

Certificate no.: 0004391890
Assessor Name: Manuel Basiri
Accreditation no.: VIC/BDAV/12/1462
Certificate date: 26 November 2019
Dwelling Address: 22 Monserra Road
Allambie Heights, NSW
2100
www.nathers.gov.au



1 3D View 1



2 3D View 2

NOT FOR CONSTRUCTION
DO NOT SCALE FROM PLANS
CONFIRM ALL DIMENSION ON SITE

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Rev	Description & Purpose of Issue	Date

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e amanda@dellviewdesign.com
a 5 Lockyer Street, Merewether NSW
m 0429 797 718

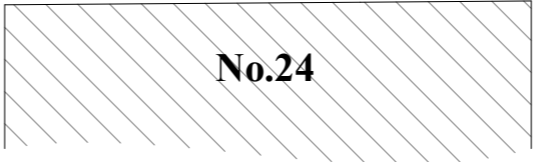
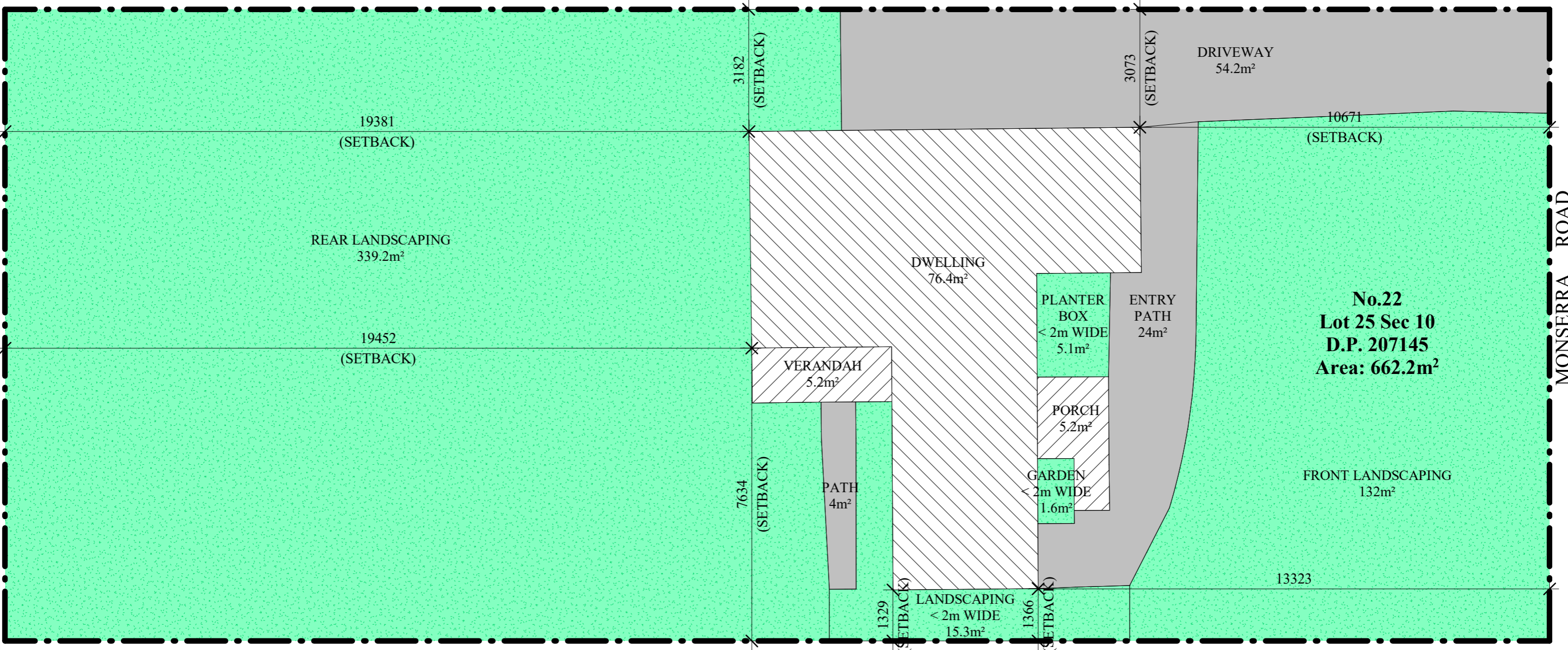
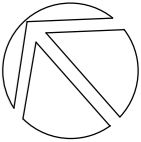
Scale	Date
	25.10.2019
Drawn	Approved
AM	
Council	Client
Northern Beaches	Feng Zhang

Project Address
22 Monserra Road, Allambie Heights

Title
Perspective View
Revision
A
Sheet
A00



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1

Existing Site Plan

1 : 100

SITE CALCULATIONS	
DWELLING	76.4m²
PORCH	5.2m²
DRIVEWAY	54.2m²
FRONT LANDSCAPING	132m²
ENTRY PATH	24m²
PLANTER BOX < 2m WIDE	5.1m²
GARDEN < 2m WIDE	1.6m²
LANDSCAPING < 2m WIDE	15.3m²
PATH	4m²
VERANDAH	5.2m²
REAR LANDSCAPINNG	339.2m²
TOTAL	662.2m²

LANDSCAPING	
FRONT LANDSCAPING	132m²
REAR LANDSCAPING	339.2m²
TOTAL	471.2m²
PERCENTAGE REQUIRED	40%
TOTAL REQUIRED	264.88m²
COMPLIANT	Yes

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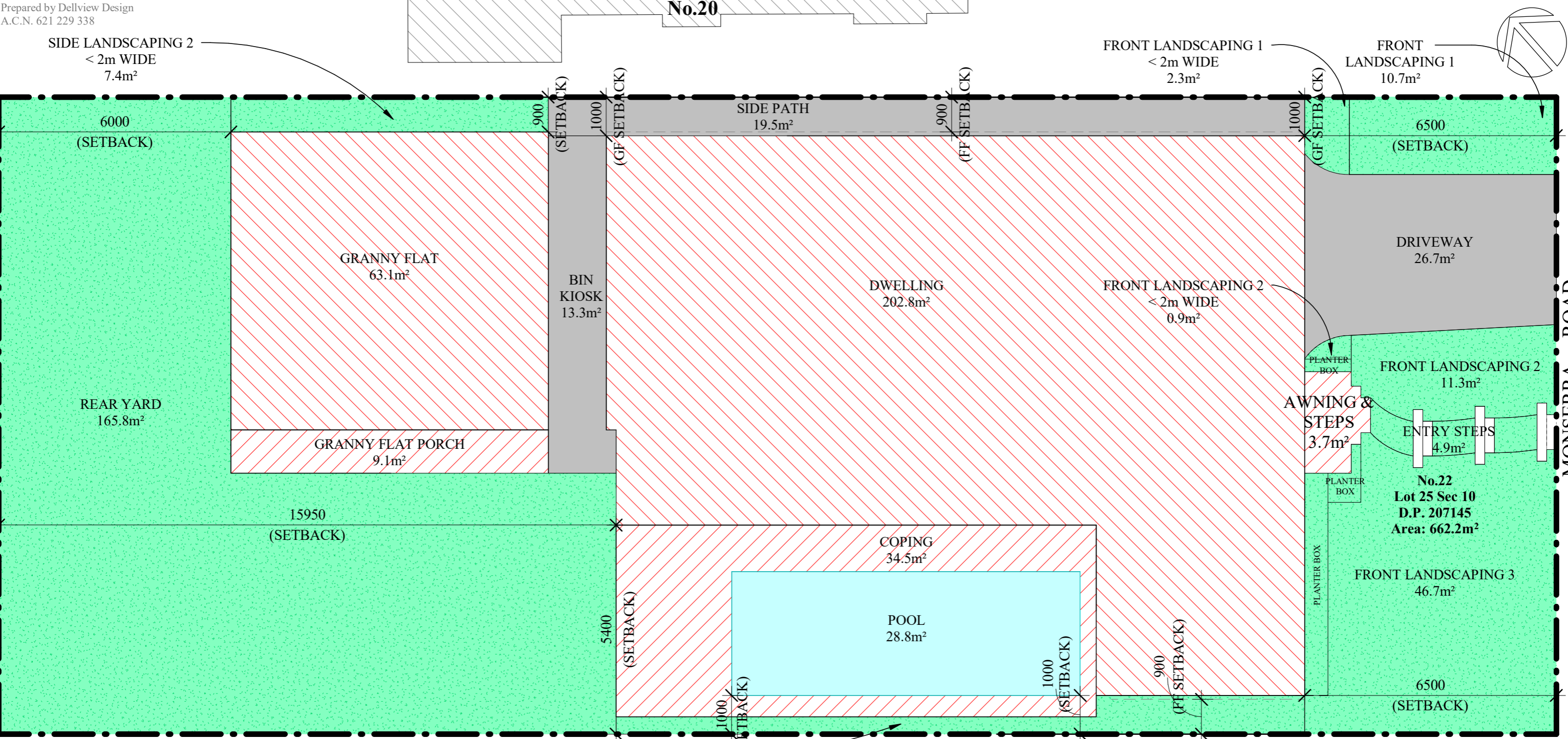
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Council	Northern Beaches	Client	Feng Zhang

