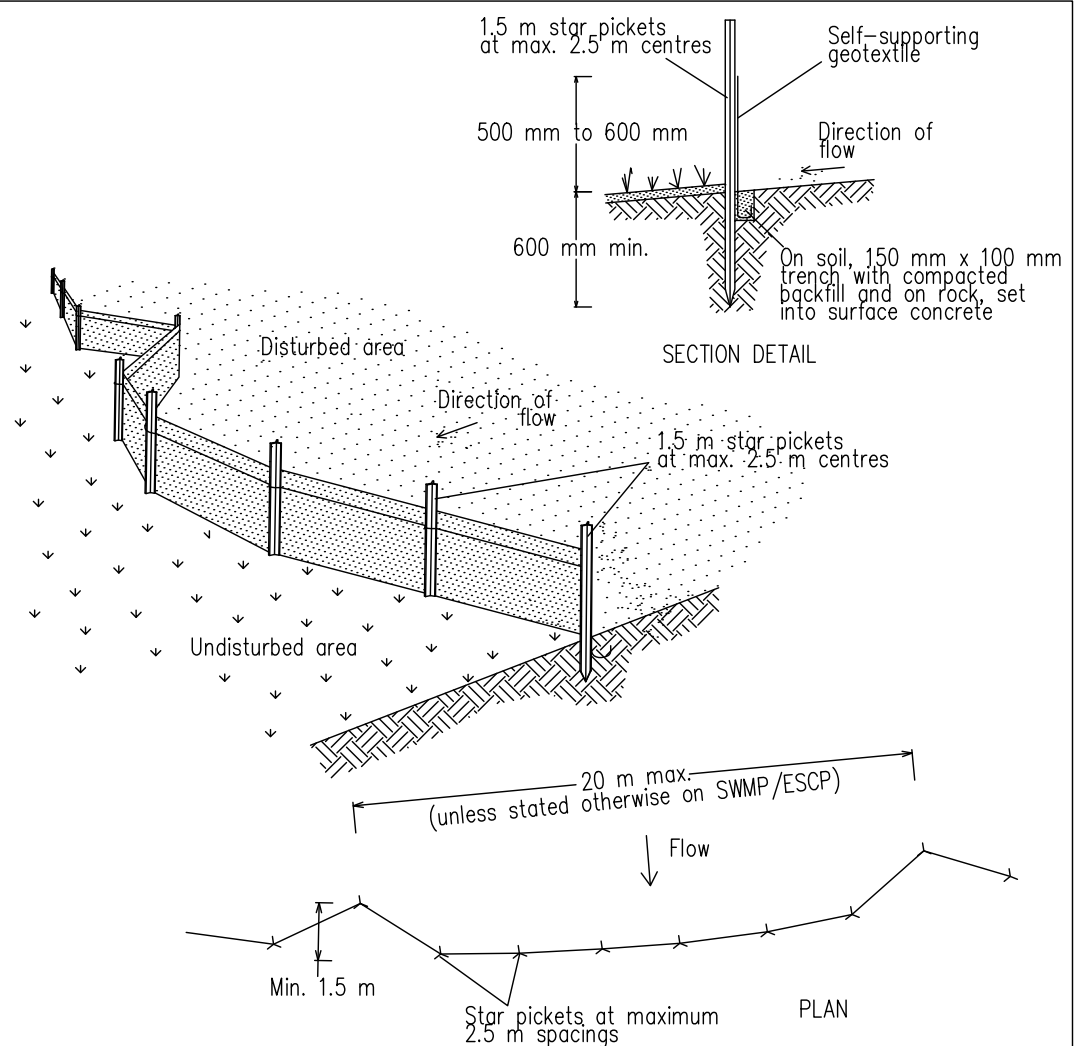


Construction Notes

1. Fabricate a sediment barrier made from geotextile or straw bales.
2. Follow Standard Drawing 6–7 and Standard Drawing 6–8 for installation procedures for the straw bales or geofabric. Reduce the picket spacing to 1 metre centres.
3. In waterways, artificial sag points can be created with sandbags or earth banks as shown in the drawing.
4. Do not cover the inlet with geotextile unless the design is adequate to allow for all waters to bypass it.

