

STATEMENT OF ENVIRONMENTAL EFFECTS



SITE: Lot 102 DP 27580
8 Bilambee Avenue
Bilgola Plateau

PROPOSED DEVELOPMENT: Alterations and additions to an existing Single Storey Dwelling



CONTENTS

INTRODUCTION.....	3
LEGISLATIVE REQUIREMENTS.....	4
(a)(i) Relevant environmental planning instruments.....	4
State Environmental Planning Policy (Sustainable Buildings) 2022.....	4
State Environmental Planning Policy (Resilience and Hazards) 2021.....	4
State Environmental Planning Policy (Transport and Infrastructure) 2021.....	5
State Environmental Planning Policy (Biodiversity and Conservation) 2021.....	6
Pittwater Local Environmental Plan 2014.....	6
(a)(ii) Relevant draft environmental planning instruments.....	9
(a)(iii) Relevant development control plans.....	9
Pittwater Development Control Plan No. 21.....	9
(iiiia) Relevant planning agreement, or draft planning agreements.....	19
(b) Likely impacts of the development, including environmental impacts on both the natural and built environment of the locality.....	19
(c) The suitability of the site for the development.....	20
(d) Any submissions made in accordance with this Act or the regulations.....	21
(e) Public interest.....	21
CONCLUSION.....	21

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INTRODUCTION

This Statement of Environmental Effects is submitted to Northern Beaches Council in accordance with the Environmental Planning and Assessment Act 1979, in support of a development application for alterations and additions to an existing dwelling. This report is based on plans prepared by Spannenberg & Son builders & contractors, Job reference 8Bila, Revision C, dated 04.12.2024.

The proposed works include:

- Internal alterations to the ground floor including the removal of a door to provide stairs
- First floor addition to provide three (3) bedrooms and an entertainment room

The subject site is located south of Bilambree Avenue and is rectangular in shape. The allotment has a frontage of 19.05m, an average depth of 36.575m and total site area of 695.6m². The site currently consists of a single storey dwelling which is to be retained as part of the proposed development.

The subject site has not been identified to be a heritage item or in proximity to any heritage items or conservation areas. No trees or vegetation is proposed to be removed to allow the proposed development to occur.

The surrounding environment consists of a mix of one and two storey dwellings, varying in architectural style. All essential services can be provided to the proposed development including water, telecommunications, electricity and sewer.

The following sections of this statement address the likely impact of the proposal.



LEGISLATIVE REQUIREMENTS

The following sections address the matters for consideration as listed in Part 4 Section 4.15 of the Environmental Planning & Assessment Act 1979. A comment is provided against each relevant matter.

(a)(i) Relevant environmental planning instruments

State Environmental Planning Policy (Sustainable Buildings) 2022

Chapter 2 – Standards for Residential Development - BASIX

State Environmental Planning Policy (Sustainable Buildings) 2022 requires all residential development in New South Wales to achieve a minimum target for energy efficiency, water efficiency and thermal comfort. The proposed development has been assessed in accordance with the relevant provisions of the Sustainable Buildings SEPP. It is demonstrated on the BASIX Certificate submitted with this application that the proposal achieves the required rating for energy efficiency, water efficiency and thermal comfort.

State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 4 – Remediation of Land

Clause 4.6 Contamination and remediation to be considered in determining development application

- (1) *A consent authority must not consent to the carrying out of any development on land unless—*
- (a) *it has considered whether the land is contaminated, and*
 - (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
 - (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

The subject site is within an existing area historically utilised for residential purposes. No previous land uses are known to have occurred on the site that would result in potential land contamination. No further assessment is considered necessary in this instance.



