

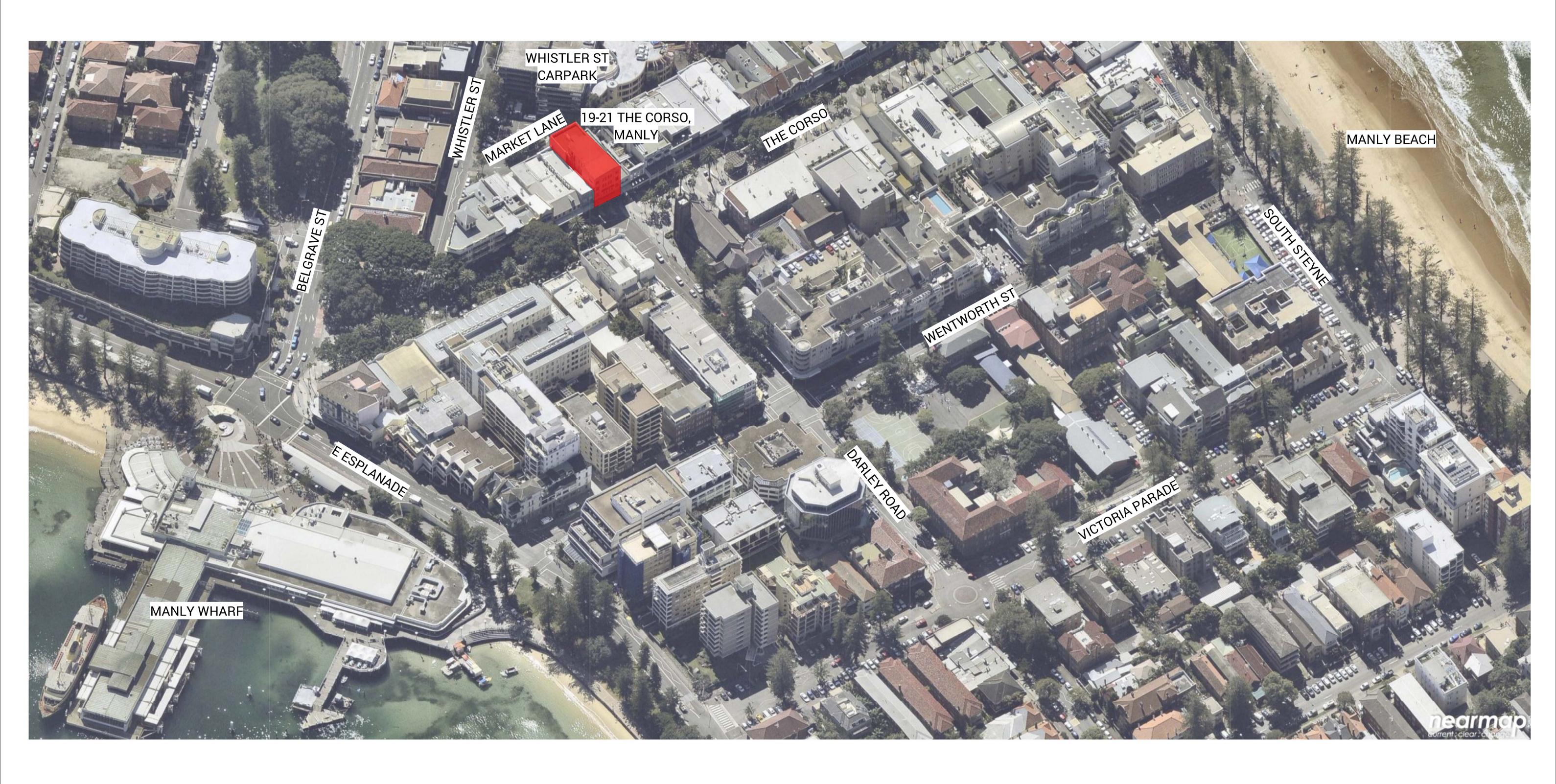
NO	SHEET NAME	REVISION DATE
01	SITE CONTEXT	02/05/2019
02	SITE ANALYSIS AND ROOF PLAN	02/05/2019
03	EXISTING FLOOR PLANS	02/05/2019
04	EXISTING FLOOR PLANS	02/05/2019
05	GROUND AND FIRST FLOOR PLAN	02/05/2019
06	SECOND AND THIRD FLOOR PLAN	02/05/2019
07	PROPOSED ROOF PLAN	02/05/2019
08	ELEVATIONS	02/05/2019
09	ELEVATIONS	02/05/2019
10	SECTIONS	02/05/2019
11	STREET VIEW - MARKET PLACE	02/05/2019
12	STREET VIEW - THE CORSO	02/05/2019
13	SHADOW DIAGRAMS	02/05/2019

MANLY CORSO APARTMENTS REFURBISHMENT +

ADDITIONS

19-21 THE CORSO, MANLY

DA SUBMISSION - REVIEW ISSUE MAY 2019



Issu	е		
No.	Date	Description	Chko
Α	01/06/18	PRE DA SUBMISSION	AT
В	14/02/19	PRE DA SUBMISSION	AT
С	27/02/19	PRE DA SUBMISSION	AT
D	04/04/19	PRE DA SUBMISSION	AT
Е	02/05/2019	DA SUBMISSION	AT



Drawing Title SITE CONTEXT MANLY CORSO APARTMENTS REFURBISHMENT + ADDITIONS S.P. 12989 19-21 THE CORSO, MANLY

HILROK PROPERTIES PTY LTD

Architect NBRSARCHITECTURE
Sudnov

Date 5/9/2019 3:05:57 PM Scale 1:1@A1

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Nominated Architects:
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Drawing Reference Revision

17349-A-01

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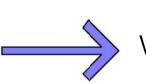




