



**16 COSTER STREET,
FRENCHS FOREST**

**STATEMENT OF ENVIRONMENTAL EFFECTS FOR
ALTERATIONS AND ADDITIONS TO AN
EXISTING DWELLING HOUSE AND
CHANGE OF USE FROM AN EXISTING CLASS 10 SHED TO A STUDIO**



Report prepared for
Tom and Helen Cooney
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1. Introduction

1.1 This is a statement of environmental effects for alterations and additions to an existing dwelling and change of use from an existing Class 10 shed to a studio (with ensuite), at 16 Coster Street, Frenchs Forest.

1.2 The report describes how the application addresses and satisfies the objectives and standards of the Warringah Local Environmental Plan 2011, the Warringah Development Control Plan and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).

1.3 This statement of environmental effects has been prepared with reference to the following:

- Site visit
- Site Survey prepared by Burton & Field
- Drawings prepared by High House Design
- BASIX Certificate prepared by High House Design
- Stormwater Plans prepared by Taylor Consulting
- Waste Management Plan

1.4 The proposed development is compliant with the objectives of all Council controls, considerate of neighbouring residents and the streetscape and results in improved amenity for the residents of the site. It is an appropriate development worthy of Council consent.

2. The site and its locality

- 2.1 The subject site is located at the northern end, off the eastern side of Coster Street, approximately 155 metres north of its intersection with Iris Street in Frenchs Forest. The site is legally described as Lot 28 in DP 203735.
- 2.2 The site is irregular in shape with a southern boundary of 35.355 metres (including frontage to Coster Street), side boundaries of 16.56 metres (east) and 16.46 metres (west) and a rear/northern boundary of 33.53 metres. The site has an area of 566.9m².
- 2.3 The site is occupied by a single storey, concrete block dwelling house with a metal roof and a small clad shed with a metal roof. An awning off the southern side of the dwelling provides a covered single car space. The lot slopes approximately 2.2 metres from south-west to north-east.
- 2.4 The property is surrounded by detached residential dwellings to the north, east and south. To the west is Coster Reserve. It is located in close proximity to shops and services on Warringah Road to the south and Northern Beaches Hospital to the south-west.



