

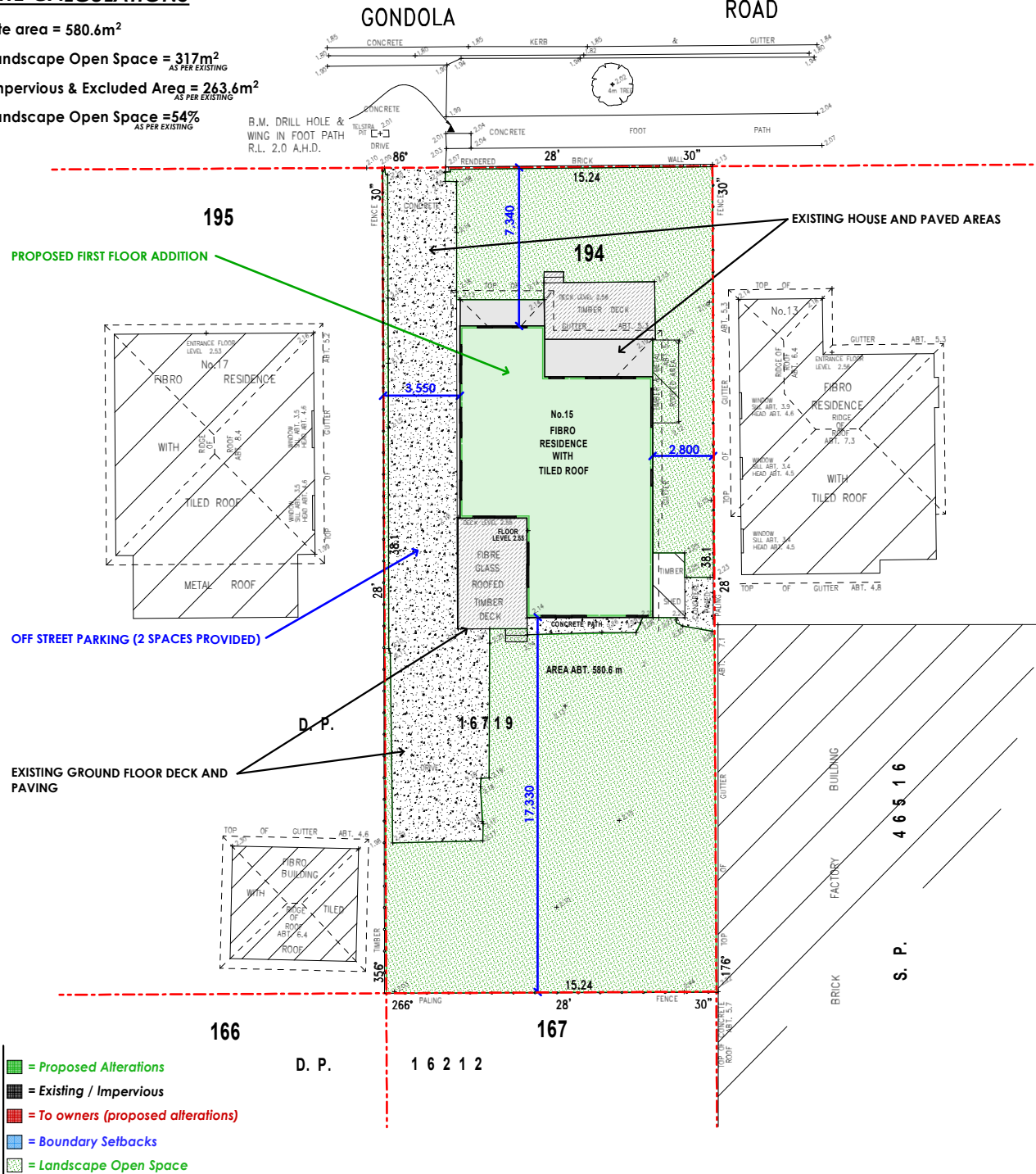
SITE CALCULATIONS

Site area = 580.6m²

Landscape Open Space = 317m²
AS PER EXISTING

Impervious & Excluded Area = 263.6m²
AS PER EXISTING

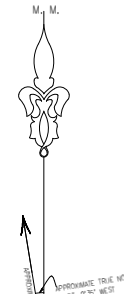
Landscape Open Space = 54%
AS PER EXISTING



STORMWATER MANAGEMENT

PROPOSED FIRST FLOOR ADDITION IS WITHIN THE EXISTING FOOTPRINT. NO INCREASE IN STORMWATER RUN-OFF WILL BE CREATED. FIRST FLOOR ADDITION TO HAVE SPREADERS ONTO LOWER ROOFS AND FLOW INTO STREET GUTTER LOCATED ALONG GONDOLA ROAD VIA THE EXISTING STORMWATER CONNECTION.