State Environmental Planning Policy (Transport and Infrastructure) 2021

Chapter 2 Infrastructure

Part 2.3 Development controls

Division 15 Railways

Subdivision 2 Development in or adjacent to rail corridors and interim rail corridors

Section 2.98 Development adjacent to rail corridors

- (1) *This section applies to development on land that is in or adjacent to a rail corridor, if the development—*
- (a) *is likely to have an adverse effect on rail safety, or*
 - (b) *involves the placing of a metal finish on a structure and the rail corridor concerned is used by electric trains, or*
 - (c) *involves the use of a crane in air space above any rail corridor, or*
 - (d) *is located within 5 metres of an exposed overhead electricity power line that is used for the purpose of railways or rail infrastructure facilities.*

The subject site is not located within proximity to a railway corridor, and does not have a common boundary with a railway corridor. No further assessment is anticipated in this regard.

Division 17 Roads & Traffic

Subdivision 2 Development in or adjacent to road corridors and road reservations

Section 2.119 Development with frontage to classified road

- (1) *The objectives of this section are—*
- (a) *to ensure that new development does not compromise the effective and ongoing operation and function of classified roads, and*
 - (b) *to prevent or reduce the potential impact of traffic noise and vehicle emission on development adjacent to classified roads.*
- (2) *The consent authority must not grant consent to development on land that has a frontage to a classified road unless it is satisfied that—*
- (a) *where practicable and safe, vehicular access to the land is provided by a road other than the classified road, and*
 - (b) *the safety, efficiency and ongoing operation of the classified road will not be adversely affected by the development as a result of—*
 - (i) *the design of the vehicular access to the land, or*



- (ii) the emission of smoke or dust from the development, or*
- (iii) the nature, volume or frequency of vehicles using the classified road to gain access to the land, and*
- (c) the development is of a type that is not sensitive to traffic noise or vehicle emissions, or is appropriately located and designed, or includes measures, to ameliorate potential traffic noise or vehicle emissions within the site of the development arising from the adjacent classified road.*

The subject site is not located within proximity to a classified road, and does not have a frontage or common boundary with the classified roadway. No further assessment is anticipated in this regard.

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 – Vegetation in non-rural areas

The aims of this chapter of the policy are understood to relate to the protection of the biodiversity values of trees and other vegetation in non-rural areas and to preserve the amenity of non-rural area through preservation of trees and other vegetation.

The proposed development does not require the removal of any existing trees or vegetation to allow the proposed development to occur.

Additional planting can be provided post construction to ensure amenity of the allotment is maintained as a result of the development.

Pittwater Local Environmental Plan 2014

The LEP is divided into several Parts and the relevant provisions that apply to the subject development are listed, together with a comment with respect to compliance.

Part 2 Permitted and prohibited development

Clause 2.2 Zoning of land to which this plan applies

The subject site is zoned C4 Environmental Living pursuant to Clause 2.2 of Pittwater Local Environmental Plan 2014.



The proposed development is ancillary development to the existing dwelling house on the allotment. A dwelling house is defined in the Plan as “a building containing only one dwelling”.

The identified zone permits the construction of a ‘dwelling house’ therefore ancillary development is permitted subject to development consent from Council.

Clause 2.3 Zone objectives and land use table

The objectives of the C4 Environmental Living Zone are:

- *To provide for low-impact residential development in areas with special ecological, scientific or aesthetic values.*
- *To ensure that residential development does not have an adverse effect on those values.*
- *To provide for residential development of a low density and scale integrated with the landform and landscape.*
- *To encourage development that retains and enhances riparian and foreshore vegetation and wildlife corridors.*

The proposed alterations and additions to the existing dwelling are suitably located on the allotment to ensure there is minimal impact on the surrounding properties and the character of the area. No significant vegetation is required to be removed to site the proposed works in order to maintain the ecological value of the area. The proposed development is a suitable development for the site and is considered to meet the objectives of the C4 zone.

Part 4 Principal development standards

Clause 4.3 Height of Buildings

<i>Requirement</i>	<i>Provision</i>	<i>Compliance</i>
8.5m ridge height	7.047m	Yes

Clause 4.4 Floor Space Ratio

No maximum Floor Space Ratio provisions apply to the subject site.