Figure 1. Aerial Image of the subject site

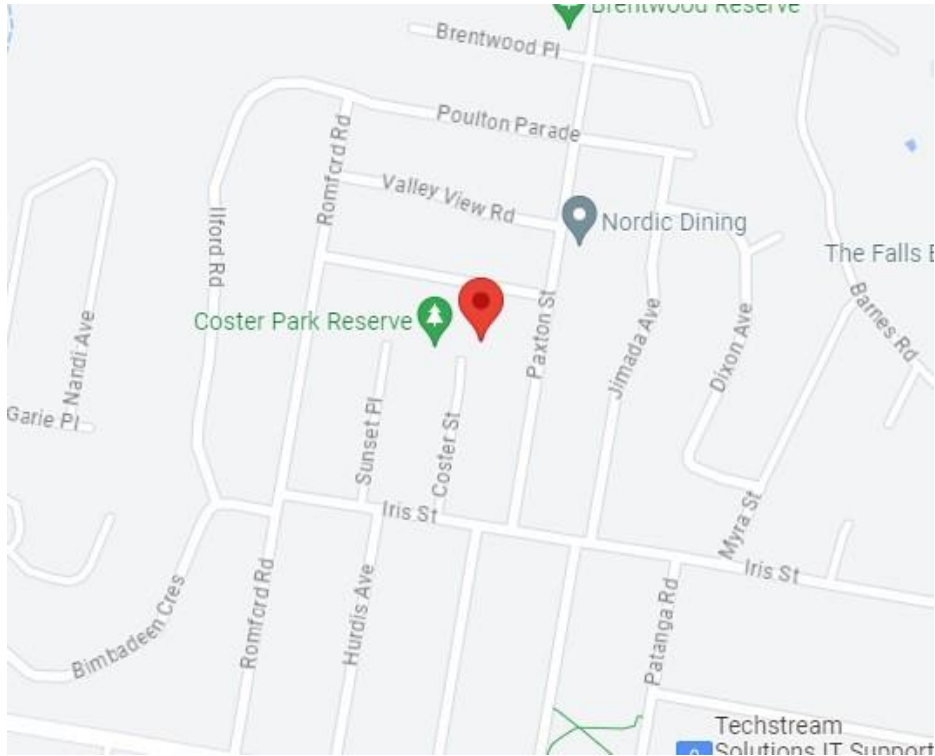


Figure 2. The site within the locality



Figure 3. Aerial Image of the site within the locality

3. BACKGROUND

- 3.1 On 17 July 2024 a Building Information Certificate application was lodged (BC2024/0189) for unauthorised works at the subject site.
- 3.2 The BIC seeks approval for the unauthorised works, which include:
- a single storey shed, clad with metal roof, with an area of 19.6m². The shed is connected to the existing dwelling by a partly unauthorised timber deck. This DA is seeking approval for the shed to be used as a studio, with an ensuite.
 - a portion of a timber deck at the side of the dwelling (approximately 28m², being 15% of the ground floor area of the dwelling on the lot *as per State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*) that wraps around the north eastern corner of the dwelling, providing level access to the shed.
- 3.3 Structural Certification has been provided for the works which were all undertaken by qualified tradesmen. The relevant certification is attached to the BIC application.
- 3.4 The neighbouring properties have not raised any objection to the works that are the subject of this application.
- 3.5 In November 2024 Council requested that a DA be lodged for a change of use of the shed to a habitable outbuilding.

4. PROPOSED DEVELOPMENT

4.1 The proposed development is for alterations and additions to an existing dwelling house, including:

- an extension to the dwelling on the southern side to provide an entry area and larger living area;
- a new metal roof to an existing deck (a portion of the deck forms part of a separate BIC Application – BC2024/0189); and
- change of use from a Class 10 shed to a studio (a habitable outbuilding); to include a small extension to provide a WC & shower (the shed also forms part of a separate BIC Application – BC2024/0189).