GEOTEXTILE INLET FILTER

SD 6–12



Construction Notes

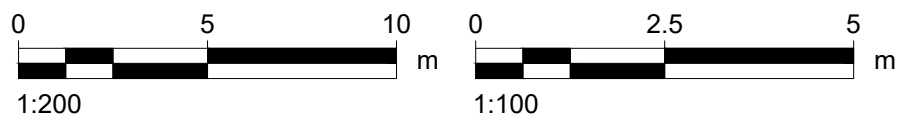
1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10–year event.
2. Cut a 150–mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
3. Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
4. Fix self–supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
5. Join sections of fabric at a support post with a 150–mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE

SD 6–8

GENERAL NOTES

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- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

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PROPOSED WORK

General Notes

proudly supporting

bear cottage

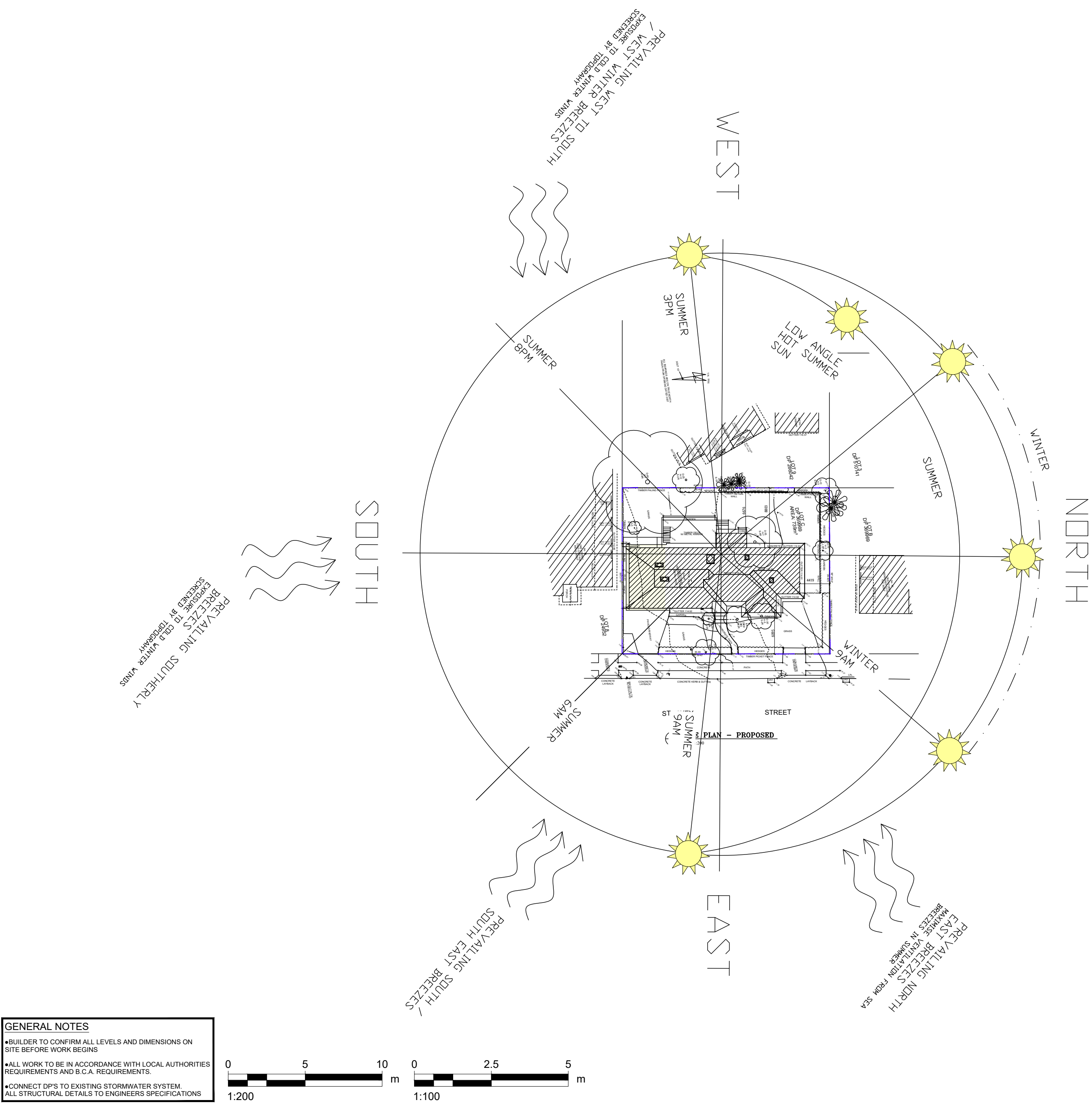
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Project ADDITIONS AND ALTERATIONS	Sheet	
Date 28/01/2021	SA	
Scale NTS		
DP No. 369969		
LOT No. C		
A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