Project Address	22 Monserra Road, Allambie Heights
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Title	Existing Site Plan
Revision	A
Sheet	A01





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Council	Northern Beaches	Client	Feng Zhang

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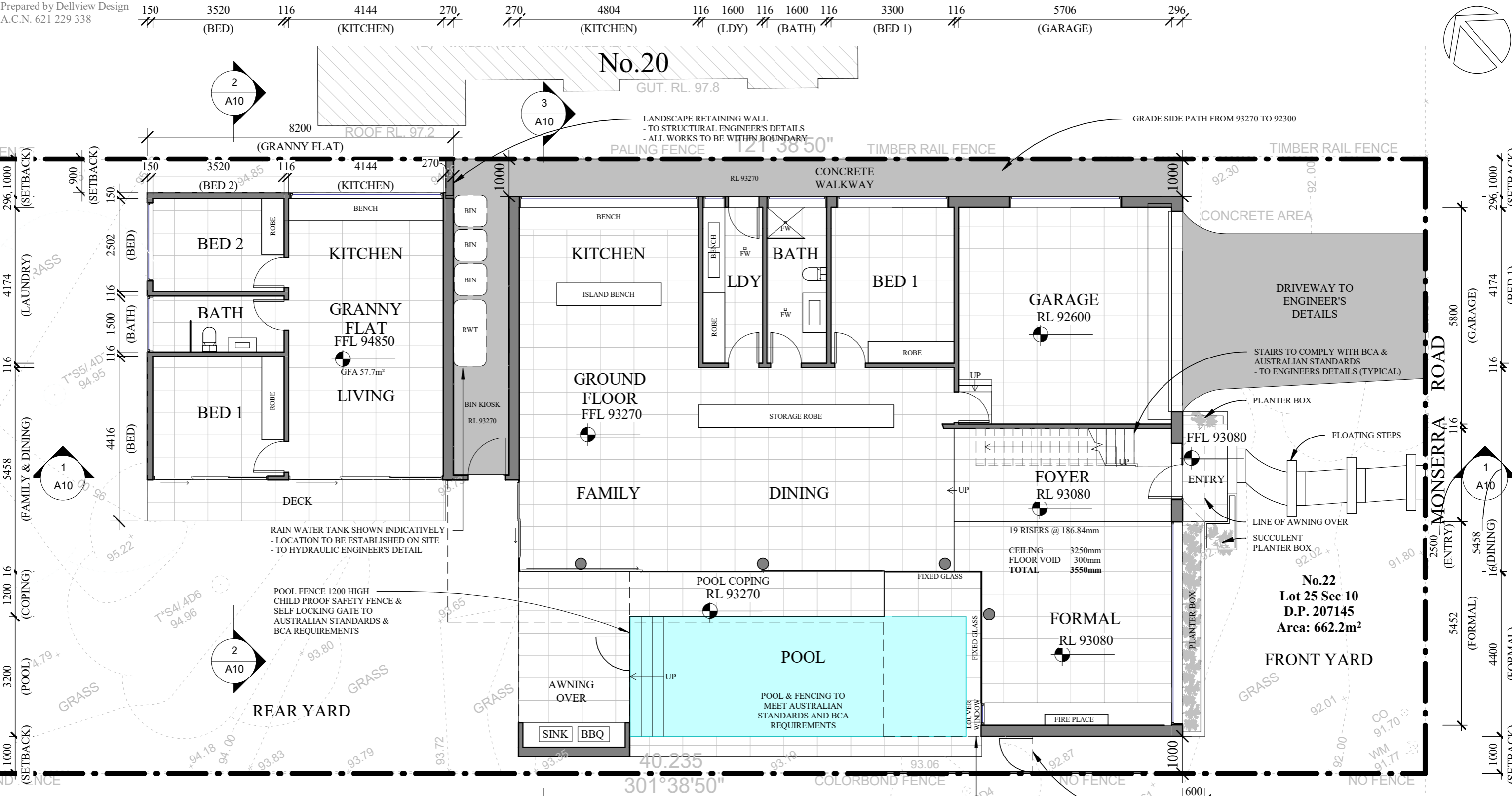
Title	Proposed Site Plan	Revision	A
		Sheet	A02

1 Proposed Site Plan

1 : 100

SITE CALCULATIONS	
DWELLING	202.8m ²
AWNING & STEPS	3.7m ²
DRIVEWAY	26.7m ²
FRONT LANDSCAPING 1 < 2m WIDE	2.3m ²
FRONT LANDSCAPING 2 < 2m WIDE	0.9m ²
FRONT LANDSCAPING 1	10.7m ²
FRONT LANDSCAPING 2	11.3m ²
FRONT LANDSCAPING 3	46.7m ²
ENTRY STEPS	4.9m ²
SIDE PATH	19.5m ²
SIDE LANDSCAPING < 2m WIDE	10.7m ²
POOL	28.8m ²
COPING	34.5m ²
BIN KIOSK	13.3m ²
GRANNY FLAT	63.1m ²
GRANNY FLAT PORCH	9.1m ²
SIDE LANDSCAPING 2 < 2m WIDE	7.4m ²
REAR LANDSCAPINNG	165.8m ²
TOTAL	662.2m ²

LANDSCAPING	
FRONT LANDSCAPING 1	10.7m ²
FRONT LANDSCAPING 2	11.3m ²
FRONT LANDSCAPING 3	46.7m ²
REAR LANDSCAPING	165.8m ²
POOL	28.8m ²
TOTAL PERCENTAGE	263.3m ² 39.7%
PERCENTAGE REQUIRED	40%
TOTAL REQUIRED	264.88m ²
COMPLIANT	No



1 Proposed Ground Floor Plan
1 : 100

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Council	Northern Beaches	Client	Feng Zhang