Clause 4.6 Exceptions to development standards

The proposed development does not contravene the development standards of the LEP.

Part 5 Miscellaneous Provisions

Clause 5.10 Heritage Conservation

Upon reference to Schedule 5 in relation to local, State or Regional items of heritage significance including conservation areas, it was revealed that the subject property was not identified as having heritage significance or located within proximity of heritage items.

Clause 5.21 Flood planning area

The subject site is not known to be located within a flood planning area.

Part 7 Additional local provisions

Clause 7.1 Acid sulfate soils

The subject property is identified as being affected by Class 5 Acid Sulfate Soils. Due to the proposed first floor addition being sited directly above the existing ground floor; no excavation works are required to site the proposed works. The proposal is not anticipated to have any specific requirement in respect to Acid Sulfate Soils.

Clause 7.6 Biodiversity

The subject site is identified as being within an area of terrestrial biodiversity. The proposed development does not involve the removal of excessive vegetation or land clearing and thus the landscape character of the area will be maintained. It is not anticipated that the development will detrimentally impact upon the ecological value and significance of the fauna and flora on the land or the importance of the vegetation to the habitat of native fauna and the habitat elements providing connectivity on the land.



Clause 7.10 Essential Services

All necessary services are available on the site including access to water, sewer, telecommunications and electricity.

* * *

Conclusion with respect to LEP requirements

The proposal satisfies the objectives and requirements of the PLEP 2014.

(a)(ii) Relevant draft environmental planning instruments

There are no known draft environmental planning instruments that would prevent the subject development from proceeding.

(a)(iii) Relevant development control plans

Pittwater Development Control Plan No. 21

DCP is divided into several sections of generic and individual locality-based controls. The subject site is located within the Bilgola Locality. Assessment of the subject proposal against DCP No.21 is provided as follows;

SECTION A

A4.3 Locality character statement – Bilgola Locality

Context (extract)

The Locality was occupied by small farming settlements from the early 1800s, and included the grazing of cattle. As the road improved and beach holidays became popular, Bilgola expanded. Until the 1950s, Bilgola remained largely a holiday location with few permanent residents. Residential development and permanent occupation of dwellings increased from the 1950s.

Since this time, the locality has developed into a predominantly low-density residential area, with



dwelling built along plateau and slopes. The locality is characterised mainly by one and two-storey dwelling houses on 550-950 square metre allotments (some smaller blocks may exist). The residential areas are of a diverse style and architecture, a common thread being the landscaped, treed frontages and subdued external finishes.

The Bilgola Locality is characterised by a small steeply rising ridgeline to the north, plateau to the south, and small self-contained valley to the east. Due to the topography, significant views can be obtained through all points of the compass. Conversely, the slopes and ridge tops and headlands of the locality are visually prominent. Due to this visual prominence, the building height along the beach area shall be reduced.

*Extensive areas of natural vegetation are dominated by large specimens of the Smooth barked Apple (*Angophora costata*) on the escarpments upper slopes with the Rough Barked apple, Turpentine (*Syncarpia glomulifera*) and Bloodwood (*Eucalyptus gummifera*) present along the lower slopes and Cabbage Tree Palms (*Livistona australis*) in the Bilgola valley.*

Much of the indigenous vegetation has been retained, particularly where there are large areas of open space, and there are significant wildlife habitats and corridors within the locality, such as on the original Wentworth Estate in the Pittwater Foreshore Area.

A unique flora and fauna green belt exists in the Bilgola Beach Area by the interconnection of Hewitt Park with Attunga Reserve via the dedicated portion of public land, previously known as Hamilton Estate, at the western end of the Bilgola Valley.