PRIVACY LINE



----> SITE FALL





SUN PATH DIAGRAM



___ BOUNDARY



ENTRY/EXIT



PRIVATE ACCESS **PEDESTRIANS**



VEGETATION GRASS AREA



CAMERA DIRECTION



BUS STOP SIGNAL



PARKING SYMBOL



TRAFFIC NOISE



PEDESTRIAN WALKWAY

	CARPARK	SUN PATH NOON			
	WINTER SUNSET	MARKET	A N E WINTER SUNRISE WINTER SUNRISE WINTER SUNRISE WINTER SUNRISE WINTER SUNRISE		
	B SUNSET	RIDGE RL 20.420 RIDGE RL 20.420 REAL TOPONTO DECIVILITY PLANT D	2 STOREY COMMERCIAL BUILDING 3 STOREY IVANHOE HOTEL	SUMMER BREEL. SUMMER BREEL. CORNANLY BEACH FOMANLY BEACH	00
	2 STOREY BRICK COMMERCIAL BUILDING	OVERRUN OVERRUN OVERRUN SP 12089 RSO RAIL 23 THE CORSO 2 STOREY HERITAGE LISTED COMMERCIAL/OFFICE BUILDING	SUNRISE SUNRISE	2 STOREY COMMERCIAL BUILDING	
NORTHERN BEACHES COUNCIL 3 STO	2 STOREY BRICK COMMERCIAL BUILDING 2 STOREY BRICK COMMERCIAL BUILDING 2 STOREY BRICK COMMERCIAL BUILDING OREY BRICK MMERCIAL BUILDING PARSH WITH FRANKING REPORT OF THE PROPERTY OF THE PR	C ORSO	STI	MATTHEWS CAN CHURCH	
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В	14/02/19	PRE DA SUBMISSION	AT
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D	04/04/19	PRE DA SUBMISSION	AT
Е	02/05/2019	DA SUBMISSION	AT

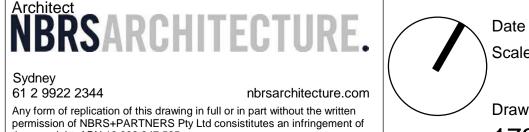


Drawing Title SITE ANALYSIS AND ROOF PLAN

Project MANLY CORSO APARTMENTS REFURBISHMENT + ADDITIONS

S.P. 12989 19-21 THE CORSO, MANLY HILROK PROPERTIES PTY LTD

Architect NBRSA	RCH	ITE	CT	UR	E.
Sydney 61 2 9922 2344			nbrsarcl	hitecture	.con



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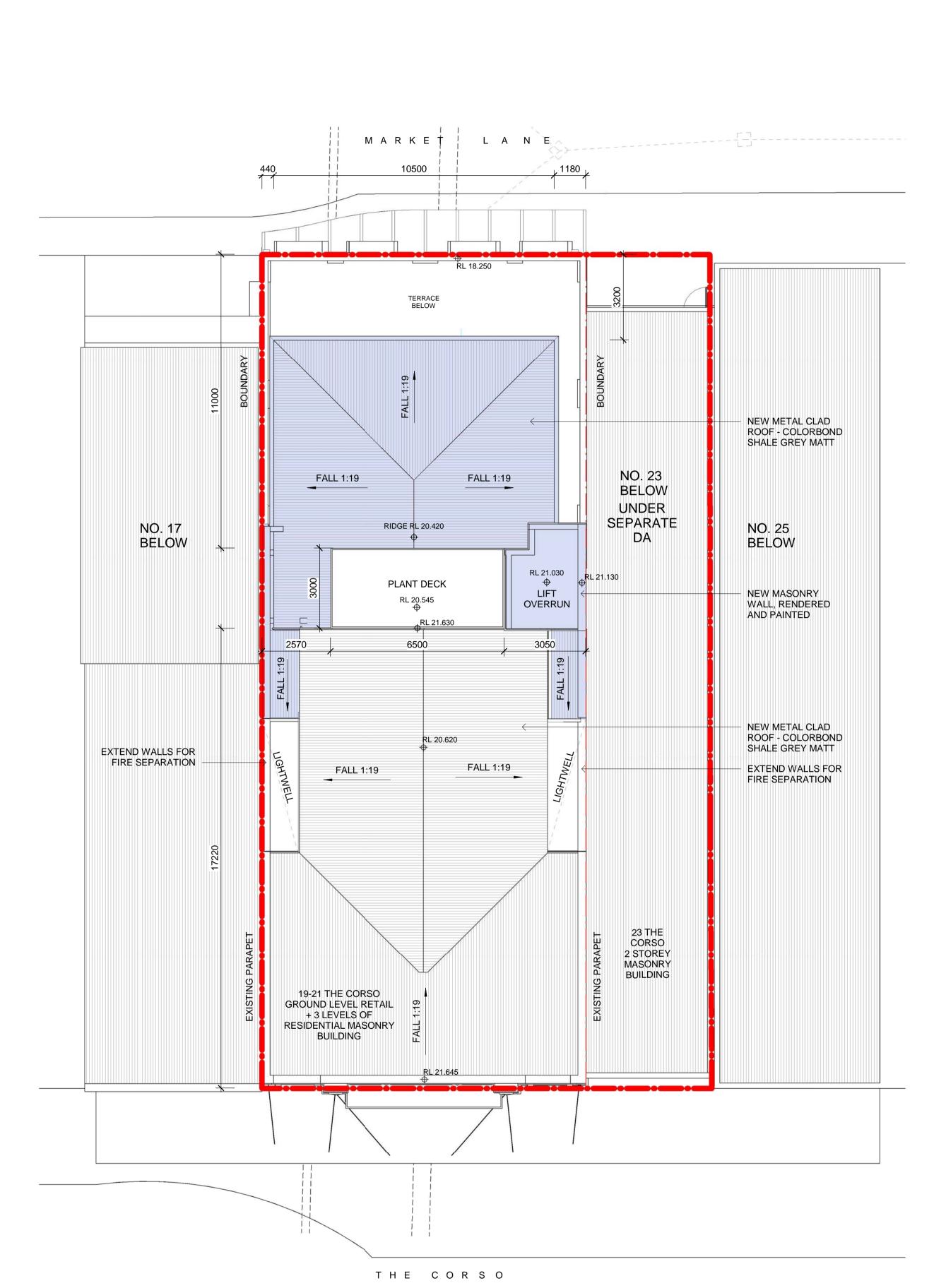
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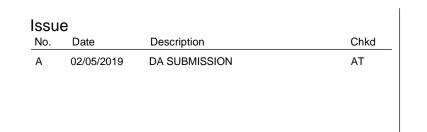
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Revision







Drawing Title

PROPOSED ROOF PLAN

Project

MANLY CORSO APARTMENTS

REFURBISHMENT + ADDITIONS

at

S.P. 12989

at S.P. 12989 19-21 THE CORSO, MANLY for HILROK PROPERTIES PTY LTD Architect
NBRSARCHITECTURE.