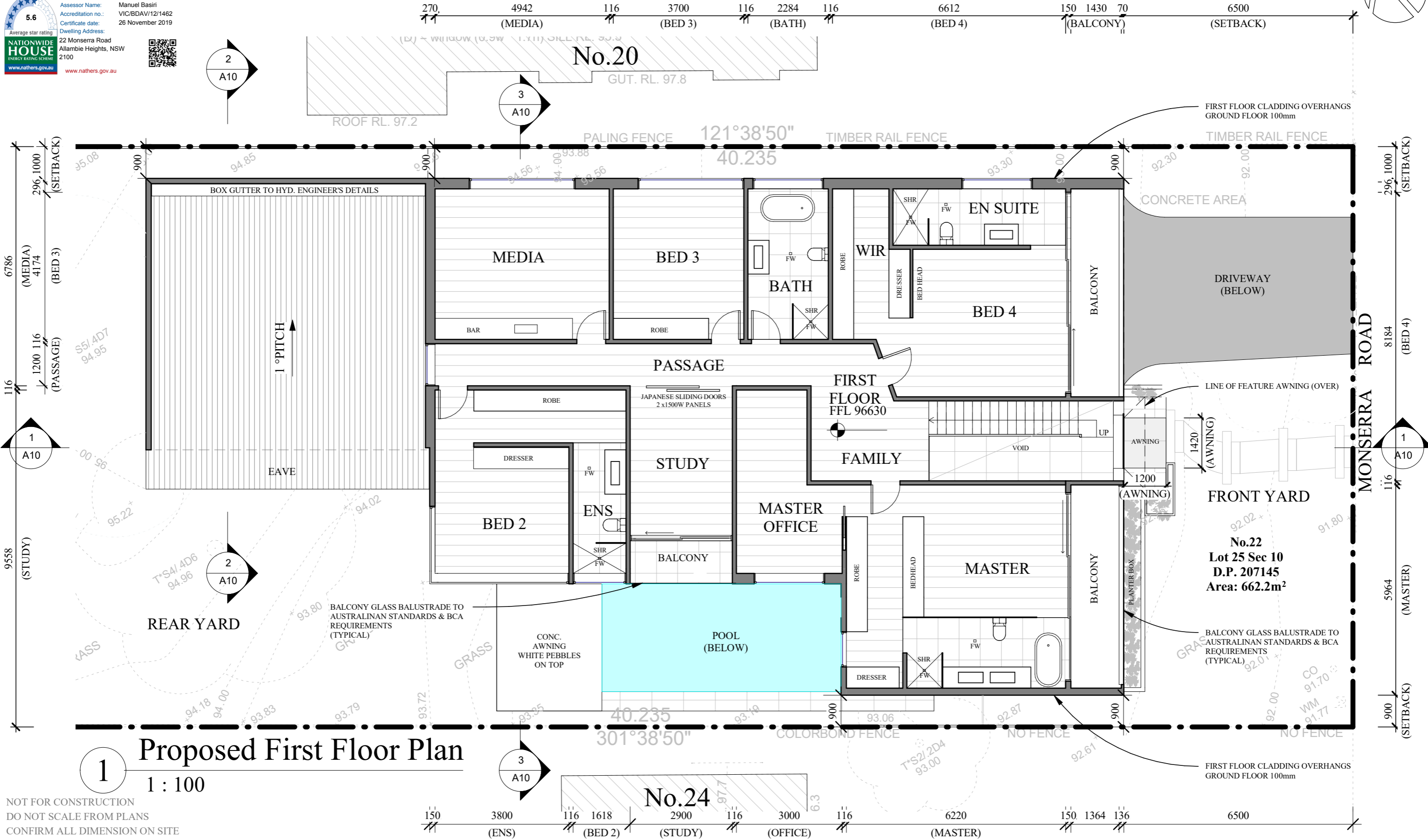
Project Address
22 Monserra Road,
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Title
Proposed Ground Floor
Plan

Revision
A
Sheet
A03

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Dwelling Address: 22 Monserra Road Allambie Heights, NSW 2100
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5.6
Average star rating
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
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Council	Northern Beaches	Client	Feng Zhang

Project Address
22 Monserra Road,
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Title
Proposed First Floor Plan

Revision	A
Sheet	A04



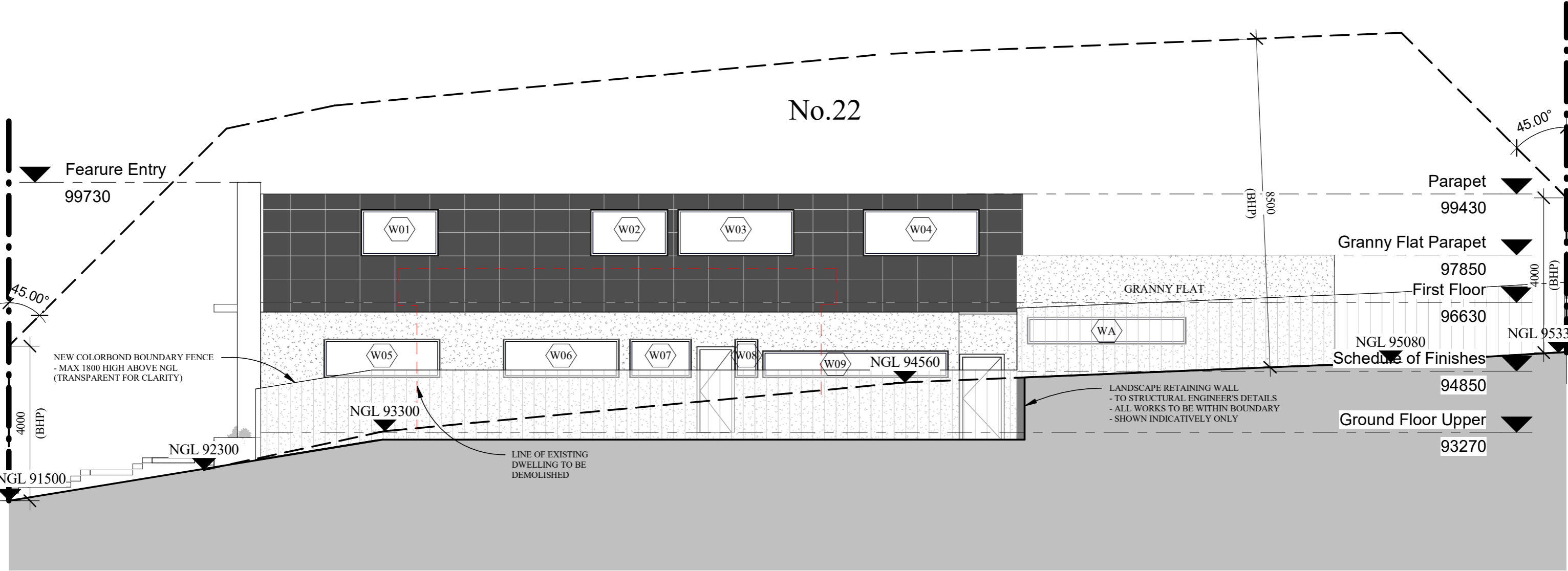
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Drawn AM	Approved
Council Northern Beaches	Client Feng Zhang

Project Address

22 Monserra Road,
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Title	Revision
	A
Proposed Roof Plan	Sheet
	A05



1 Proposed North Elevation
1 : 100

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5.6

Average star rating

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Assessor Name: Manuel Basiri