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Project Name and Address
JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
NSW 2087



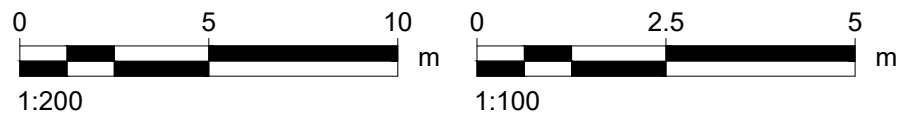
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PRELIMINARIES

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install propriety products or systems in accordance with the published recommendations of the manufacturer or supplier.

Dimensions and Setout
Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

TERMITE PROTECTION

Termite protection to AS3660.1.
Use a physical barrier system installed by licensed installers to manufacturer's specification.
Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

SITE PREPARATION

Groundworks for slabs and footings to AS2870.
Demolition to AS2601.
Avoid erosion, contamination and sedimentation of the site, surrounding areas and drainage systems. Limit clearing of the Site to areas to be occupied by the Works, paving and landscaping. Grub out or grind stumps of all trees to be removed from the site.

EXCAVATION

Excavate to give the levels and profiles required for construction, site services, paving and landscaping. Allow for compaction and settlement. Confirm bearing capacity for foundations is adequate. Provide even bearing surfaces for load-bearing elements including footings. Grade to ground surface externally to drain ground or surface water away from the buildings without ponding. Remove all loose material, debris and organic matter prior to placing fill, ground slabs and load-bearing elements. Compact the ground to achieve required density.

VAPOUR BARRIERS

All vapour barriers to AS2870.
Provide vapour barriers below all ground concrete slabs (if required) on sand blind surface sufficient to cover hard projections. Barriers to be minimum 0.2mm thick impact resistant polyethylene film.
Provide anti-caps between any brick or stone piers and sub walls and timber beams.

SERVICE TRENCHES

Excavate trenches as required to bring all services to the Works. Trenches to be straight between manholes, inspection points and junctions where practicable, of minimum depth required to adequately accommodate relevant service. Obtain inspection approvals where relevant prior to backfilling. Backfilling to be compacted to prevent subsidence.

CONCRETE CONSTRUCTION

Concrete structures generally to AS3600.
Ground slabs and footings to AS2870.
Ready-mixed concrete to AS1379.
All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required.
Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.

TIMBER AND STEEL CONSTRUCTION

All timber framing and flooring to AS1684, AS1720.1 where relevant.
Structural steelwork to AS4100.
Preparation of metal surfaces to AS1627.
Flashing and damp-proof courses to AS2904.

DOORS AND WINDOWS

All doors and windows generally to AS2047.1 as per door and window schedule.

To match existing upvc system throughout. Reuse existing doors and windows as denoted on the drawings

Install flashings, weather-bars, drips, storm moulds etc. to prevent water entering building between frames and the building structure. Install all door and window sets plumb, level, straight and true, adequately anchored and free of building loads and structural deflection.

LININGS

All plasterboard linings to AS2588, 13mm thick sheets to ceilings, 10mm thick sheets to walls. Moisture resistant plasterboard to be used in all wet areas.
All fibre cement linings to AS2908.2, walls - 9mm-thick sheets, suspended soffits - 9mm-thick sheets, floors - 18mm thick sheets.
All installation to AS2589.1. Linings to be fixed to framing at recommended spacing. Ensure all linings are level, plumb, straight and true as applicable.
Provide recessed edge sheets and finish flush with perforated reinforcing tape.
Provide flashings, trim and sealants to effectively waterproof wet areas. Provide timber trim as detailed and where necessary to make neat junctions between components and finishes. Provide Rondo stopping bead profile to ceiling planes.

WATERPROOFING AND WET AREAS

All waterproofing to AS3740. All liquid and steel membrane systems to be specific for their intended purpose, installed to manufacturer's specification, properly and effectively terminated at perimeters and drainage outlets. Provide certification by a credited certifier for waterproofing works prior to executing subsequent stages of Works. Provide a written guarantee for all waterproofing membranes of not less than 12 years.