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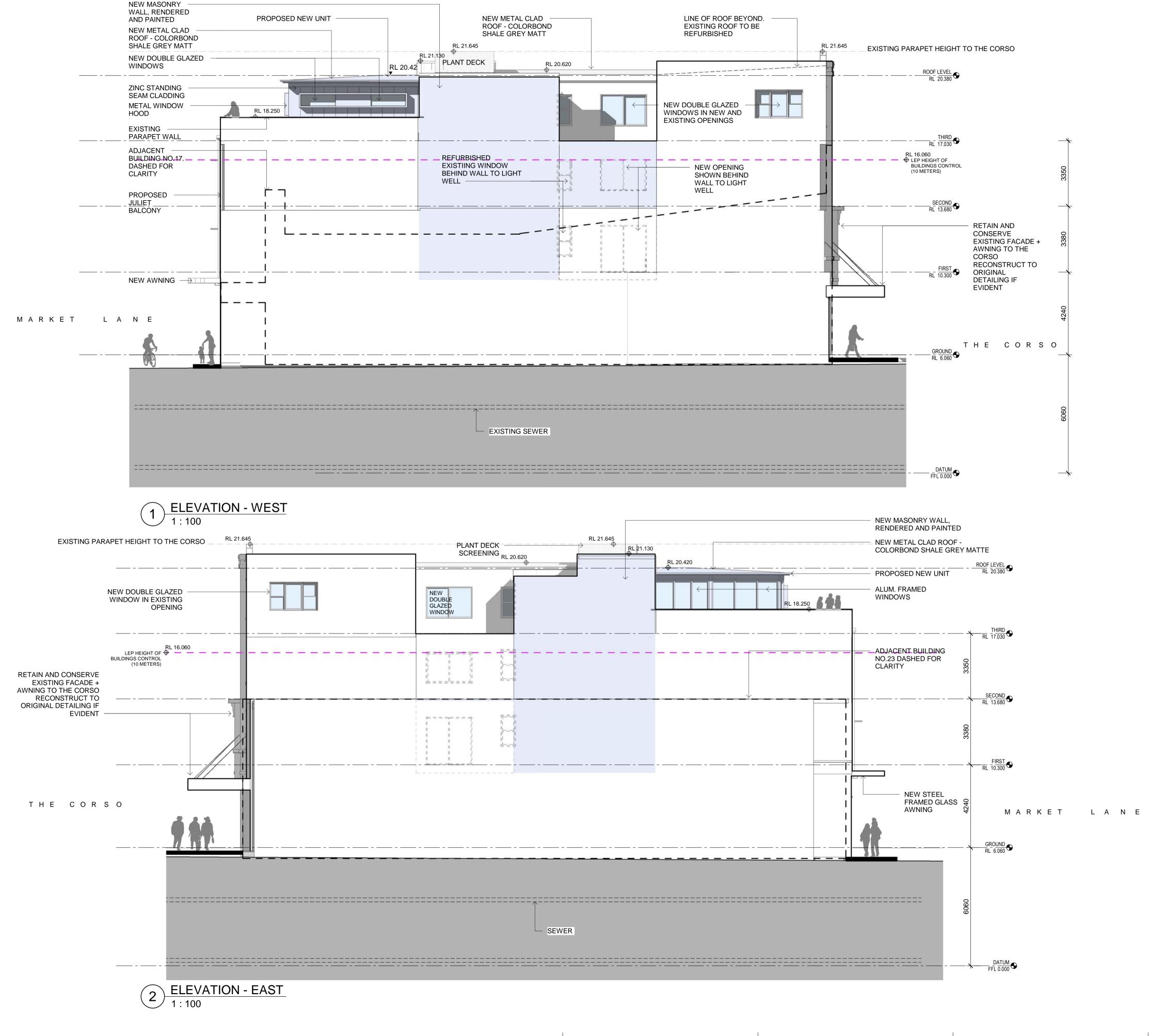
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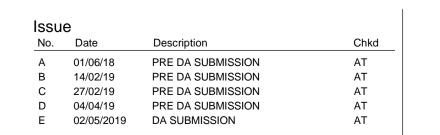
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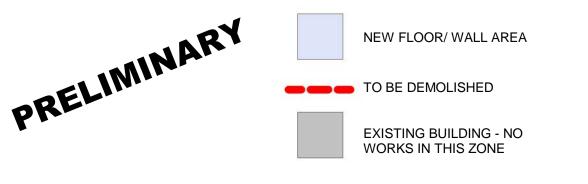
Drawing Reference 17349-A-07

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2 ELEVATION - THE CORSO 1:100