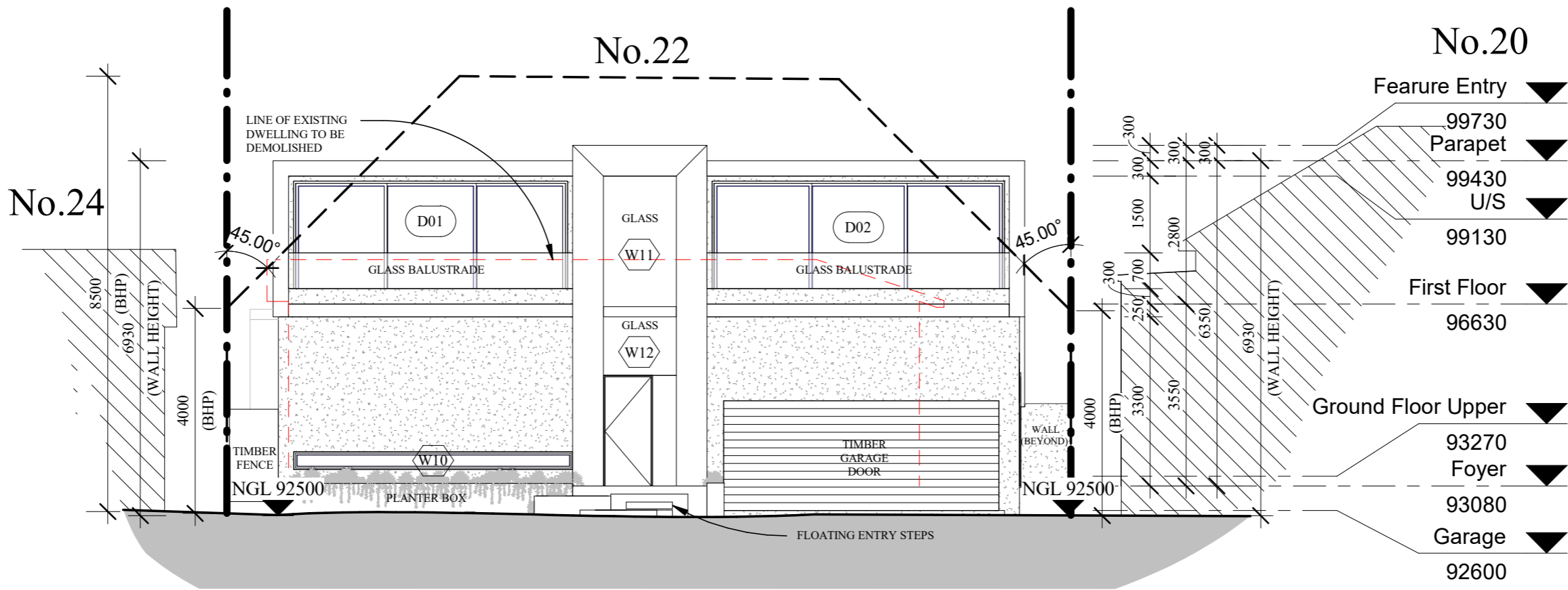
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<table><tr><td>A</td><td>Lodged for DA Approval</td><td>26.11.2019</td></tr><tr><td>Rev</td><td>Description & Purpose of Issue</td><td>Date</td></tr></table>			A	Lodged for DA Approval				26.11.2019	Rev	Description & Purpose of Issue
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Rev	Description & Purpose of Issue	Date								



1 Proposed East Elevation

1 : 100

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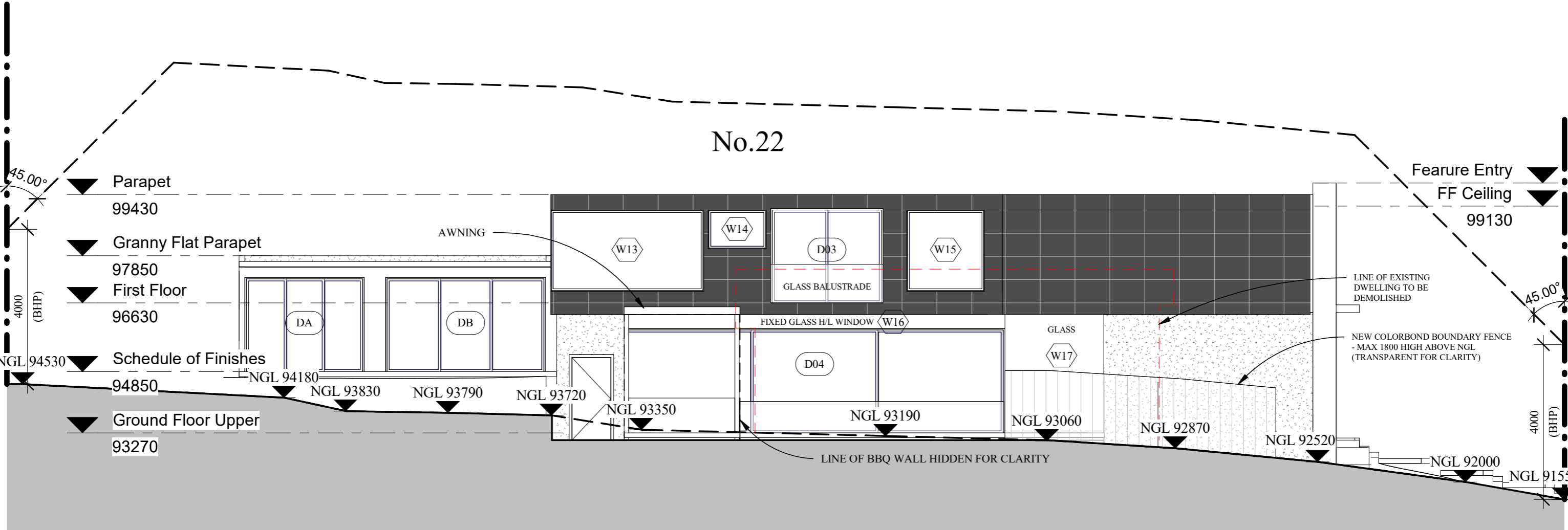


5.6
Average star rating

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Rev	Description & Purpose of Issue	Date							



1 Proposed South Elevation
1 : 100

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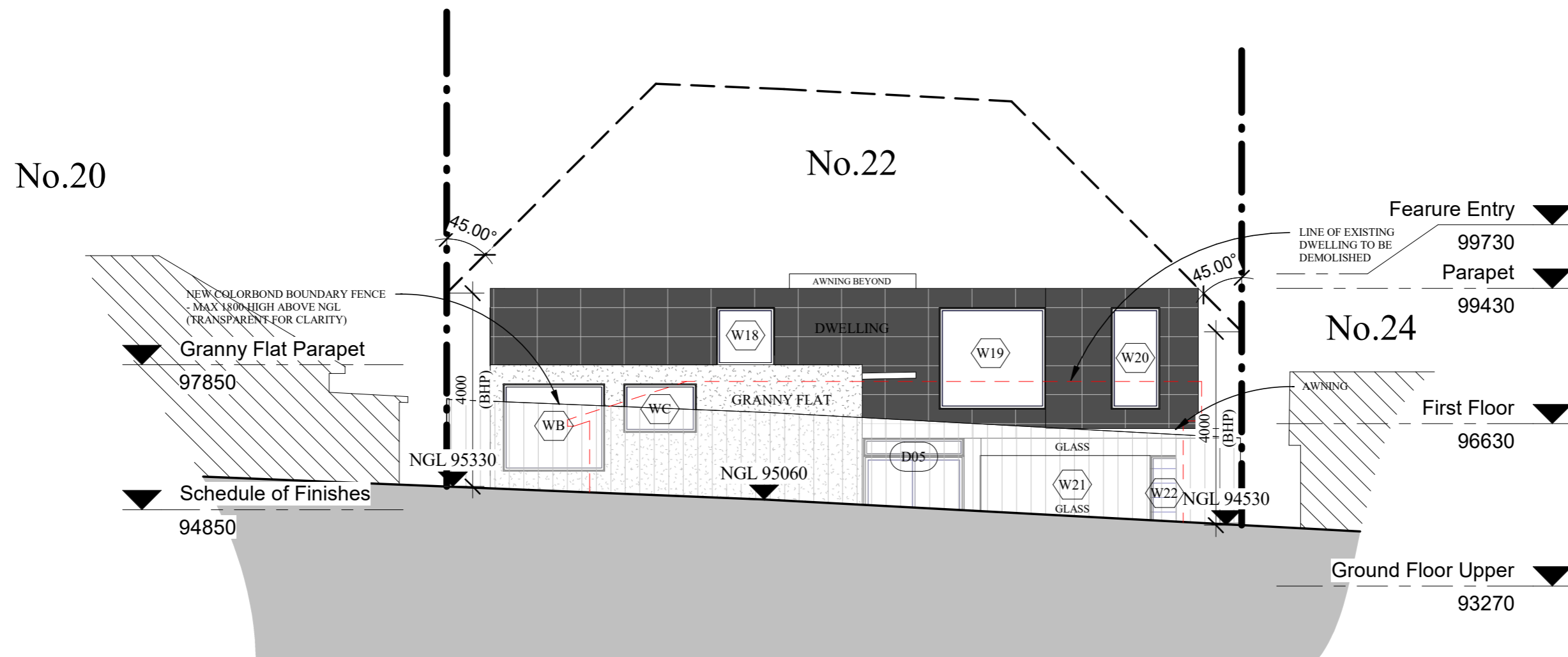
Average star rating
5.6

