

STATEMENT OF ENVIRONMENTAL EFFECTS

ALTERATIONS AND ADDITIONS 35 BORGNIS STREET, DAVIDSON

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INTRODUCTION

This Statement of Environmental Effects accompanies details prepared by Network Design, Drawing Reference No.09-20-BOR sheets 1 – 10 dated September 2020.

This statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. As a result of this assessment it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the council.

PROPERTY DESCRIPTION

The subject property is described as 35 Borgnis Street, Davidson being Lot 21 in DP 247495. The property is identified as being bushfire prone.

A bushfire assessment report by Building Code and Bushfire Hazard Solutions Reference 21036B accompanies this application. The report concludes that the property is classified as BAL29.

SITE DESCRIPTION

The site is located on the southern side of Borgnis Street towards its western end and backs onto Frenchs Forest Cemetery.

The site has a road frontage of 18.949 and depths of 43.48metres and 47.135 metres along the east and west side boundaries respectively. The rear boundary measures 27.43 metres.

The site has a calculated area of 1,027m².

Natural surface falls gently towards the street at approximately 5%.

The existing residence is a two storey brick structure with pitched tiled roofs and at its closest point (front verandah) is located 9.2 metres from the street boundary. The front yard is established with lawn and gardens. At the western end of the yard there is a driveway and entry path giving access to the front verandah and adjoining garage.

At the rear a concrete patio extends the full width of the residence returning along the western setback area. The central portion of the patio is covered with a flat metal roof and is the residences primary outdoor living space. Extending off the rear of the patio is an inground swimming pool with concrete surrounds. The remainder of the rear yard beyond the pool is established with lawn.

Along the western setback area there are several storage sheds.

The adjoining properties on both sides contain single storey brick residences and are located in the same general building zone as the subject residence.

Details of the site and surrounding area is detailed on the Survey Plan prepared by Rennie Golledge P/L and accompanies this application.



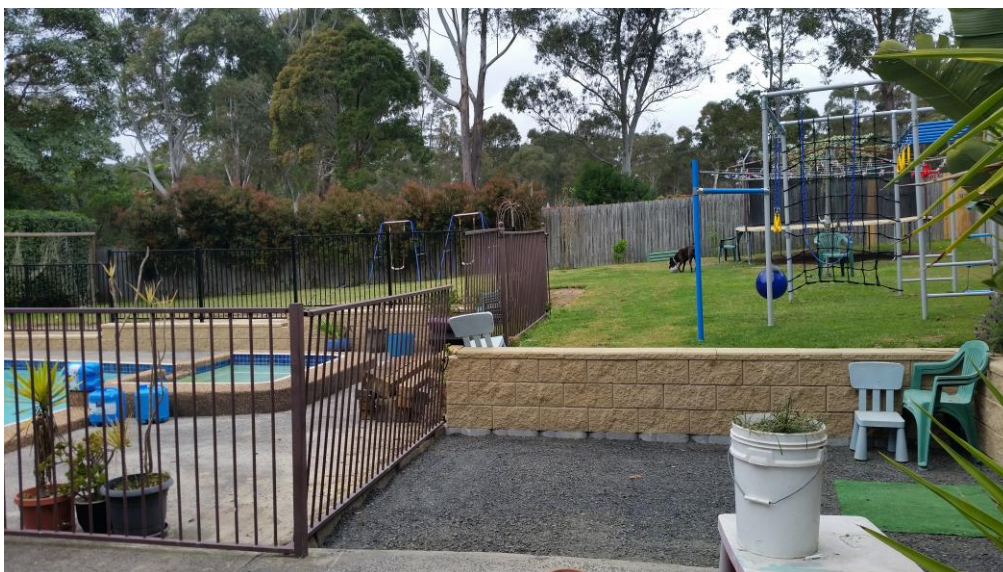
Looking at subject property and surrounding area



Looking at No.35 from Borgnis Street



Looking at rear of residence



Looking at rear yard



Looking along eastern setback area. Location of proposed addition

PROPOSED WORKS

- Construct addition along eastern side and rear of ground floor.
- Demolish brick side walls to existing covered patio area.
- Replace flat metal patio roof with new pitched roof integrated into existing residence and new addition roofing.