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Drawing Title ELEVATIONS

MANLY CORSO APARTMENTS REFURBISHMENT + ADDITIONS S.P. 12989 19-21 THE CORSO, MANLY HILROK PROPERTIES PTY LTD

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PERSPECTIVE -EXISTING WHISTLER & MARKET LANE



PERSPECTIVE - PROPOSED MARKET LANE



PERSPECTIVE -PROPOSED WHISTLER & MARKET LANE

 Issue

 No.
 Date
 Description
 Chkd

 A
 01/06/18
 PRE DA SUBMISSION
 AT

 B
 14/02/19
 PRE DA SUBMISSION
 AT

 C
 27/02/19
 PRE DA SUBMISSION
 AT

 D
 02/05/2019
 DA SUBMISSION
 AT

PRELIMINARY

Drawing Title
STREET VIEW - MARKET PLACE

MANLY CORSO APARTMENTS
REFURBISHMENT + ADDITIONS
at
S.P. 12989
19-21 THE CORSO, MANLY

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D









PERSPECTIVE - EXISTING THE CORSO



PERSPECTIVE - PROPOSED THE CORSO



PERSPECTIVE - PROPOSED THE CORSO

Chkd A 02/05/2019 DA SUBMISSION



Drawing Title STREET VIEW - THE CORSO

MANLY CORSO APARTMENTS REFURBISHMENT + ADDITIONS

S.P. 12989 19-21 THE CORSO, MANLY HILROK PROPERTIES PTY LTD Sydney
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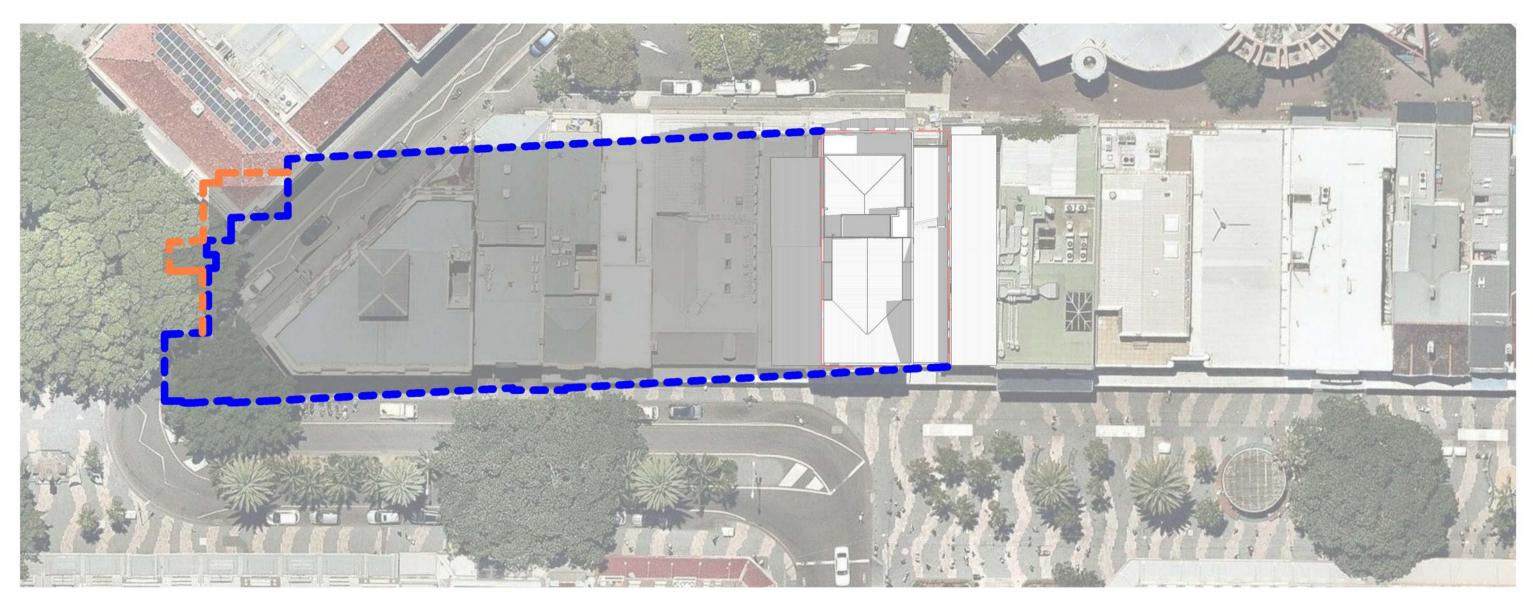
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Drawing Reference Revision

17349-A-12







2 SUNSHADOW DIAGRAM - 12PM JUNE 1:500



3 SUNSHADOW DIAGRAM - 3PM JUNE 1:500

AT AT AT AT PRE DA SUBMISSION PRE DA SUBMISSION PRE DA SUBMISSION 27/02/19 02/05/2019 DA SUBMISSION

EXISTING SHADOWS

PROPOSED SHADOWS



4 SUNSHADOW DIAGRAM - 9AM DEC 1:500



5 SUNSHADOW DIAGRAM - 12PM DEC 1:500



6 SUNSHADOW DIAGRAM - 3PM DEC
1:500
Project

SHADOW DIAGRAMS

MANLY CORSO APARTMENTS REFURBISHMENT + ADDITIONS S.P. 12989 19-21 THE CORSO, MANLY

HILROK PROPERTIES PTY LTD

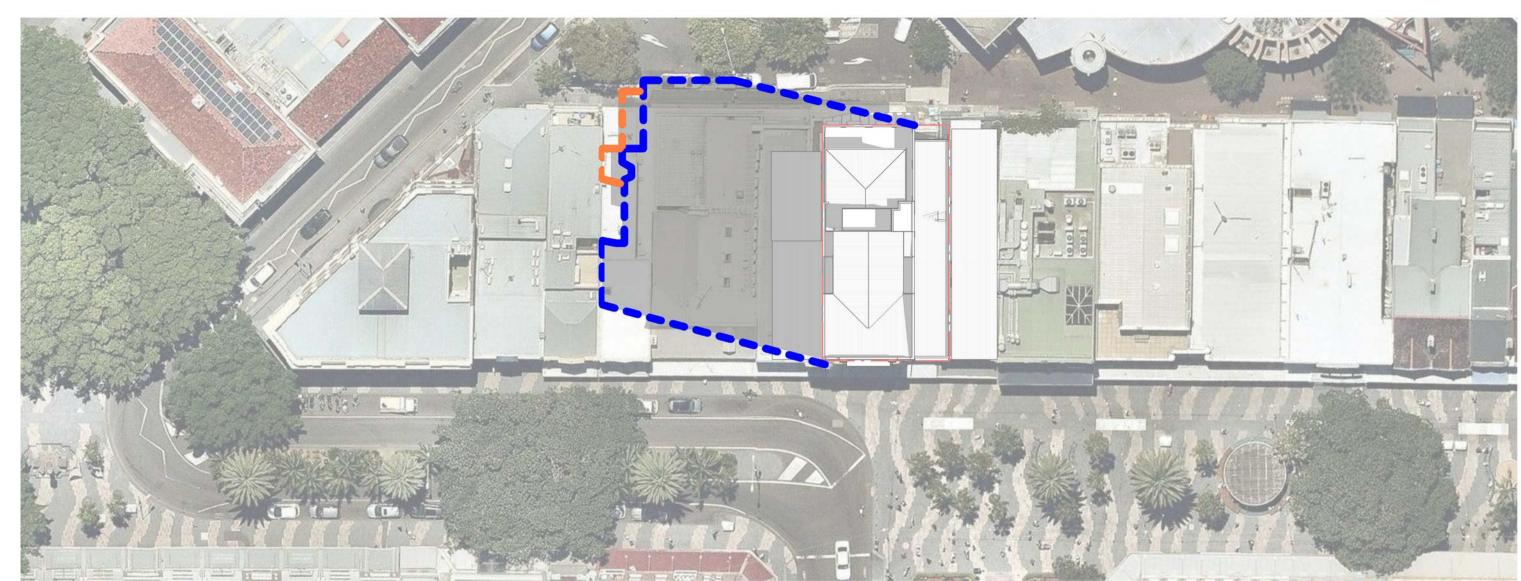
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Drawing Reference 17349-A-13