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<div>A</div> <div>Lodged for DA Approval</div> <div>26.11.2019</div>		<div>Drawn</div> <div>AM</div>	<div>Approved</div>	<div>Sheet</div> <div>A08</div>					
<div>Rev</div>	<div>Description & Purpose of Issue</div>		<div>Date</div>	<div>Client</div> <div>Feng Zhang</div>					

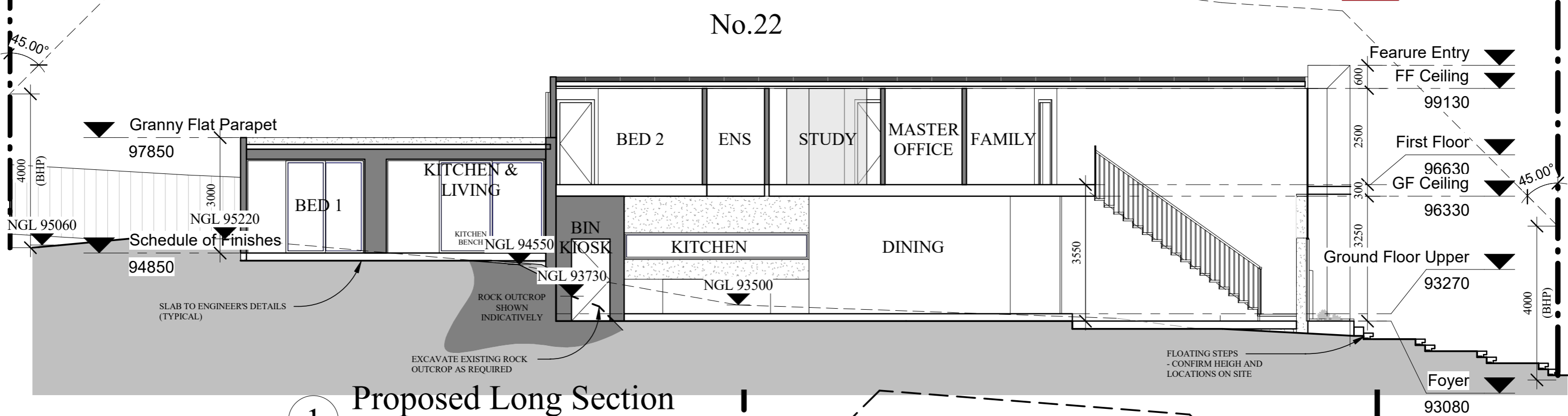


1 Proposed West Elevation
1 : 100

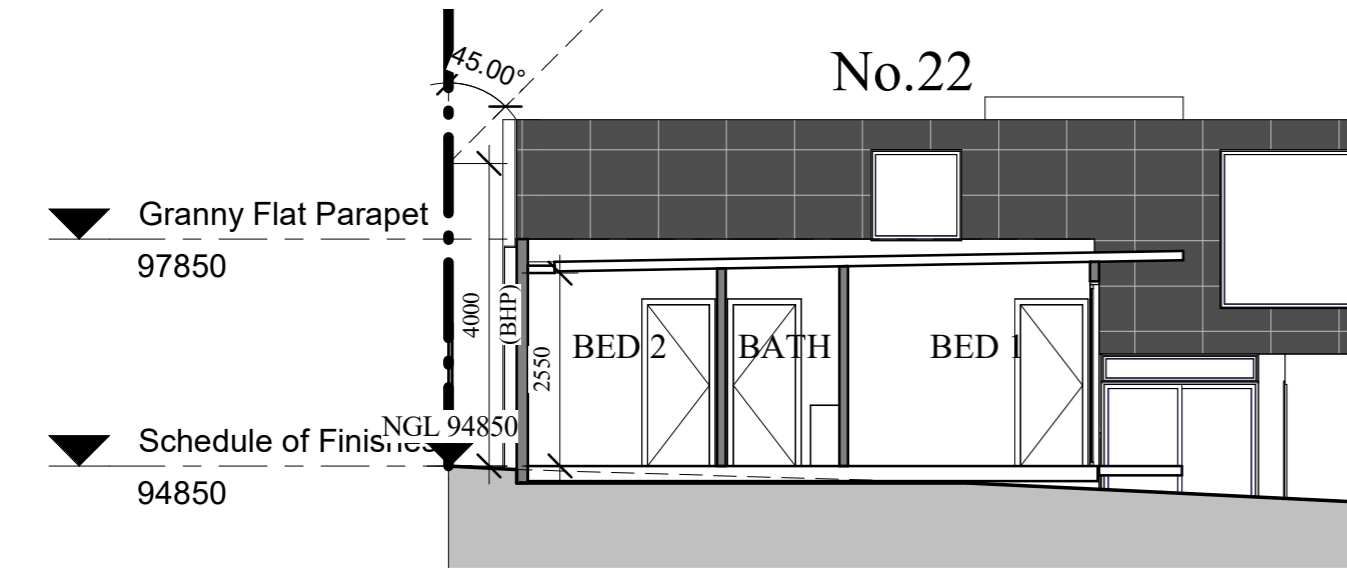
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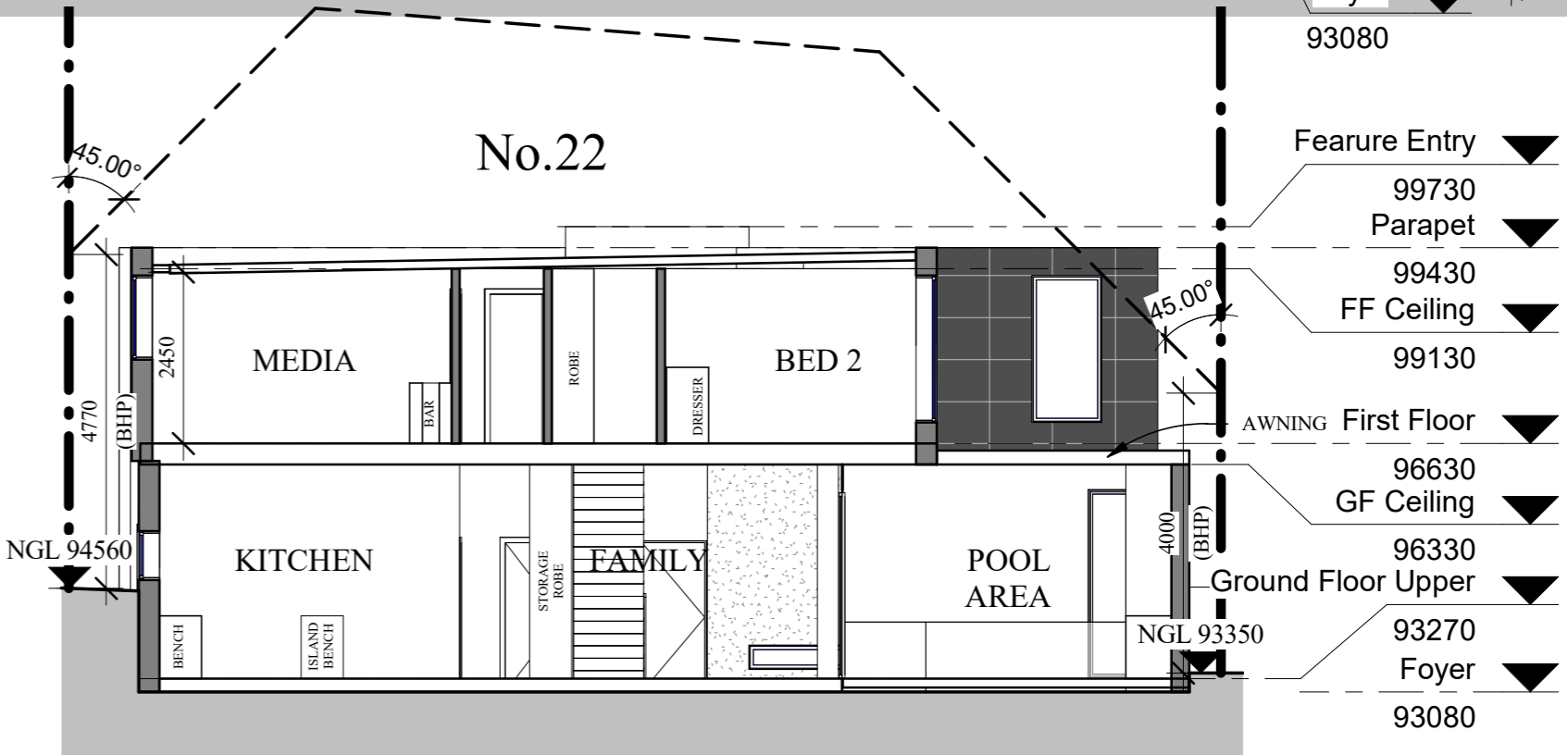
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A	Lodged for DA Approval	26.11.2019	<div>Drawn</div> <div>AM</div>	<div>Approved</div>			<div>Sheet</div> <div>A09</div>	
Rev	Description & Purpose of Issue	Date	<div>Council</div> <div>Northern Beaches</div>	<div>Client</div> <div>Feng Zhang</div>				