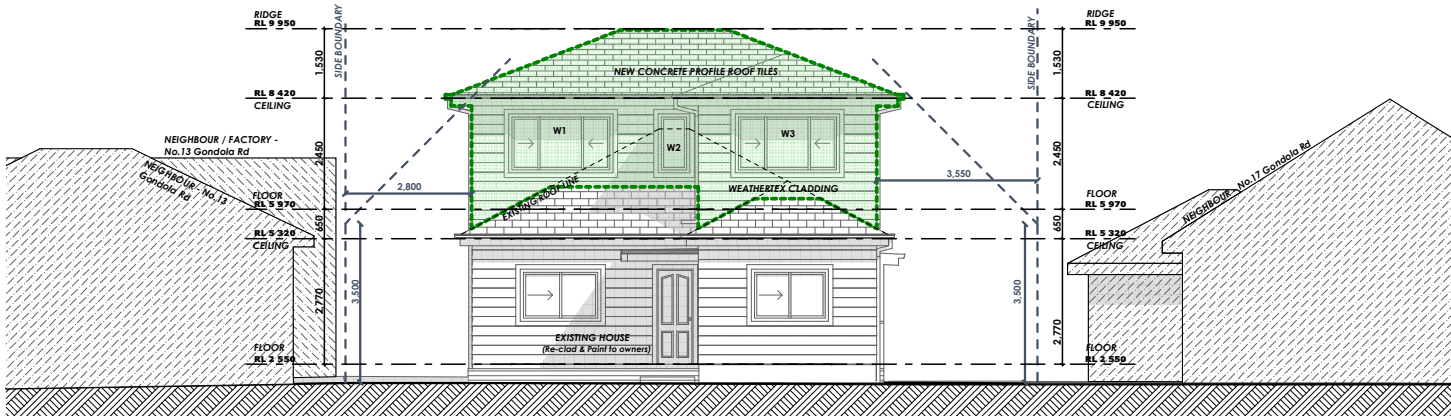
- NOTE:
1. LEVELS SHOWN THUS ARE BASED ON AUSTRALIAN HEIGHT DATUM
 2. ORIGIN OF LEVELS - FM 5315 R.L. 1.63 A.H.D. LOCATED NEAR THE INTERSECTION OF VERONA STREET AND GONDOLA ROAD
 3. LEVELS SHOWN THUS ABT. 5.3 HAVE BEEN DETERMINED BY REMOTE METHODS AND ARE ACCURATE TO +/- 100mm
 4. NO BOUNDARY INVESTIGATION HAS BEEN CARRIED OUT AND THEREFORE THIS PLAN DOES NOT DEFINE BOUNDARIES. TITLE DIMENSIONS ONLY SHOWN.
 5. DO NOT SCALE - USE FIGURED BEARINGS & DISTANCES ONLY
 6. BASIC LEVEL AND DETAIL SURVEY ONLY - UNLESS OTHERWISE SHOWN, THE POSITION OF IMPROVEMENTS ARE APPROXIMATE. THE INFORMATION SHOWN HEREON IS ONLY TO BE USED AT AN ACCURACY OF 1:100
 7. THE DIAMETER, SPREAD AND HEIGHT OF ALL TREES ARE ESTIMATES ONLY. IF THEY ARE CRITICAL TO DESIGN THEN A MORE ACCURATE SURVEY WOULD BE REQUIRED.
 8. FEATURES & LEVELS CRITICAL TO DESIGN SHOULD BE LOCATED BY A MORE ACCURATE SURVEY
 9. ALL SET OUT WITH REGARD TO LEVELS SHOULD BE REFERRED TO THE BENCH MARK
 10. NO SERVICES SEARCH HAS BEEN CARRIED OUT FOR THIS SURVEY
 11. EXISTING SERVICES MAY IMPACT ON DESIGN/CONSTRUCTION - IT IS ADVISED THAT A COMPREHENSIVE SERVICES SEARCH BE CARRIED OUT PRIOR TO COMMENCEMENT OF DESIGN/CONSTRUCTION REFER 'DIAL BEFORE YOU DIG' DETAILS ON THIS PLAN
 12. ORIGIN OF THE NORTH POINT IS D.P. 16719. THE POSITION OF TRUE NORTH IS APPROXIMATE ONLY. A MORE ACCURATE SURVEY WOULD BE REQUIRED TO DETERMINE ITS EXACT POSITION.
 13. THE SUBJECT LAND IS AFFECTED BY A COVENANT CREATED BY THE REGISTRATION OF TRANSFER NO. D18018F.