1 SUNSHADOW DIAGRAM - 9AM SEPT



2 SUNSHADOW DIAGRAM - 12PM SEPT 1:500



3 SUNSHADOW DIAGRAM - 3PM SEPT 1:500

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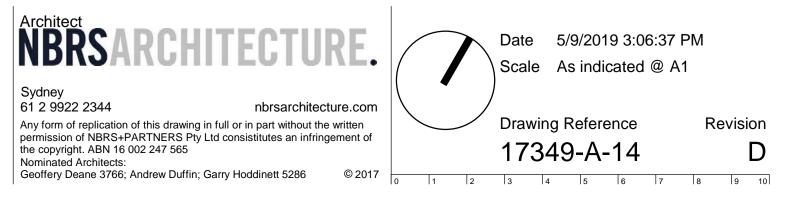
EXISTING SHADOWS

PROPOSED SHADOWS

Drawing Title SHADOW DIAGRAMS

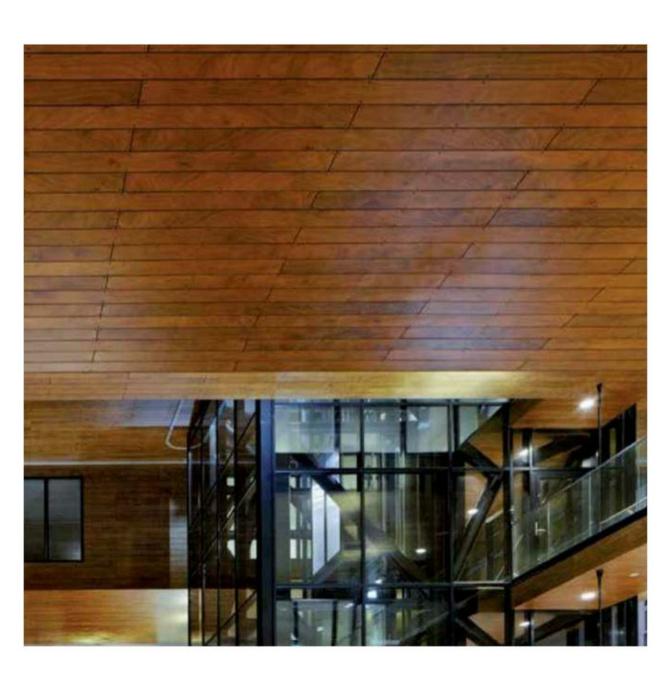
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EXISTING & HERITAGE COLOUR PALETTE TO BE REFURBISHED



PROPOSED TIMBER LINED EAVES TO NEW APARTMENT WINDOW BOX



EXISTING BUILDING FEATURES TO BE RETAINED AND REFURBISHED



PROPOSED ZINC CLADDING



SHALE GREY MATTE ROOFING, FLASHING, GUTTERS TO REPLICATE EXISTING.



PROPOSED GLAZED SLIDING DOORS TO NEW **APARTMENT**



Drawing Title MATERIALS & FINISHES

MANLY CORSO APARTMENTS REFURBISHMENT + ADDITIONS S.P. 12989 19-21 THE CORSO, MANLY

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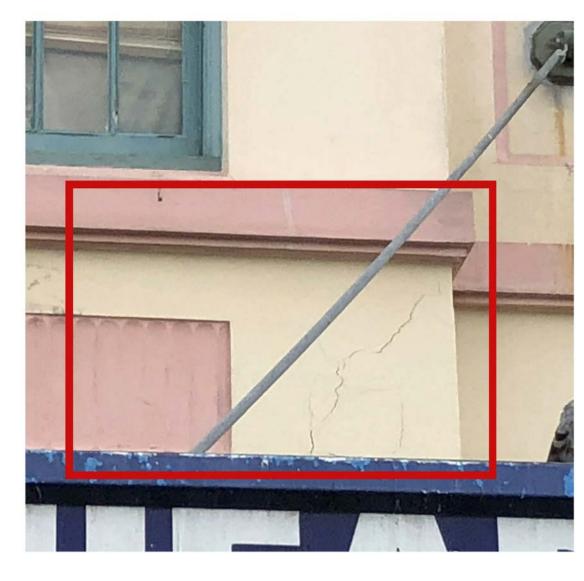
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Drawing Reference Revision

17349-A-15

D



Open-up render and investigate extent of cracking. Rectify cracking to structural engineer and heritage architect's advice and reapply render to match original detail



Open-up render and investigate extent of cracking. Rectify cracking to structural engineer and heritage architect's advice and reapply render to match original detail



Open up render over all windows and investigate corrosion of lintels. Replace or rectify lintels to structural engineer and heritage architect's advice and reapply render to match original detail



Investigate level of decay of existing windows to determine extent of works. In cases of minor rot, splice in new timbers to replace rotten segments. Where deemed necessary by
Heritage Architect, replace windows and
frames in timber to match original detail. New
glazing shall be provided to all windows to incorporate (20mm max) double glazing units for thermal and acoustic insulation (Thermawood) as directed by heritage architect.



Open up and investigate cracking to pediment.
Rectify cracking to structural engineer and heritage architect's advice and reinstate rendered detail to match original.



Investigate damp to building façade. Rectify cause and remove any salt laden render. Replace render to match original detail.



Reconstruct window to match original detailing.



Allow to repaint entire façade and masonry returns to The Corso in heritage colour scheme based on paint scrape evidence performed on site once access to façade is provided. Paint shall be Dulux Acratex Acraseal or similar to heritage architect's approval.