Many of the areas unique features are contained in the Bilgola Beach Area, notably:

- The remnant littoral rainforest, recognised as one of the largest and best urban examples remaining on the New South Wales coast, and characterised by the abundant subtropical vegetation which includes a mixed variety of shrubs, ferns and palms such as the Cabbage Tree Palms (*Livistona australis*) along Bilgola Creek and its drainage lines and in the valley,*
- The headlands with the formalised public lookout at Bilgola Head, which provides expansive coastal views,*
- The Bilgola Bends section of Barrenjoey Road that traverses the valley escarpment and is bordered by thick indigenous vegetation,*
- The Bicentennial Coastal walkway that passes over the southern headland to the valley, along the beach and on to the Bilgola Head lookout.*



- *Houses, vegetation, stone walls and structures in the vicinity of Bilgola Avenue, The Serpentine and Barrenjoey Road Bilgola Beach are indicative of the early settlement in the Locality, and have been identified as heritage items.*

Additionally the Bilgola Beach, headlands and valley escarpment provide unique cultural and social significance. Surveys of beach usage have revealed that crowd attendance was the fifth to sixth largest of the twenty ocean beaches in Warringah and Pittwater. Reasons for this include: uncrowded, quiet, natural environment and absence of commercial facilities. Respondents indicated that preservation of the beach and the surrounding areas unique character is desirable.

All of these unique features are valued by the community and contribute to the essence of the Bilgola Beach Area. These are to be retained and protected

Strong community objection to the widening of Barrenjoey Road and straightening the bends, and the sub-division of the Hamilton Estate, are indicative of the extent of community concern for the need to retain the unique character of the Bilgola Beach amphitheatre and limit further public infrastructure development.

The Plateau Area is serviced by neighbourhood retail centres at Bilambee Avenue and at the intersection of Plateau Road and Grandview Drive. The locality also contains the Bilgola Plateau Primary School, Bilgola Surf Life Saving Club, and recreational facilities including rock baths, Bilgola Beach, and several reserves.

The Localitys particular topographic and natural features create a particular fragility in the area, which is characterised by its vulnerability to bushfire, landslip, flood, coastal (bluff) erosion and beach fluctuation, and estuary wave action and tidal inundation. Attempts to stabilise the bluff erosion on the southern headland in the mid 1990s with wire netting, resulted in a disastrous environmental and visual outcome.

The proposed development is to be located on a 695.6m² existing allotment being in keeping with the typical size for the area. No trees are identified for removal and the existing landscaping to the front and rear of the allotment is to be retained to ensure the landscape character of the area is preserved.

The proposed development is considered to be consistent with the intended character of the area and the character of Bilambee Avenue. The design and style chosen is desired by the market today being of a contemporary nature using appropriate building materials which ensures that the built form will not be out of place and will not detract from the amenity of surrounding properties.



The proposal does not present any detriment to views or streetscape setting and environmental issues are considered to be satisfactorily addressed.

This development application is supported by all the necessary documentation to address the relevant environmental triggers of this Plan, such as landscaping and stormwater plans.

Desired Character (extract)

The Bilgola locality will remain primarily a low-density residential area with dwelling houses a maximum of two storeys in any one place in a landscaped setting, integrated with the landform and landscape. Secondary Dwellings can be established in conjunction with another dwelling to encourage additional opportunities for more compact and affordable housing with minimal environmental impact in appropriate locations. Future development is to be located so as to be supported by adequate infrastructure, including roads, water and sewerage facilities, and public transport.

The three distinct areas within the Bilgola locality (as identified in Bilgola Locality Map 2) will, by their unique differences, require differing and distinct degrees of control to ensure the individual characteristics and essence of each area are maintained and enhanced:

The Plateau Area:

Will provide for some dual occupancies, on land that does not have tree canopy coverage, species and habitat diversity, or other constraints to development. Any medium density housing will be located within and around commercial centres, public transport and community facilities. Retail, community and recreational facilities will serve the community.

The erection of the proposed development will meet with the objectives of the low-density residential character of the area and is in a similar styling to development already constructed within the locality. The proposed additions are considered to be in keeping with the surrounding area and remain below the dominant tree canopy height.