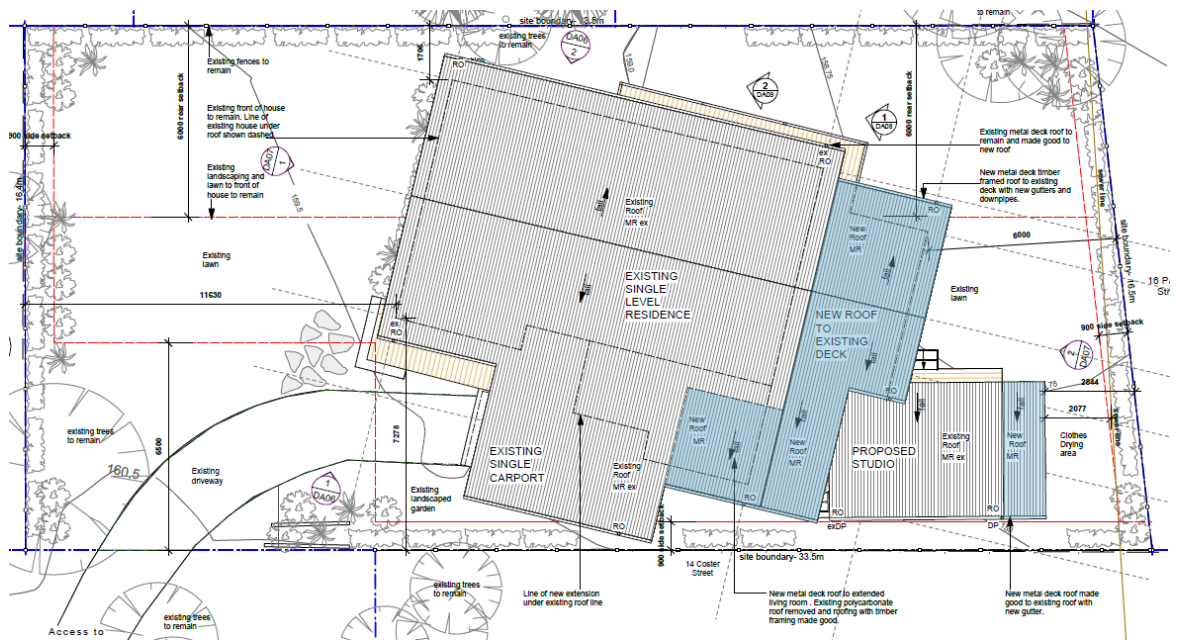


Figure 4. Extract from attached Plans (Site and Roof Plan DA03)

5. Site Photos



Figure 5. The existing dwelling, looking North-east from Coster Street



Figure 6. The awning on the southern side of the dwelling (proposed location of new addition)



Figure 7. The existing shed built at the south eastern corner of the site

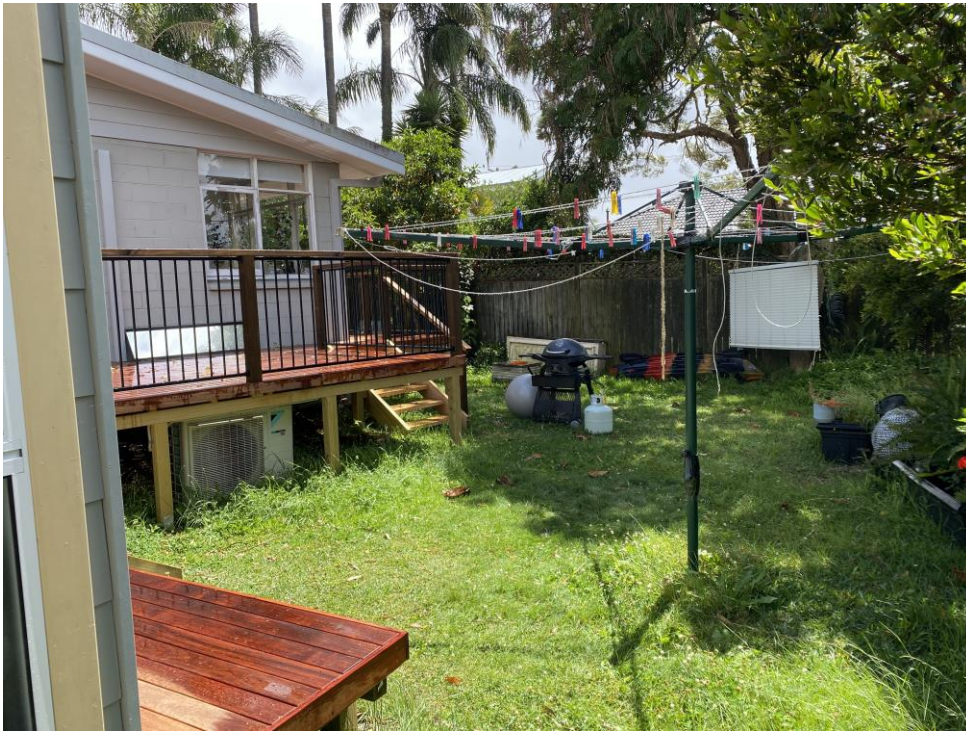


Figure 8. Looking north west towards the rear/side yard



Figure 9. Looking west towards the rear/eastern side of the dwelling and attached deck



Figure 10. Looking east towards the rear yard of the neighbouring property at 16 Paxton Street



Figure 11. Looking west towards the awning on the southern side of the dwelling (southern setback)

6. Statutory Framework

6.1 State Environmental Planning Policies

State Environmental Planning Policy (Sustainable Buildings) 2022

Schedule 1 of SEPP (Sustainable Buildings) 2022 sets out the standards for thermal performance and energy requirements for BASIX development in NSW. The proposal is BASIX development (as defined by the EPA Regulation 2021), and a compliant BASIX certificate is provided with this application.