Retain and conserve existing shopfront awning.
Open up and investigate possibility of any extant remnant original awning finishes. Rectify awning structure as required to structural engineer's advice. Reconstruct roof, fascia and soffit to match original detail if evident. (Allow for pressed metal soffit, marine ply fascia with timber trim, metal decking to roof and box gutter to building line)

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No.	Date	Description	Chkd
Α	27/02/19	PRE DA SUBMISSION	AT
В	02/05/2019	DA SUBMISSION	AT



Drawing Title HERITAGE CONSERVATION

MANLY CORSO APARTMENTS REFURBISHMENT + ADDITIONS S.P. 12989 19-21 THE CORSO, MANLY

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Drawing Reference 17349-A-16

Nominated Architects:
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Description: Door Type 1. Three panel timber door with original hardware
Note: Door typically extant to bedrooms

Conservation works: Retain original doors in situ where

possible Original doors and frames in areas to be demolished are to be salvaged and reused.

New doors and frames to be detailed to match



Description: Door Type 2. Timber door with four glazed panel to upper door and three timber panels below, original hardware
Note: Door type 2 is atypical. Conservation works:

- Retain original doors in situ where
- Original doors and frames in areas to be demolished are to be salvaged and
- New doors and frames to be detailed to match existing.



Description: Door Type 3 (modified). Double multi-pane door with fixed multi-pane highlight. Note: Door type 3 is located in some openings to former porches. The door illustrated has been modified with a later door and fixed sidelight. The image illustrates the original frame and highlight window.

Conservation works:

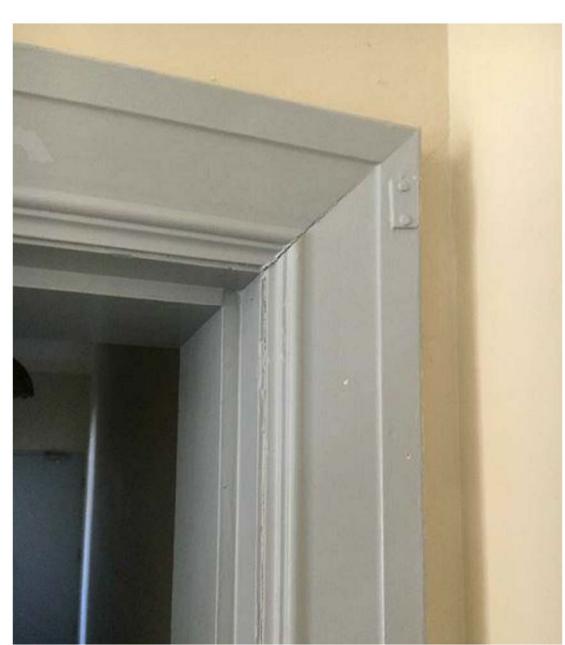
- Retain existing frame and highlight and original double multi-pane glazed doors in situ where possible.
- Original doors, frames and highlights in areas to be demolished are to be salvaged and reused.
- Retain existing frame and highlight where extant and provide new doors to match
- New doors, frames and highlights to be detailed to match original.



Chkd

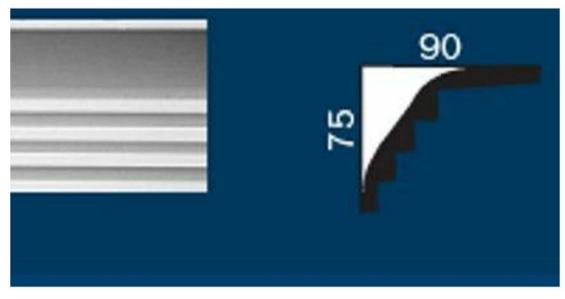
Description: Skirting Conservation works:

- Original skirting shall remain in situ
- Original skirting to be salvaged in areas to be demolished and reused.
- New skirting should be detailed to match original



Description: Architrave Conservation Works:

- Original architraves shall remain in situ where possible
- Architraves should be salvaged in areas to be demolished and reused
- New architraves should be detailed to match original



Ceilings and Cornices Note: No Original ceilings are extant

- Provide new flush plasterboard ceilings





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ABN 16 002 247 565



S.P. 12989 19-21 THE CORSO, MANLY Job No. 19010126

ENVIRONMENTAL SITE MANAGEMENT LEGEND

---- PROPRIETARY SILT FENCE

PROPOSED BUILDING LINE

PROVIDE TEMPORARY CHAIN WIRE FENCING (HOARDING) ALONG THE SITE BOUNDARY.



TO KERB INLET PITS.

NOMINATED DISPOSAL ROUTE FOR TRUCK MATERIAL TRANSPORTATION. TEMPORARY MASS CONCRETE FOOTPATH CROSSING

TEMPORARY FILTER TUBE WITH SAFETY BARRICADE



UNDISTURBED NON-TRAFFICABLE AREA

SURFACE INLET DRAINAGE PIT WITH SURROUNDING FILTER FABRIC INLET SEDIMENT TRAP OR FILTER TUBES (SANDBAGS)

TEMPORARY GEOTEXTILE WRAPPED HAY BALES/SAND BAGS





SITE EQUIPMENT LOCATIONS

SAFETY IN DESIGN

THERE ARE INHERENT ISKS, WITH CONSTRUCTING, MAINTAININ OPERATING, DEMOLISHING, DISMANTING AND DISPOSING TIDESIGN IHAT ARE TYPICAL OF SIMILAR DESIGNS, AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS, HAZARD CONTRC MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR DPERATOR TO ENSURE THE SAFETY OF WORKERS.

JN DO NOT CONSIDER THAT THERE ARE ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN OF THIS PROJECT.

	ESM DRAWING LIST
No.	SHEET NAME
ESM1	NOTES, LEGEND & DETAILS
ESM2	ESM FLAN

ENVIRONMENTAL SITE MANAGEMENT

- ENVIRONMENTAL SITE MANAGEMENT

 1. EROSION & SEDIMENT CONTROLS TO BE INSTALLED IN ACCORDANCE WITH COUNCIL'S SPECIFICATION & THE NSW DEPARTMENT OF HOUSING "BLUE BOOK"-SOILS AND CONSTRUCTION MANAGING URBAN STORMWATER, 2004, REFER TO THE BLUE BOOK FOR STANDARD DRAWINGS "SD"

 2. SEDIMENT & EROSION CONTROLS MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS OR DEMOLITION ACTIVITY. THE LOCATION OF SUCH DEVICES IS INDICATIVE ONLY AND RINAL POSITION SHOULD BE DETERMINED ON SITE.