TLING

All tiles to be cut to fit neatly around fixtures and fittings and at perimeters. Drill holes with damaging tile faces. Return tiles into sils, reveals, and opening. Butt up to returns, frames, fittings and other finishes. Distribute variations in hue, colour and pattern uniformly by mixing tiles or tile batches before laying. Allow beddings to set and attain working strength before opening areas to traffic. Set out tiles from the centre of floors and walls. Align joints between floors and walls where possible. Grade floor tiling even falls to floor wastes. Ensure level junctions to walls. Achieve minimum falls of 1 in 100 generally and 1 in 60 in shower wastes. Junctions between tiled floors and other materials to be finished with corrosion-resistant metal dividing strip fixed to the substrate. Do not compromise waterproof membrane. Bath cavities to be ventilated with min. 2 ventilation points...

FLOOR COATINGS AND COVERINGS

Polished concrete slab to be helicoptered burnish finish to Proprietor's specification.
Timber Floor coating to be 2 - 3 coats of Bona Mega (Silk Matt), applied using a Bona Roller or applicator. A coverage rate of 8 10m² / litre should be observed. Application to manufacturers specification.

PAINTING

All painting AS2311 and paint manufacturer's specifications.
Clean off marks, paint spots and stains progressively.
Touch up damaged paintwork with original paint batch where possible.
Refer to finishes schedule for details of painted finishes.

Steelwork

Fabricate and erect all structural steelwork in accordance with Structural Engineer's drawings and specifications. Submit shop drawings to Designer and Engineer for approval before commencing fabrication. All welds to be free of slag. Remove all swarf from steelwork and surrounds immediately after it is deposited. All propriety fixings to be compatible with steelwork finish. Obtain certification from Structural Engineer to the effect that these works have been executed satisfactorily.

Flooring and Decking

Strip flooring to AS1684.
Particleboard sheet flooring to AS1859.1, installed to AS1860.
Fibre-cement flooring to AS2908.2.
New timber decking to AS2796.
Ensure building is sufficiently protected from weather prior to installing all strip- and sheet-flooring.

Decking

Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.

Wall framing

All framing to AS1684.
Provide additional noggings etc., where required to fix linings, cladding, hardware, fixtures, fittings and accessories.

Provide damp proof courses under bottom plate of external clad-frame walls on slabs or dwarf masonry walls. Provide flashings to all external openings sufficient to prevent entry of moisture and wind-driven rain and other precipitation.

MASONRY CONSTRUCTION

Masonry generally to AS3700 and masonry units to AS4455.
Provide anti-caps between any brick or stone piers sub walls and timber beams.

INSULATION AND SARKING

Provide flexible membrane material normally used for waterproofing, vapour retarding or thermal reflective insulation.
All bulk insulation to AS3742, installed to AS3999.
All sarking material to AS4200.1.
Fit all batts tightly between framing members, and support securely. Provide vapour-permeable sarking under cladding which does not provide a permanent weatherproof seal, including boards or planks fixed in exposed locations where wind-driven rain can penetrate the joints. Apply to the outer face of external studs from top plate down over bottom plate and flashing. Run across studs and lap min. 150mm at joints. Provide roof sarking as part of roof insulation. Finish sarking at least 50mm clear of ridges.

ROOFING GUTTERING DOWNPIPES

new 150mm half-round guttering throughout with matching support brackets as selected
new 90mm dia downpipes as shown
new roof tiles (as required to rear extended roof only) to match existing installed in acc with manufacturers specifications
existing roof tiles to be carefully removed for reuse to front extended roof

ROOF PLUMBING

All roof plumbing to AS2179.1 and AS2180.
All fasteners and mechanically fastened joints to be sealed with silicone sealant. Flashing projections above and through roofing with 2-part apron flashing and over-flashing, min. 100mm overlap. Allow for independent movement between roofing and projection. All cover and under-flashing materials to be electrolytically compatible with roof sheeting and rainwater goods. Provide minimum 0.48 B/Ml steel cappings and fascias pre-formed to profiles indicated on details prior to delivery. All cappings and flashings to be in single, continuous lengths. All accessories and fixings as per sheet metal fabricator's recommendation. All guttering and roof sheeting to achieve minimum falls as per Aust. Stds and sheet metal manufacturer's recommendation.