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 – Vegetation in non-rural areas

State Environmental Planning Policy (Biodiversity and Conservation) 2021 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The development remains consistent with the provisions of the SEPP as no trees are to be removed.

State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 4 Remediation of Land

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

6.2 Warringah Local Environmental Plan 2011

The relevant clauses of the Warringah Local Environmental Plan 2011 are addressed below.

Zoning

The site is zoned R2 low density residential, pursuant to the provisions of the Warringah Local Environmental Plan 2011. The proposed works are ancillary to the existing dwelling house, and dwelling houses are permitted with consent in the R2 Zone.

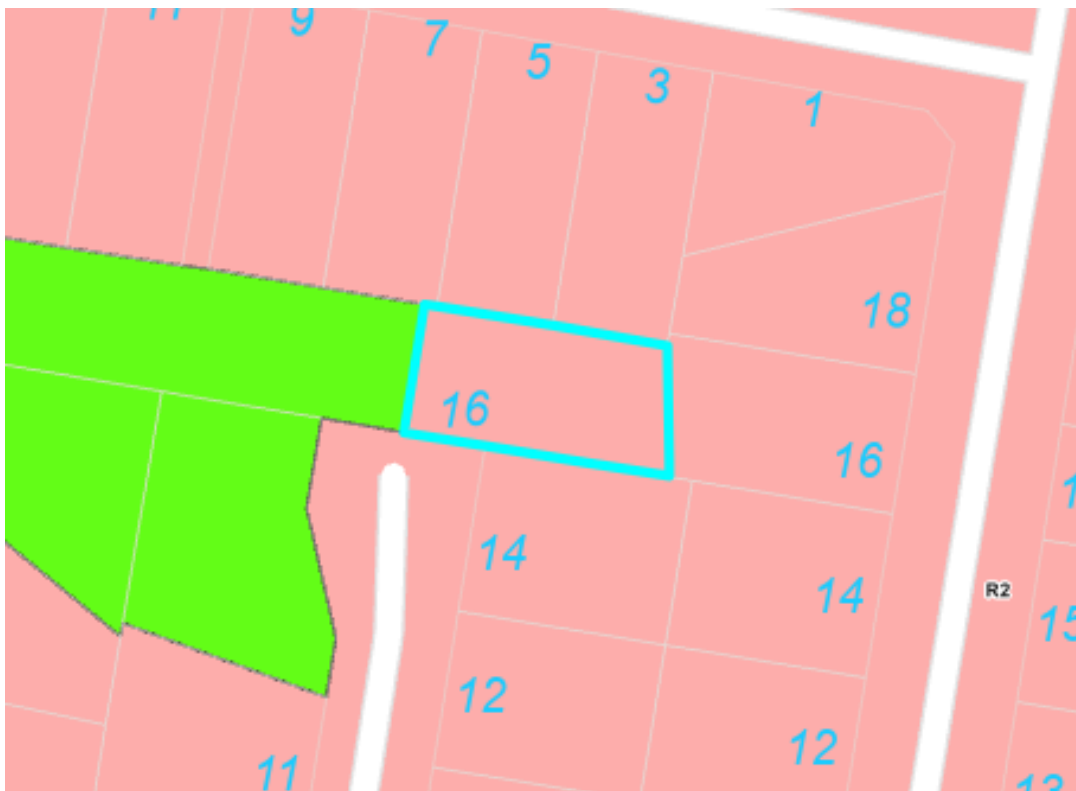


Figure 11. Extract from Warringah LEP 2011 Zoning Map

Height of Buildings

The LEP restricts the height of any development on the subject site to 8.5 metres. The development proposes a compliant maximum building heights of 3.4 metres to the top of the roof of the studio, 4.6 metres to the top of the roof to the deck and 3.2 metres to roof of new side addition.