LEP 2011 Controls

The following principles are relevant to the consideration of the application:

2.1 Landuse

The subject allotment is zoned Residential R2 which allows for the type of development proposed under this application.

4.3 Height of Buildings

All new structure falls well below the 8.5 metre maximum building height requirement for this site.

5.9 Preservation of Trees

The proposed works will not require the removal of any trees or significant vegetation.

6.1 Acid Sulfate Soils

The site is not identified on the relevant map as being acid sulfate affected.

6.4 Development on Sloping land

The subject allotment is located within Area A of the relevant Landslip Risk Map. A Geotechnical Risk Assessment is not required for properties in this area.

WARRINGAH DCP

The following development controls are relevant to the consideration of the application:

Part B Built Form Controls

B1 Wall Heights

All new walling is single storey with the highest portion of walling approximately 3.1 metres high. The requirement for this site is 7.2 metres maximum height.

B3 Side Boundary Envelope

All new structure is contained comfortably within applicable side boundary envelopes.

B5 Side Boundary Setback

New structure adjacent the east side boundary proposes a varying setback of 900 – 1350mm. The minimum requirement for this site is 900mm.

B7 Front Boundary Setback

The new addition will be setback 11.9 metres from the front boundary. The minimum requirement for this site is 6.5 metres.

B9 Rear Boundary Setback

New structure proposes a setback of over 20 metres to the rear boundary. The minimum requirement for this site is 6 metres.

Part C Siting Factors

C3 Parking Facilities

The existing car parking arrangements on site will not alter as a result of the proposed works.

C4 Stormwater

New roofing will be connected to the existing stormwater system which discharges by gravity to Borgnis Street.

C5 Erosion and Sedimentation

The works require excavation for strip footings only. Sediment control measures will be implemented before commencement of works and left in place until completion.

C8 Demolition and Construction

Mandatory security fencing will be erected where required. There is adequate room on site to store building materials and waste until it is removed.

C9 Waste Management

The properties existing waste management facilities will not change. The property is serviced by Council's normal waste and recycling services.

Part D Design

D1 Landscaped Open Space

The development will not result in any significant loss of landscaped open space. On completion the site will have a landscape open space area of 539.4m² > 2m or 52.5% of site area. The requirement for this site is 40%.

Private Open Space

This controls requires dwellings with 2 or more bedrooms to have a minimum total open space of 35 m² > 3 metres in width. The existing rear yard alone provides over 500m² of private open space alone.

D5 Orientation and Energy Efficiency

Commitments to ensure minimisation of energy and water usage are outlined in the accompanying Basix Certificate.

D6 Access to Sunlight (Refer to Shadow Details on Sheets 8 - 10)

Apart from in the late afternoon all additional shadow will fall over the subject property. In the late afternoon shadow cast within the adjoining property No.33 will actually fall within shadow cast by the existing boundary fence.

D7 Views

New structure will not impact on any surrounding properties outlooks.

D8 Privacy

There are no windows included along the eastern side wall of the proposed addition ensuring the adjoining properties existing privacy is maintained. There are no cross-viewing opportunities from other new structure.

D9 Building bulk

New structure is single level with low pitched roofs creating minimal visual bulk. The new structure will be located approximately 3.5 metres from the adjoining properties residence maintaining satisfactory spatial separation.

D10 Building Colours and Materials

New work will be finished in colours that will match or complement the existing colour palette. Refer to accompanying Schedule of Finishes for details.

D11 Roofs

As described above the new work incorporates a low pitch colorbond metal roof. The proposed roof form will not create any undue visual bulk and will be finished in a low reflective colour.

D12 Glare and Reflection

The proposed finishes will not be highly reflective or result in significant glare. Refer to Schedule of Finishes for details.

Part E The Natural Environment

E10 Landslip Risk

Refer to Item 6.4 under LEP 2011 above for comment.

CONCLUSION

The principle objective of this development is to provide additional internal living space in the form of a new rumpus room and improved flow around the existing kitchen and adjoining living spaces.

The properties primary outdoor living space at the rear will undergo refurbishment including replacing the existing aged flat metal roof with a new raked pitch roof.

We submit that the development as described above and detailed within the accompanying drawings meets the stated objectives of Council's development controls and will maintain an acceptable level of amenity to the neighbouring properties.