No trees are required to be removed as part of the proposed development with existing landscaping to be retained to the front and rear of the allotment to ensure the landscape character of the area is maintained.



Consideration has been given to the natural features and character of the surrounding area of the site during the design selection process with alterations and additions to the existing dwelling considered to be the most suitable development for the site.

The overall design of the alterations and additions has given consideration to the site's environmental constraints, the amenity of neighbouring properties, views obtained from the site and the streetscape.

The proposed dwelling is considered to be in keeping with the desired character of the Bilgola Plateau area.

SECTION B

B1 Heritage Controls

The subject property is not identified as an item of heritage significance, within a conservation area or within proximity of a heritage item.

B3 Hazard Controls

The subject property is identified to be located within a bushfire prone area following reference to Council's Bushfire Prone Land Map. Please refer to the Bushfire Report provided as part of this development application.

The subject property is identified as being affected by Class 5 Acid Sulphate Soils. The proposal is not considered to lower the water table by 1 meter and excavation is minimised as much as practical on the subject site. The development is not anticipated to have any specific requirement in respect to Acid Sulfate Soils. The site is not known to be affected by floods.

B4 Controls Relating to the Natural Environment

The subject site is not identified as being within an area of environmental significance.

B5 Wastewater management



Drainage from the subject site is to be directed to the existing drainage collection system for the property.

B6 Access and Parking

The existing driveway access is considered to be suitable to be retained.

<i>Requirement</i>	<i>Provision</i>	<i>Compliance</i>
Driveway width at boundary to be maximum of 3.0m	Existing driveway unchanged at boundary.	N/A
Driveway width at kerb to be maximum of 3.5m	Existing driveway unchanged at kerb.	N/A
Required parking spaces per dwellings 1bedroom – 1 space 2bedrooms + - 2 spaces	2 spaces retained within the existing garage and hardstand driveway.	Yes
Min. carport dimensions 5.7m x 6.0m	No carports proposed.	N/A

B8 Site works management

No earthworks required as noted on the accompanying plans.

SECTION C Development type controls

C1 Design Criteria for Residential Development

<i>Requirement</i>	<i>Provision</i>	<i>Compliance</i>
<u>C1.1 Landscaping</u> 60% of front setback to be landscaped.	No proposed change to existing front setback.	Yes
<u>C1.2 Safety & security</u>		Yes



<p>Be able to view visitor at front door without opening it.</p> <p>Casual surveillance of front yard. Adequate lighting provided to minimise possibility of damage. Lighting to minimise annoyance to neighbours.</p>	<p>The proposed development is not anticipated to result in any significant loss of safety and security to the dwelling. Sight lines from the dwelling to the street frontage are maintained by the development with adequate lighting provided within the front yard to permit dwelling access without annoyance to neighbours.</p>	
<p><u>C1.3 View sharing</u></p>	<p>The proposed development is not anticipated to have any unreasonable impact on views of surrounding properties. Any views obtained along the street and through the site can still be obtained due to appropriate setbacks and building height.</p>	Yes
<p><u>C1.4 Solar access</u></p> <p>3hrs to POS of proposed and adjoining 9am-3pm.</p> <p>3hrs to 50% glazing of proposed and adjoining living area windows.</p>	<p>3hrs solar access maintained to the existing dwelling due to appropriate setbacks and height of the proposed development.</p> <p>3hrs solar access maintained to adjoining dwellings</p>	Yes Yes
<p><u>C1.5 Visual privacy</u></p>	<p>Adequate level of visual privacy maintained by proposal. Living areas remain primarily orientated to the front and rear, and maintain suitable existing side setbacks to minimise opportunities for overlooking the neighbouring properties. Proposed side windows minimised as much as possible without introducing excessive visual bulk to side elevations.</p>	Yes
<p><u>C1.6 Acoustic privacy</u></p>	<p>No significant noise source within direct proximity of the subject site.</p>	Yes
<p><u>C1.7 Private open space</u></p>		