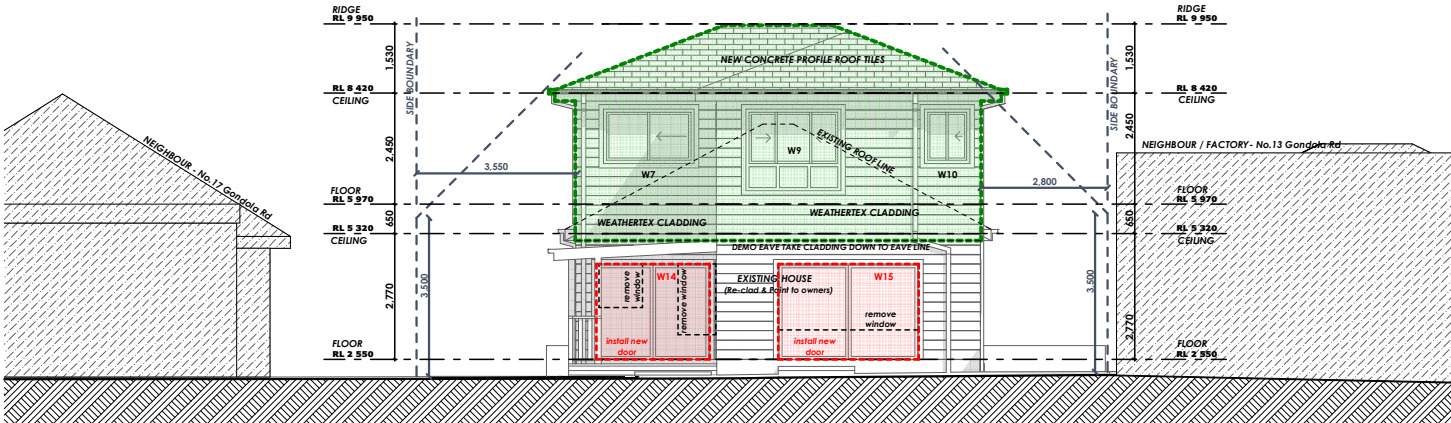
B	AMENDED FEATURES ADDED TO PLAN	28/9/17
A	INITIAL	22/9/10
DATE	DESCRIPTION	DATE
ISSUES		
BYRNE & ASSOCIATES CONSULTING SURVEYORS & ENGINEERS 63 WATERLOO STREET NARRABEEN 2501 Ph: (02) 9913 7710 Email: survey@byrnedassociates.com.au Fax: (02) 9913 1583		PTY LIMITED
LEVEL AND DETAIL SURVEY OF LOT 194 IN DEPOSITED PLAN 16719 No.15 GONDOLA ROAD, NORTH NARRABEEN		
Date of Survey	25/9/10	Prepared by
Plan No.	A1	Appr'd by
Plan No. A1 - 10297D2		Date
Rev. 1		Rev. 1