 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL MEASURES ARE TAKEN DURING THE COURSE OF CONSTRUCTION TO PREVENT SEDIMENT EROSION AND POLLUTION OF THE DOWNSTREAM SYSTEM. SUPERVISING ENGINEER SHOULD BE CONTACTED IF IN DOUBT, ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

 4. RETAIN ALL EXISTING GRASS COVER WHEREVER POSSIBLE TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO BE STRIPPED AND STOCKPILE AT THE NOMINATED SITE. A SEDIMENT FENCE TO BE PLACED DOWNHILL OF STOCKPILE AT THE NOMINATED SITE. A SEDIMENT FENCE TO BE PLACED DOWNHILL OF STOCKPILE AT THE NOMINATED SITE. A SEDIMENT FENCE TO BE PLACED DOWNHILL OF STOCKPILE AT THE NOMINATED SITE. A SEDIMENT FENCE TO BE PLACED DOWNHILL OF STOCKPILE AT THE NOMINATED SITE. A SEDIMENT FENCE TO BE PLACED DOWNHILL OF STOCKPILE AT THE NOMINATED SITE. A SEDIMENT FENCE TO BE PLACED DOWNHILL OF STOCKPILE AT THE NORMINATED SITE. A SEDIMENT FENCE TO BE PLACED DOWNHILL OF STOCKPILE AND STABILISED AS EARLY AS POSSIBLE. THE SUPERVISING ENGINEER MAY DIRECT THE CONTRACTOR TO HAVE AREAS OF DISTURBANCE COMPLETED AND STABILISED AS THE COURSE OF THE WORKS.

 4. ALL EXISTING TREES TO BE RETAINED UNLESS SHOWN OTHERWISE ON APPROVED DRAWINGS. TREES TO BE RETAINED UNLESS SHOWN OTHERWISE ON APPROVED DRAWINGS. TREES TO BE RETAINED BARBIERS TO ALL ILLEE PITS LIKELY TO COLLECT SILT LADEN WATER, UNTIL SURROUNDING AREAS ARE PAVED OR REGRASSED, GRAVEL OR GEOTESTILLE SILT FENCE. BARBIER

- MATERIALS SUCH AS STEEL REINFORCING, FORMWORK AND SCAFFOLDING 11, WASTE MATERIALS ARE TO BE STOCKPILED OR LOADED INTO SKIP-BINS LOCATED ON
- SITE AS SHOWN ON PLAN.

 12. NO MORE THAN 150m OF TRENCHING TO BE OPEN AT ANY ONE TIME, IMMEDIATELY SILE AS SHOWN ON PLAW.

 12. NO MORE THAN 150m OF TRENCHING TO BE OPEN AT ANY ONE TIME, IMMEDIATELY AFTER TRENCH BACKFILLING, PROVIDE SANDBAGS OR SAUSAGE FILTERS ACROSS EACH TRENCH AT MAXIMUM 20m SPACINGS, FILTERS TO REMAIN IN PLACE UNTIL REVECETATION HAS OCCURRED.

 13. ALL VEHICLES LEAVING THE SITE MUST PASS OVER THE STABILISED SITE ACCESS BALLAST AREA (SIMILAR TO SD6-14) TO SHAKE OFF SITE CLAY AND SOIL, IF NECESSARY WHEELS AND AXLES ARE TO BE HOSED DOWN, BALLAST IS TO BE MAINTAINED & REPLACED AS NECESSARY DURING THE CONSTRUCTION PERIOD,

 14. THE HEAD CONTRACTOR IS TO INFORM ALL SITE STAFF AND SUB-CONTRACTORS OF THEIR OBLIGATIONS UNDER THE EXOSION AND SEDIMENT CONTROL PLAN.

 15. ANY SEDIMENT DEPOSITED ON THE PUBLIC WAY, INCLUDING FOOTPATH RESERVE AND ROAD SURFACE, IS TO BE REMOVED IMMEDIATELY.

 16. PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOTPATH AREA TO PROVIDE SAFE ACCESS FOR FEDESTIANS.

 17. CONCRETE PUMPS AND CRANES ARE TO OPERATE FROM WITHIN THE BALLAST ENTRY DRIVEWAY AREA AND ARE NOT TO OPERATE FROM THE PUBLIC ROADWAY UNLESS SPECIFIC COUNCIL PERMISSION IS OBTAINED.

 18. TRUCKS REMOVING EXCAVATED / DEMOLISHED MATERIAL SHOULD TRAVEL ON STABILISED CONSTRUCTION PETALS.

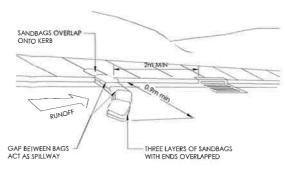
- STABILISED CONSTRUCTION PATHS, MATERIAL TO BE TAKEN TO THE TRUCK TO REDUCE
- TRUCK MOVEMENT ON SITE, TRUCKS TO BE LIMITED TO SINGLE UNIT HEAVY RIGID VEHICLES. (NO SEMITRAILERS)

 19. ANY EXCAVATION WORK ADJACENT TO ADJOINING PROPERTIES OR THE PUBLIC
- 19. ANY EXCAVATION WORK ADJACENT TO ADJOINING PROPERTIES OR THE PUBLIC ROADWAY IS NOT TO BE COMMENCED UNILL THE STRUCTURAL ENGINEER IS CONSULTED AND SPECIFIC INSTRUCTIONS RECEIVED FROM THE ENGINEER. OO, TOLLET FACILITIES MUST BE EITHER A FLUSHING TYPE OR APPROVED PORTABLE CHEMICAL CLOSET, CHEMICAL CLOSETS ARE TO BE MAINTAINED & SERVICED ON A REGULAR BASIS SO THAT OFFENSIVE ODOUR IS NOT EMITTED, 21, DURING TERNOT EXCAVATION ALL SPOIL SHALL BE MOUNDED ON THE UPHILL SIDE OF TRENCHES AND PLACEMENT IS TO COMPLY WITH THE SUPERINTENDENTS REQUIREMENT.
- REQUIREMENT,

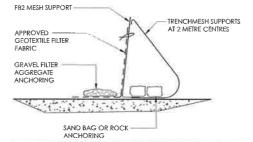
 22. DIVERSION BANKS SHOULD BE CONSTRUCTED BY MOUNDING STRIPPED TOPSOIL

 (MIN HEIGHT 600mm) WHERE DIRECTED, MATERIAL TO BE RESPREAD ON FOOTWAYS AFTER FINAL TRIMMING.
 23. UNDISTURBED BUFFER ZONE AREAS ARE CLOSED TO ALL TRAFFIC MOVEMENTS.
- UNLESS OTHERWISE NOTED BY THE SUPERINTENDENT AND ACCESS TO THE SEWER OR C.D.L. TRENCHING WILL BE AS SHOWN, OR HEAVY PERALITIES MAY BE IMPOSED.