Floor Space Ratio

The site is not identified on the floor space ratio map.

Demolition

Very minor demolition works are proposed, as described above and illustrated on the attached DA plan set, to allow for the construction of the proposed alterations and additions.

Minimum Lot Size

The site is mapped with a minimum subdivision lot size of 600m². The subject site comprises an undersized area of 566.9m² and no subdivision is proposed.

Heritage Conservation

The site is not a heritage item, is not located within a heritage conservation area and is not located in proximity to a heritage item.

Flood Planning

The site is not identified on the NBC flood hazard map.

Acid Sulfate soils

The site is not identified to contain acid sulfate soils.

Earthworks

The works involved minimal earthworks for footings associated with the proposed alterations and additions.

Development on Sloping Land

The site is located in the area nominated the LEP maps as Area A – Slope <5, where a geotechnical report is not normally required as the slope of the land is minimal.

6.3 Warringah Development Control Plan 2011

The relevant sections of the Warringah DCP 2011 are addressed below.

Part A Introduction

Objectives

The development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The works are appropriate to the site and the locality and have been designed with fulfilment of these objectives as essential criteria.

Part B Built Form Controls

Wall Heights

A maximum wall height of 7.2 metres is permitted by the DCP. The development proposes a maximum wall height of 3.2 metres on the northern side and 2.88 metres on the southern side of the studio. The new addition has a compliant maximum wall height of 2.4 metres on its southern elevation.

Side Building Envelope

The site requires a side boundary envelope of 4m/45°. The development proposes a compliant side boundary envelope (refer Drawing 11/12 'Proposed Sections' in the attached Drawing Set).

Side Boundary Setbacks

Side setbacks of 900mm are permitted on the subject site. Due to the configuration of the lot, the boundary setbacks are not definitive and for the purposes of our assessment we have treated the east, south and west boundaries as side boundaries (and the northern boundary as the rear boundary).

Based on the above interpretation of side boundaries, the development proposes compliant side setbacks of:

Extension to dwelling

2.066 metres (to southern boundary) – Refer Drawing DA05

Small eastern side extension to studio

1.071 metres (to southern boundary)

Front Boundary Setback

A front setback of 6.5 metres to the primary road frontage is required on the site. Due to the irregular lot configuration it is considered that the front setback requirement is not applicable to the site in this instance. In any case, all works are occurring within the eastern side of the lot and are not readily visible from Coster Street.

Rear Boundary Setback

The DCP requires a minimum rear setback of 6 metres on the subject site. As stated above, our assessment has considered the northern boundary as the rear setback. The new roof to the deck is setback 4.89 metres from the northern property boundary. However, if the northern boundary were to be considered the side boundary, the proposed setback is also considered acceptable.

The existing setback to the dwelling of 1.708 metres is to be retained.

The variation is considered appropriate, in this case, as the development remains consistent with the objectives of the control, despite the variation, as addressed below:

Objectives of the control:

- *To create a sense of openness.*

Comment

The non-compliance to the side boundary is through the provision of a new roof to an existing open deck (which forms part of a separate BIC Application). The deck, with open balustrading, no side walls or screening will maintain the sense of openness in the location.

- *To maintain the visual continuity and pattern of buildings and landscape elements.*

Comment

The roof to the deck is complimentary to the appearance of the existing dwelling. It is not visible from Coster Street. Mature vegetation along the northern side of the dwelling provides a natural buffer to the proposed roof. No landscaping is lost due to the works.

- *To protect and enhance the visual quality of streetscapes and public spaces.*

Comment

The new roof to the existing deck is not visible from Coster Street or the adjoining public reserve.

- *To achieve reasonable view sharing.*

Comment

A site visit has been undertaken and it is considered there will be no impact on any views.