Client Name :	PHILLIP & JEMMA MARCELLINO	Drawing Title :	NOTIFICATION PLANS
Client Address :	15 GONDOLA ROAD, NORTH NARRABEEN 2501	Drawing No. :	21
Client No. :	MAR 1019 01 DA	Plot Date :	Thursday, 5 December 2019
Project Name :	First Floor Addition	PO BOX 1183 • DEE WHY 2099	TEL : 9938 5611
		FAX : 9938 5911	EMAIL : sales@yourstyle.com.au
		WEB : www.yourstyle.com.au	A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD
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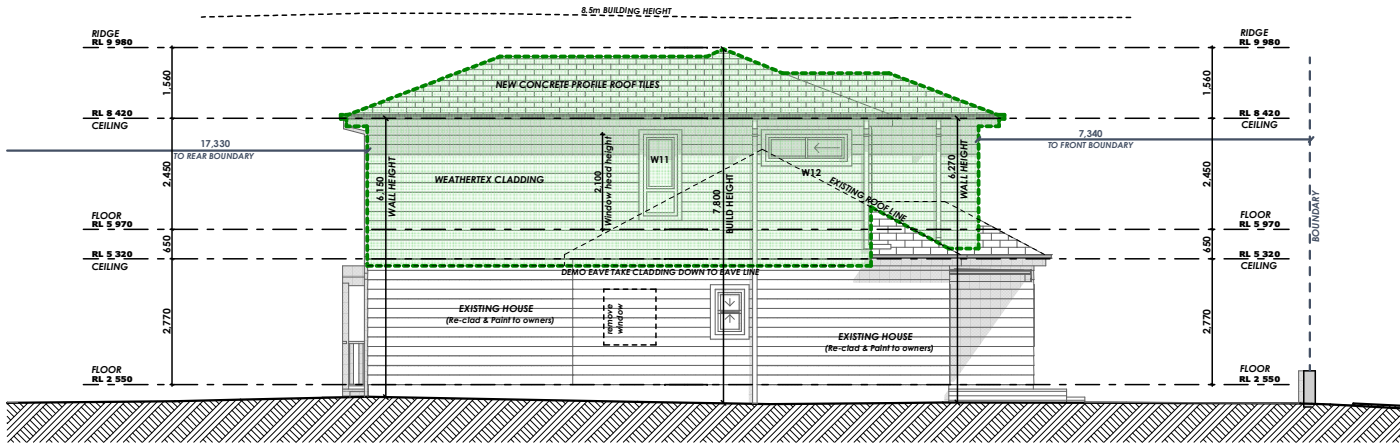
Client Name :	PHILLIP & JEMMA MARCELLINO	Drawing Title :	NOTIFICATION PLANS		
Client Address :	15 GONDOLA ROAD, NORTH NARABEEN 2401	Drawing No. :	22	DRAWINGS	
Client No. :	MAR 1019 01 DA	Plot Date :	Thursday, 5 December 2019	NOT TO SCALE	
Project Name :	First Floor Addition	PO BOX 1183 • DEE WHY 2099 TEL : 9938 5611 FAX : 9938 5911 EMAIL : sales@yourstyle.com.au WEB : www.yourstyle.com.au			ABN 92 003 918 116 • ACN 003 918 116 BUILDER LICENCE • 60007C A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD



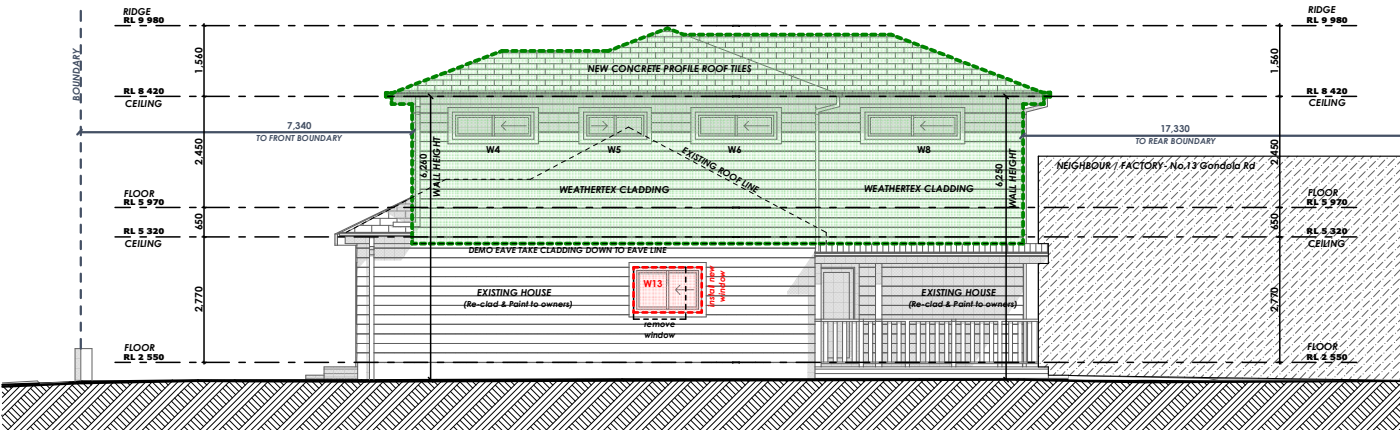
1 NORTH ELEVATION



2 SOUTH ELEVATION



3 EAST ELEVATION



4 WEST ELEVATION