1 Proposed Long Section
1 : 100



2 Prop. Granny Flat Section
1 : 100



3 Proposed Short Section
1 : 100

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Drawn	AM	Approved	
Council	Northern Beaches	Client	Feng Zhang

Project Address	22 Monserra Road, Allambie Heights
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Title	Proposed Long, Short & Granny Flat Section
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Revision	A
Sheet	A10

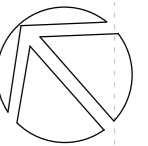


BAMBOO SCREENING

GUT. RL. 97.8



VIBURNUM —



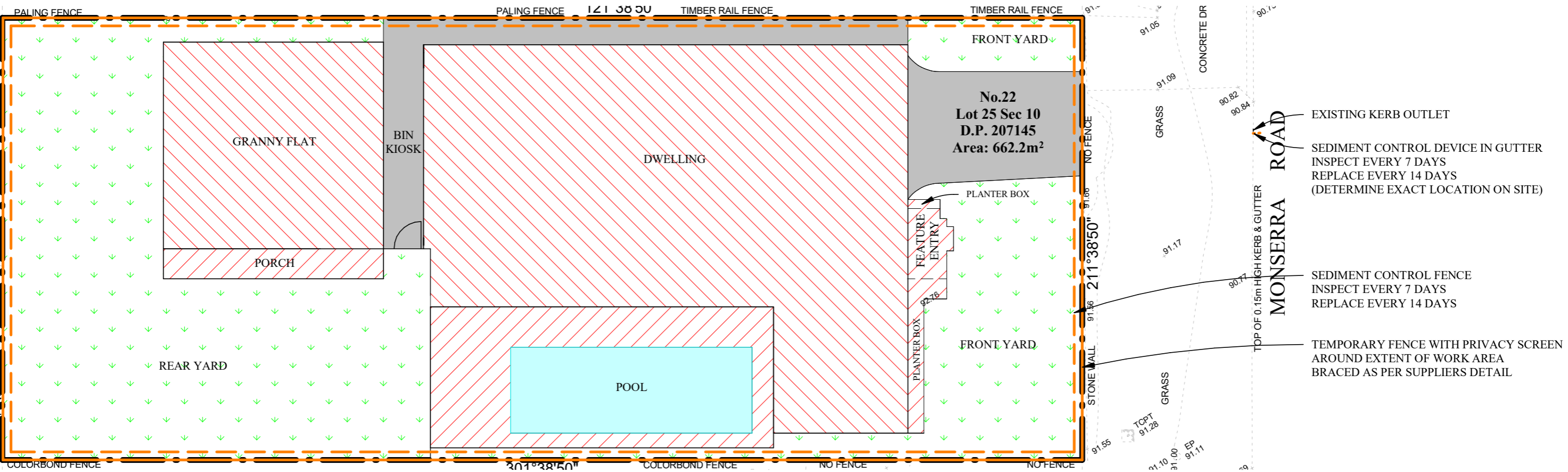
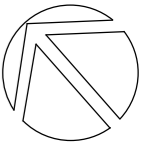
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VIBURNUM —

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A11

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Rev	Description & Purpose of Issue	Date