80m ² POS Min dimension 3m	>80m ² retained. Min >3.0m	Yes Yes
Max 75% POS in front yard	No proposed change in existing POS provided in front yard.	Yes
Principal area 4m x 4m Accessed via living area.	Retained in the rear yard.	Yes
POS to have good solar orientation	POS remains accessible as per the existing ground floor internal layout.	Yes
POS to include provision of clothes drying facilities	Appropriate orientation maintained. Adequate space remains available with the rear yard.	Yes Yes
<u>C1.9 Accessibility</u>	Appropriate access to and from the site is maintained.	Yes
<u>C1.12 Waste and recycling facilities</u>	Adequate area remains available for bin storage within the site.	Yes
	Waste Management Plan provided for Council's consideration.	Yes
<u>C1.20 Undergrounding of utility services</u>	Necessary services/utilities can be provided for the proposal.	Yes

SECTION D Locality specific development controls

D3 Bilgola Locality

D3.1 Character as viewed from a public place

Site and area analysis has revealed that numerous developments of a similar style and design to the subject proposal have occurred within the area gradually setting a contemporary development theme.

Car parking and access remains unchanged by the proposal. Parking is provided in the carport to the front of the dwelling in keeping with parking arrangements in the surrounding area.

Existing planting within the front setback ensures the development is softened and does not dominate the street. Based upon the design of the dwelling and the nature of the proposal relative to the intended surrounding properties, it is considered that the residence will appropriately blend with the intended future character of Bilambee Avenue.



The proposed development will positively contribute to the streetscape and landscape character of the Bilgola Plateau locality.

D3.2 Scenic Protection - General

The proposed development is not considered to have any detrimental impact on the scenic character of the area. The proposed alterations and additions are designed in keeping with the existing dwelling and with contemporary design elements to complement the changing character of the area.

D3.6 – 3.15 Bilgola Locality Residential Sectors

This section of the DCP applies to all land within the Bilgola Locality and provides controls for sector planning (subdivision and layout) and built form. An assessment of the proposed development against the built form controls of this section of the DCP is provided in the following compliance table;

<i>Requirement</i>	<i>Provision</i>	<i>Compliance</i>
<u>D3.3 / Building colours and materials</u> - Dark & Earth tones	Colour schedule provided with DA.	For Council's consideration.
<u>D3.6 / Front Building line</u> Land zoned E4 adjoining Barrenjoey Road – 10m or established building line, whichever is greater	N/A	N/A
All other land zoned R2 or E4 – 6.5m or established building line, whichever is greater.	No changed the existing front setback	Yes
Secondary street – half the front building line (if control outcomes are achieved).	N/A	N/A
<u>D3.7 / Side and rear building line</u> Land zoned R2 or E4: 2.5m to one side;	No proposed change to existing side setbacks	Merits consideration



1.0m to other side. 6.5m to rear (except land in foreshore)	Rear setback unchanged by proposal. 13.28m to proposed works.	Yes
<u>D3.9 / Building envelope</u> 3.5m above ngl on side boundaries, inward at 45° to max. height. (eaves permitted outside)	Proposed works sited within building envelope.	Yes
<u>D3.10 / Landscaped Area – General</u> Landscape area min = 50%	N/A to C4 zone	N/A
<u>D3.11 / Landscaped Area – Environmentally Sensitive Land</u> Landscape area min. = 60%	327.67m ² or 47.11% No proposed change to existing	No – see below
<u>D3.12 Fences</u>	No fencing proposed as part of this development application	N/A
<u>D3.14 / Retaining Walls</u> Retaining Walls visible from street ideally of sandstone or similar materials. Undercroft areas limited to 3.5m and provided with landscaping.	No retaining walls visible from street proposed. No new undercroft areas proposed.	N/A N/A

Variation Request

Landscape Area – Council’s DCP requires development in environmentally sensitive land to provide a minimum of 60% of total site area as landscaped. The proposed development has an existing non-compliance as provides a landscape area of 47.11%, therefore a variation to this control is requested.