Part C Siting Factors

Traffic Access and Safety

The existing development gains access via a crossover from Coster Street to a relatively lengthy driveway allowing for tandem on-site parking. No changes are proposed.

Parking Facilities

The DCP requires a minimum 2 car parking spaces and a maximum width of garage openings of 6 metres or 50% of the building width (whichever is lesser).

As stated above, the subject site has existing vehicular access from Coster Street and available space is provided on the driveway for tandem parking. The proposed parking arrangement is considered adequate given that the site is located off a quiet cul-de-sac and that there is ample on-street parking available.

Stormwater

Stormwater runoff resulting from the development will be connected to existing drainage infrastructure. See Stormwater Plans attached, prepared by Taylor Consulting.

Excavation and Landfill

Minor earthworks are proposed to allow for the proposed construction works to take place.

Demolition and Construction

The proposed alterations and additions will involve minimal demolition works as detailed in the attached plans.

All demolition and construction works will be undertaken as required by Council controls and compliant with any relevant conditions of consent.

Waste Management

Appropriate waste management will be undertaken during the demolition and construction process. All demolished materials will be recycled where possible, which is detailed in the accompanying Waste Management Plan.

The dwelling has existing bin storage areas and waste will be collected by Councils regular service.

Part D Design

Landscaping and Open space and bush land setting

The DCP requires 40% landscaping on the site which is equivalent to 226.76m² for the site area of 566.9m². The development results in an easily compliant landscaped area of 52% or 294.3m².

Private open space

The DCP requires a minimum 60m² private open space (with minimum dimensions of 5 metres) and the development provides a compliant private open space area for the enjoyment of residents.

Noise

The development will not result in noise levels inappropriate to the residential area. The site is not located in close proximity to a noise generating activity.

Access to sunlight

At least 50% of the private open space of the subject site and the adjoining dwellings are required to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21 by the DCP. The proposed development ensures that the private open space of both the

subject site and the adjoining properties will maintain compliant solar access between 9 am and 3pm as required by the DCP.

Views

A site visit has been undertaken and it is concluded the development will not result in any view loss impacts.

Privacy

The works will have no impact for neighbour's visual privacy with no direct overlooking to private open space or any key living areas. The proposed development is single storey and existing side boundary fencing and vegetation will ensure that privacy will be retained for neighbours. The design and placement of new windows also ensures that no overlooking will occur onto neighbouring properties.

Building Bulk

The development does not add inappropriate bulk to the building and the existing dwelling retains an appropriate presentation to Coster Street.

Building Colours and Materials

The proposed building materials complement the existing dwelling. All materials and finishes are complementary to the residential surrounds and are consistent with a modern finish.

Roofs

The development proposes roof forms which are consistent with the existing dwelling.

Glare & Reflection

Materials have been chosen to ensure no glare or reflection issues.

Site Facilities

All site facilities including a bin storage area, mailbox and clothes drying facility are provided on the site.

Side and Rear Fences

The DCP requires a maximum side and rear fence height of 1.8 metres. No changes are proposed to existing boundary fencing.

Safety and Security

An ability to view the street frontage is retained which is to the benefit of safety and security of residents.

Conservation of Energy and Water

The design has achieved a BASIX Certificate which accompanies the application.

Part E The Natural Environment

Preservation of Trees or Bushland Vegetation

The development does not propose the removal of any vegetation on the site.

Wildlife Corridors

The site is not identified as a wildlife corridor.

Retaining unique Environmental Features

There are no significant environmental features on the site.

Waterways and Riparian Lands

There will be no impact on waterways or riparian lands in the locality.

Landslip Risk

The site is located in the area nominated in the LEP maps as Area A – Slope <5 and it is considered a geotechnical report is not required due to the minimal risk.

7. Numerical Control Table

The following table provides a summary of the development proposal, in accordance with the relevant numerical planning controls contained in the Warringah LEP 2011 and the Warringah DCP 2011.