1 Sediment & Erosion Control
1 : 150

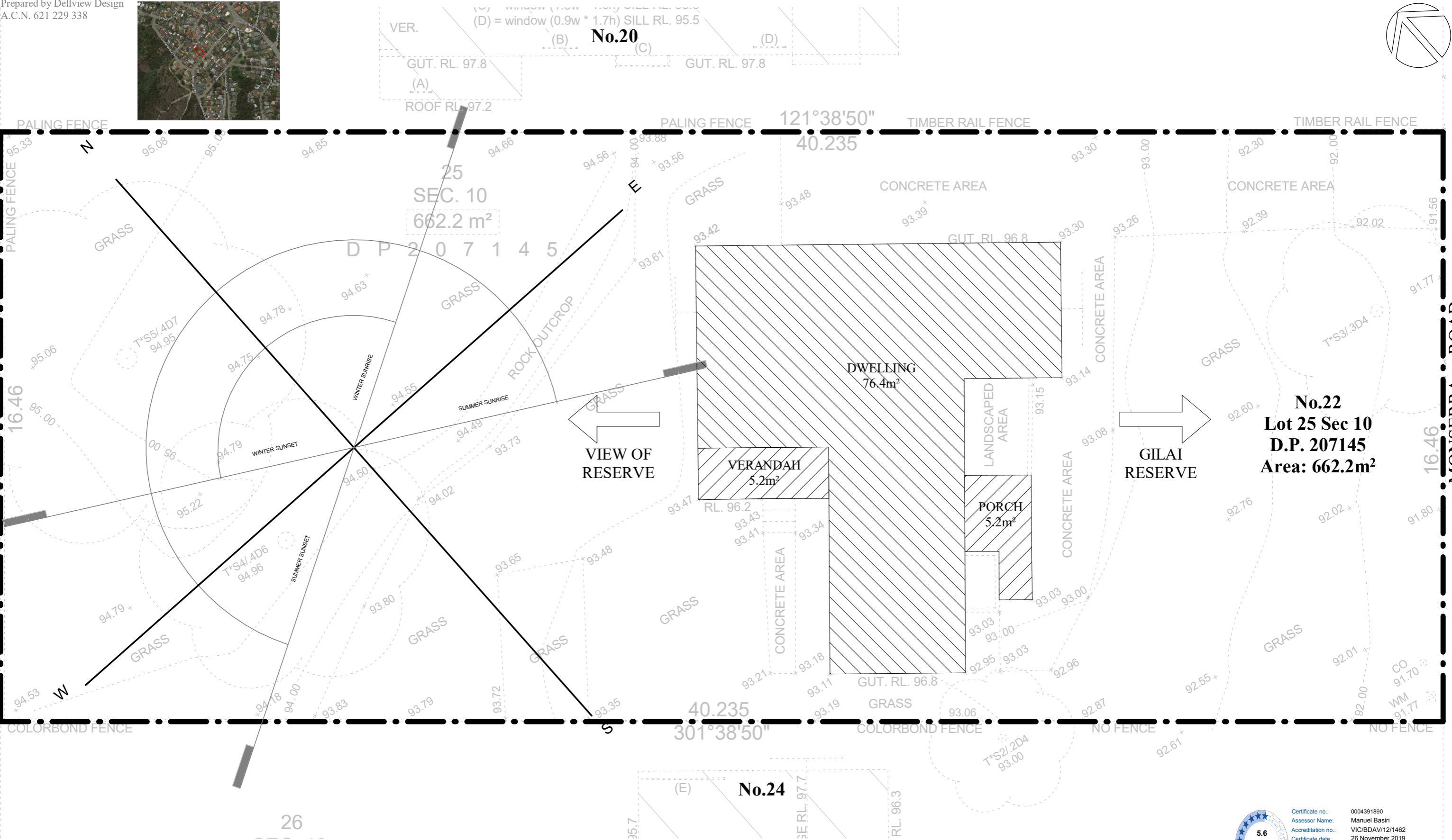
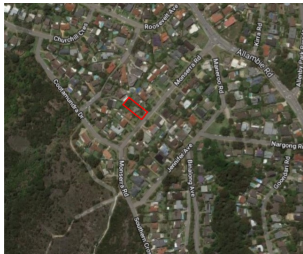
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5.6
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					<p>Drawn</p> <p>AM</p>	<p>Approved</p>				
					<p>Council</p> <p>Northern Beaches</p>	<p>Client</p> <p>Feng Zhang</p>				
										<p>Sheet</p> <p>A12</p>
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Site Analysis Plan

1 : 100

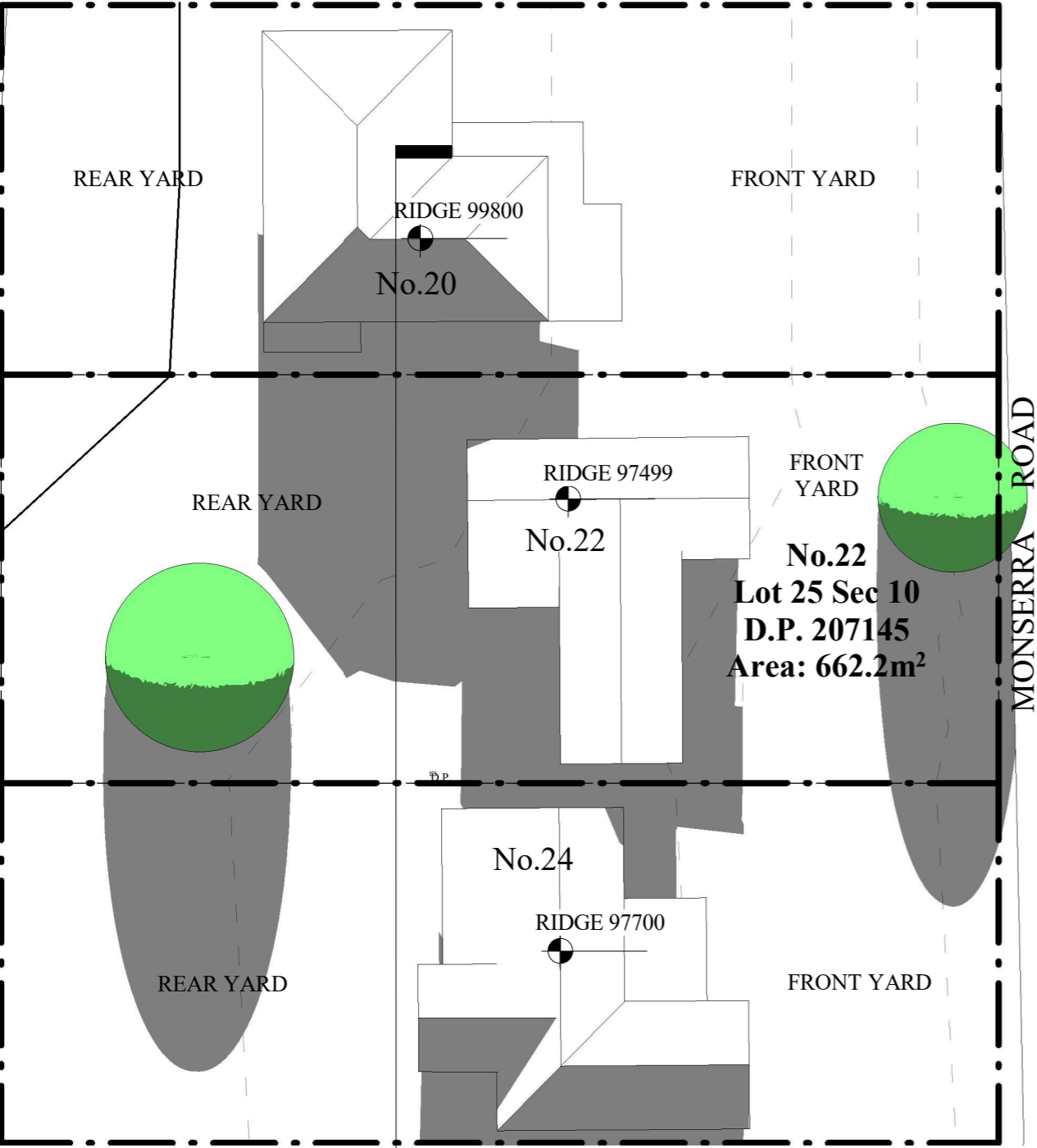
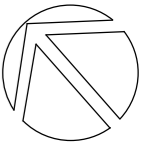