It is understood that the objectives of the landscape requirement are to ensure that the landscape character and natural vegetation of the area is retained and conserved where possible whilst achieving the desired future character of the area. Furthermore, a reasonable level of amenity and solar access should be provided, along with minimising run-off and bulk of built form through retaining vegetation.



The proposed development does not further reduce the existing non-compliant landscape area retaining all trees and vegetation to the front and rear of the site to ensure natural vegetation and landscape character of the area is preserved. Additional planting post construction can be provided to further enhance landscape character, minimise run-off and reduce the bulk of built form on site.

The proposed alterations and additions are considered to cater for the needs of the occupant whilst remaining in keeping with current and likely future dwellings of the area, to ensure the current and future character of Bigola Plateau is retained. Therefore, a variation to the landscape area should be supported in this instance.

* * *

Conclusion with respect to DCP requirements

The proposal is considered to generally satisfy the objectives of the relevant development controls relating to dwellings, as contained within DCP2014.

(iii) Relevant planning agreement, or draft planning agreements

There are no known planning agreements that would prevent the proposed development from proceeding.

(b) Likely impacts of the development, including environmental impacts on both the natural and built environment of the locality

The following matters are understood to be relevant when considering on site impacts.

Siting and Design

The proposed alterations and additions will be compatible in terms of height, bulk and scale with recent developments within the area.

The siting of the proposed works provides suitable boundary setbacks, contributing to spatial separation and openness between dwellings. The articulated design of the proposed works will limit



the impact on the adjacent properties in terms of bulk, privacy and overshadowing and will not dominate any perceived views enjoyed by others.

The front façade remains appropriately articulated and contains a variety of roof forms and elements.

Utilities

The site is connected to all necessary services and utilities including electricity, water, reticulated sewerage and telecommunications.

Waste Minimisation

All waste will be deposited within the waste receptacle in accordance with the waste management plan attached to this application.

Noise and Vibration

All work will be undertaken during hours specified within the development consent. No vibration damage is envisaged to occur during construction.

(c) The suitability of the site for the development

The subject site is within an established residential area within reasonable driving distance to local commercial, retail and transport facilities. The existing road network provides easy access to all locations.

The proposed alterations and additions, the subject of the application, can be constructed with all services necessary and have been designed to suit site constraints and the character of the surrounding residential setting.

The proposed works are permissible with development consent under the provisions of Pittwater Local Environmental Plan 2014, and generally satisfies the objectives of the Pittwater Development Control Plan 21 as discussed above.



(d) Any submissions made in accordance with this Act or the regulations

Council will consider any submissions received during the relevant notification period for this development application.

(e) Public interest

As the proposal can satisfy the objectives of all relevant planning instruments and development control plan, approval of the subject dwelling is considered to be in the public interest.

CONCLUSION

The proposed development has been considered in respect of the relevant Environmental Planning Instruments and is deemed to be satisfactory with respect to those requirements taking into consideration the overall merits of the design presented.

The residential use of the site is permissible with development consent under the provisions of Pittwater Local Environmental Plan 2014, and can satisfy the objectives of the relevant development control plan for the area.

It is considered that the proposed alterations and additions will complement and blend with the existing dwelling and likely future character of Bilgola Plateau. The proposal is not expected to have an adverse impact on the surrounding natural or built environment.

The appropriateness of the development has been evident within this statement and within the supporting documentation submitted to Council. The proposed alterations and additions appropriately identifies and relates to the sites use as a residential development.

Having considered the requirements of all environmental planning instruments and DCP's the proposed landuse activity is considered acceptable and maintains the integrity of the existing locality. There are no potential adverse impacts from the development having considered the relevant heads of consideration under S4.15 of the E P and A Act 1979.



Given the relevant planning policies, codes and requirements of the EP & A Act 1979 have been duly satisfied the proposed development is on balance worthy of approval.

Olivia McQuaid

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12 December 2024