 24. TRAFFIC MANAGEMENT MEASURES ARE REQUIRED TO BE IMPLEMENTED AND
- MAINTAINED DURING CONSTRUCTION, IN ACCORDANCE WITH 'R.T.A. TRAFFIC CONTROL AT WORK SITES - CURRENT EDITION' AND AS 1742 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 25. PEDESTRIAN CONTROL MEASURES ARE REQUIRED TO BE IMPLEMENTED AND AINTAINED DURING CONSTRUCTION, IN ACCORDANCE WITH AS 1742 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES



KERB SANDBAG SEDIMENT TRAP DETAIL



- GENERAL CONSTRUCTION NOTES:

 1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.

 2. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE
- TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER,
 JOIN SECTIONS OF FABRIC AT A SUPPORT WITH A 150mm OVERLAP, 4. REFER TO DETAIL SD 6-9 "BLUE 8OOK"
 - SILT FENCE DETAIL



- NOTES:

 1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT.

 2. FILL THE SLEEVE WITH 25mm TO 50MM GRAVEL.

 3. FORM AN ELIPTICAL CROSS SECTION ABOUT 150mm HIGH X 400mm WIDE.

 4. PLACE THE FILTER AT THE OPNEING OF THE KERB INLET LEAVING A 100MM GAP AT THE TOP TO ACT AS AN EMERGENCY SPILL WAY.

 5. MAINTAIN A CLEAR DISTANCE AWAY FROM THE PIT WITH SPACER BLOCKS.

 6. FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTEP.
- 7. FIT TO ALL KERB INLETS AS SHOWN.

KERB INLET SANDBAG SEDIMENT TRAP DETAIL



CLIENT NBRS

STATUS PRELIMINARY

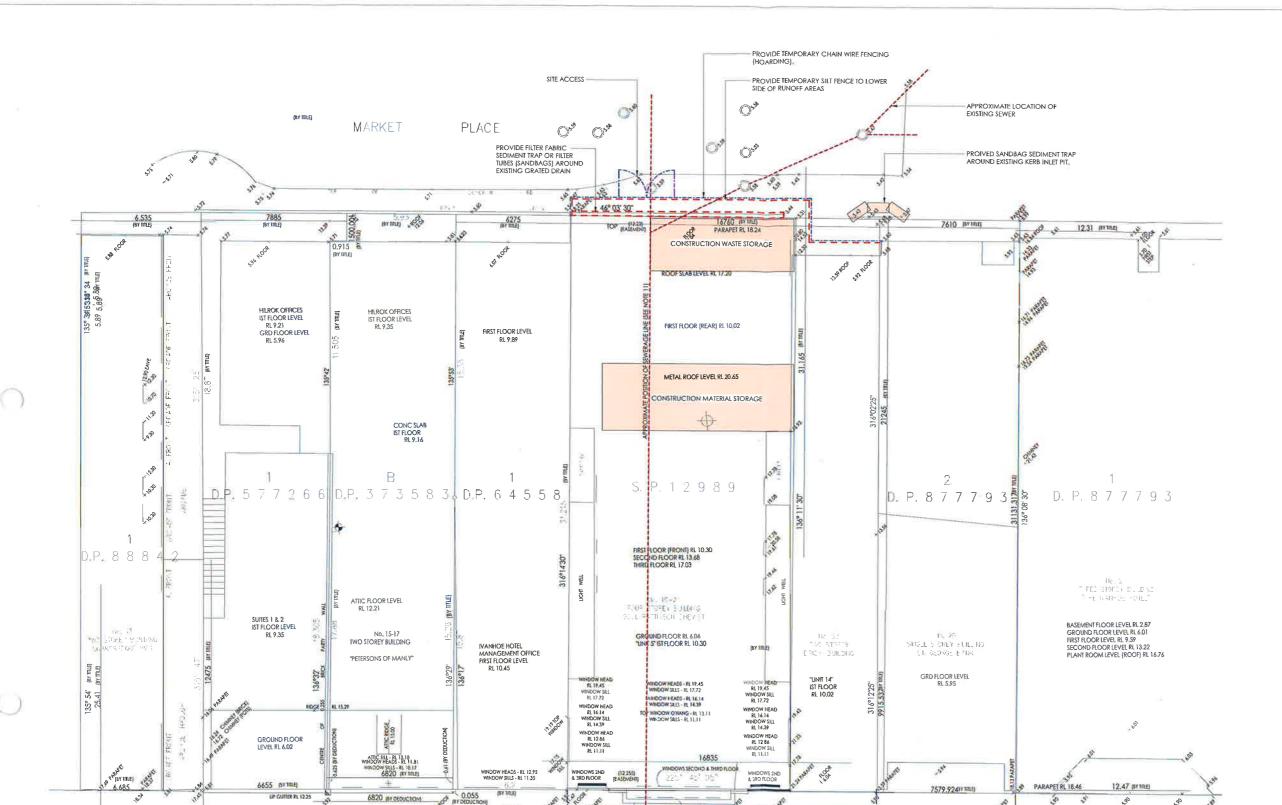
CIVIL DESIGN

NOTES, LEGEND & DETAILS

MANLY CORSO APARTMENTS **REFURBISHMENT & ADDITIONS**

ADDRESS





ESM SITE PLAN SCALE 1:100

PROIVED KERB SANDBAG SEDIMENT TRAP

THE

PROVIDE TEMPORARY CHAIN WIRE FENCING (HOARDING)



NBRS

EDRON:

PRELIMINARY

THE STATE OF THE S

CIVIL DESIGN

DRAWING TITLE ESM PLAN

PRO

MANLY CORSO APARTMENTS REFURBISHMENT & ADDITIONS

ADDRESS S.P. 12989 19-21 THE CORSO, MANLY