CABINETRY

Allow to build in and fit off all sinks and tubs, and other plumbing fixtures to be supplied by Proprietor.
Allow to co-ordinate between electrical and plumbing trades during installation of all cabinetry.

ARCHITECTURAL METALWORK

All metalwork strictly to Structural Engineers specification where applicable and to Designer's details. Confirm all measurements on site before fabrication. Prefabricate components off-site where possible for on-site fixing. All work to be set into position truly plumb, square and level and secured to suit loadings in vertical and horizontal alignment.

PLUMBING DRAINAGE AND GAS INSTALLATIONS

All plumbing and drainage work strictly in accordance with AS3500. All gas installations to AS3601.
Install piping in straight lines and to minimum uniform grades where required. Ensure all piping is installed to prevent vibration and water-hammer whilst permitting thermal movement. Prevent direct contact with incompatible metals. Lines in sub-floor spaces to be min. 150mm clear of ground level. Ensure adequate access for inspection and maintenance where required.

Stormwater and Wastewater

Use temporary covers during construction to openings and keep system free of debris. Flush system clean upon completion. Connect subsoil drains to groundwater drainage system. Laundry tub, washing machine and kitchen sink to be plumbed directly into drainage lines via dedicated charged waste. Do not plumb through floor waste.

Rainwater Storage

All plumbing and drainage work strictly in accordance with AS1273 / AS2179 / AS3500.
First flush devices to be fitted to all downpipes. All inlets and outlets to be protected with suitable mosquito barrier.

Gas

Gas supply to be installed to Local Authority Requirements.On completion of installation and testing, turn on isolation and control valves and purge and charge the installation.

DOMESTIC ELECTRICAL AND MECHANICAL INSTALLATIONS

All domestic electrical works to AS3018.
All mechanical installations to AS1668.
All telecommunications installations to AS1501.8.
Provide switches, outlets and plates generally in accordance with wiring diagrams. Provide control switchgear, circuit breakers and earth leakage protection devices as required. Provide for installation of exhaust fans where required, appropriate to the use and size of the rooms to be ventilated. Connect and duct ceiling grilles to suitable, rainproof exterior outlets. Install smoke alarms as required by Aust. Stds and BCA.
Test all electrical installations, smoke alarms and mechanical ventilation prior to completion.

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Date	N1	
28/01/2021		
Scale		
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DP No.	369969	
LOT No.	C	
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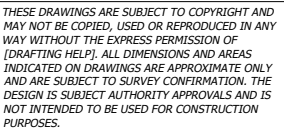
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Project Name and Address
**JAMES BRENNAN
44 STARKEY ST
FORESTVILLE
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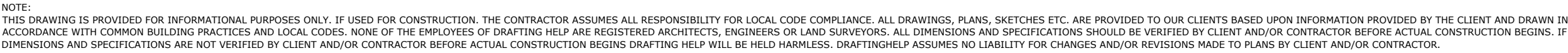


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15. These Terms are governed by the law in New South Wales, and each party irrevocably submits to the non-exclusive jurisdiction of courts exercising jurisdiction in New South Wales.

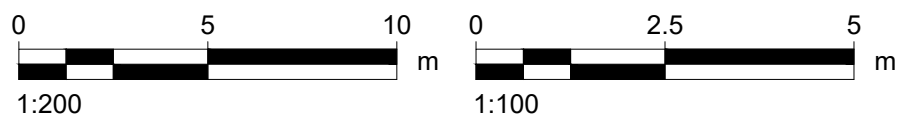
Fixtures and systems	Show on DA Plans	Show on CG/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor above garage: framed (R0.7).	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
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external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
internal wall shared with garage: plasterboard (R0.36)	nil		
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W1	E	2.88	4.5	0.5	eave/verandah/pergola/balcony >=450 mm	standard aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)		
W2	E	3.8	3.2	0.5	eave/verandah/pergola/balcony >=450 mm	standard aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)		
D1	W	3.8	4.4	0.5	eave/verandah/pergola/balcony >=450 mm	standard aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)		

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:					✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					✓	✓
External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.					✓	✓
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	1	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			
S2	1	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			

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proudly supporting

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in collaboration with

the children's hospital at westmead

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Date

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Scale

NTS

Sheet

B1

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369969

LOT No.

C