	Standard	Proposed	Compliance
Warringah LEP 2011			
Lot Size	600m ²	566.9m ²	Yes – no change
Building Height	8.5 metres	3.4m (roof of studio) 3.2m (roof of new addition) 4.6m (new roof to deck)	Yes
Floor Space Ratio	Not identified		
Warringah DCP 2011			
Wall Height	7.2 metres	3.2m (north elevation of shed) 2.88m (southern elevation of shed) 2.4m (southern elevation of new addition)	Yes
Number of Stories	Not identified		
Side Boundary Envelope	4 metres / 45 degrees	Complies	Yes
Site Coverage	Not identified		
Side Boundary Setbacks <i>Eastern, western and southern boundaries considered to be side setbacks</i>	0.9 metres	2.043m (to new addition - south) 1.09m (to new WC in studio – south) 3.053m (from WC to eastern boundary)	Yes Yes Yes
Front Boundary Setback	6.5 metres	N/A	

	Standard	Proposed	Compliance
Rear Boundary Setbacks <i>Northern boundary considered rear boundary</i>	6 metres	Existing non-compliance to dwelling (1.71m) New roof to the deck is setback 5.14 metres	No change under DA works Compliance with objectives achieved
Parking	2 spaces	Existing parking to be retained	Yes
Landscaped Open Space and Bushland Setting	40% of lot area (226.76m ² for site area of 566.9m ²)	52% (294.3m ²)	Yes
Private Open Space	60m ²	>60m ²	Yes
Solar access	3 hours sunlight to 50% of POS of both subject site and adjoining properties between 9am and 3pm on June 21.	Complies	Yes

8. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

8.1 The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed development is complimentary and compatible with adjoining development. The proposal achieves the aims of the Warringah LEP and DCP.

The development is permissible in the R2 zone.

8.2 The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Context and Setting

What is the relationship to the region and local context in terms of:

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement, appendices and attached specialist reports.

What are the potential impacts on adjacent properties in terms of:

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed development complements the site and its surrounds, is appropriate and will have negligible impact on adjacent properties.

Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

No conflict or issues will arise.

Public domain

There will be no impact.

Utilities

There will be no impact on the site, which is already serviced.

Flora and fauna

There will be no impact.

Waste

There will be no impact.

Natural hazards

The site is located in the area nominated the LEP maps as Area A – Slope <5, where a geotechnical report is not normally required as the slope of the land is minimal.

Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

Site design and internal design

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed works are appropriate to the site with regards to all of the above factors. The development fits well within the context of the surrounds and the development is well suited to the residential surrounds.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The development complies with the provisions of the Building Code of Australia and all relevant Council controls.

Construction

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

8.3 The suitability of the site for the development

Does the proposal fit in the locality?

- *are the constraints posed by adjacent developments prohibitive?*
- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The adjacent development does not impose any unusual development constraints.

Are the site attributes conducive to development?

The site is appropriate for the development.

8.4 Any submissions received in accordance with this Act or the regulations

It is envisaged that the consent authority will consider any submissions made in relation to the development.

8.5 The public interest

It is considered that the development is in the public interest as it allows for appropriate use of the residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

9. Conclusions

- 9.1 The proposed development for alterations and additions, including an extension to the existing dwelling on the southern side, a new roof to an existing deck and the change of use of an existing Class 10 shed to a studio (including a small extension to provide a WC & shower), at 16 Coster Street, Frenchs Forest is appropriate considering all State and Council controls.
- 9.2 When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.
- 9.3 Considering all the issues, the development is considered worthy of Council's consent.

Planner Declaration

This report was prepared by:

Senior Planner: Susan May-Roberts

Report Version: Final

Document Control Table

Document Purpose:	Statement of Environmental Effects	
Date	Prepared by	Approved by
19/02/2025	Susan May-Roberts Senior Planner	Sarah McNeilly Director

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