Average star rating
5.6

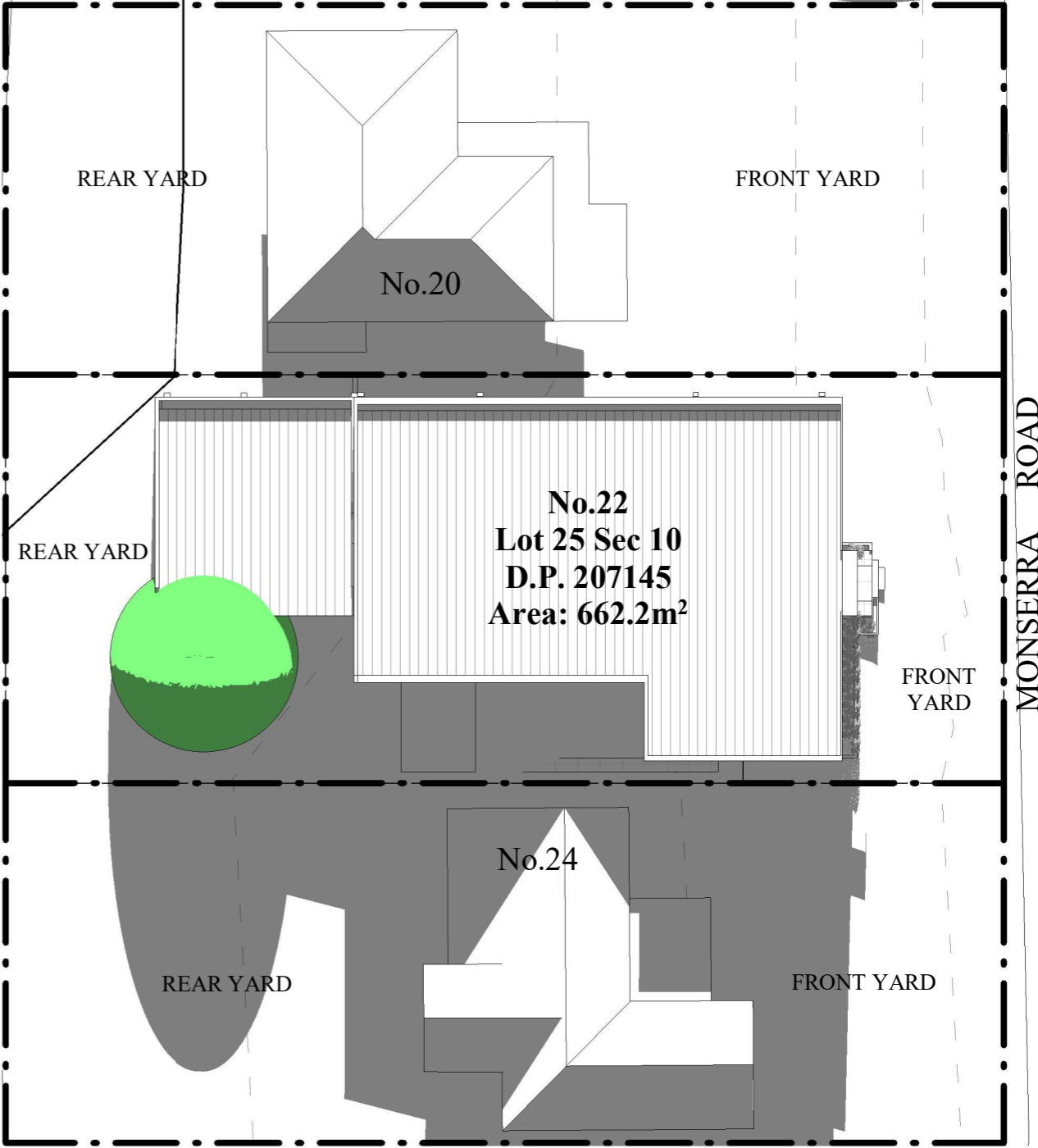
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Scale	1 : 100	Date	25.10.2019																	
Drawn	AM	Approved																		
Council	Northern Beaches	Client	Feng Zhang																	
A	Lodged for DA Approval	26.11.2019																		
Rev	Description & Purpose of Issue	Date																		



1 Existing Shadow Diagram 9am
1 : 250



2 Proposed Shadow Diagram 9am
1 : 250

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CONFIRM ALL DIMENSION ON SITE



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Rev	Description & Purpose of Issue	Date

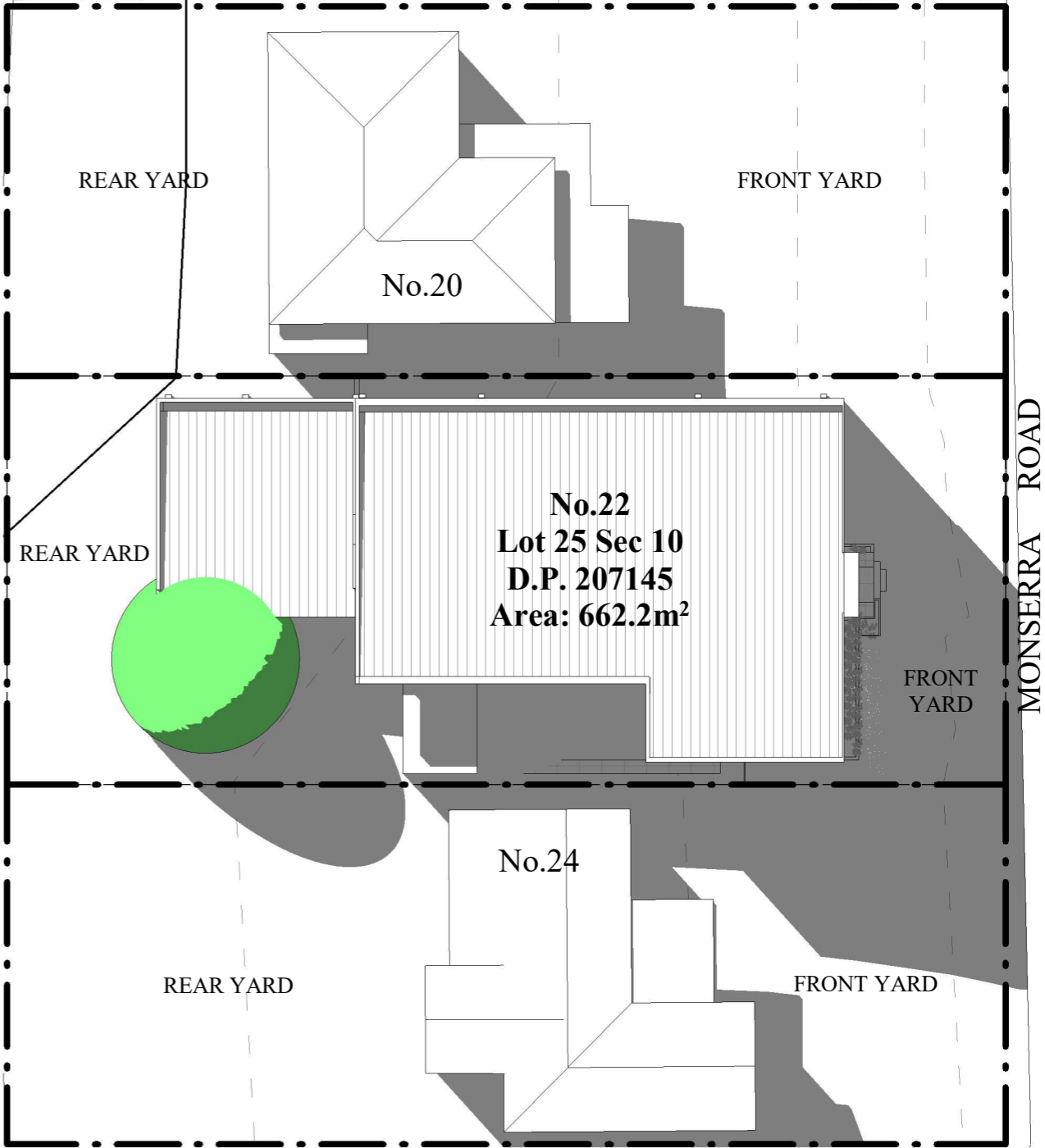
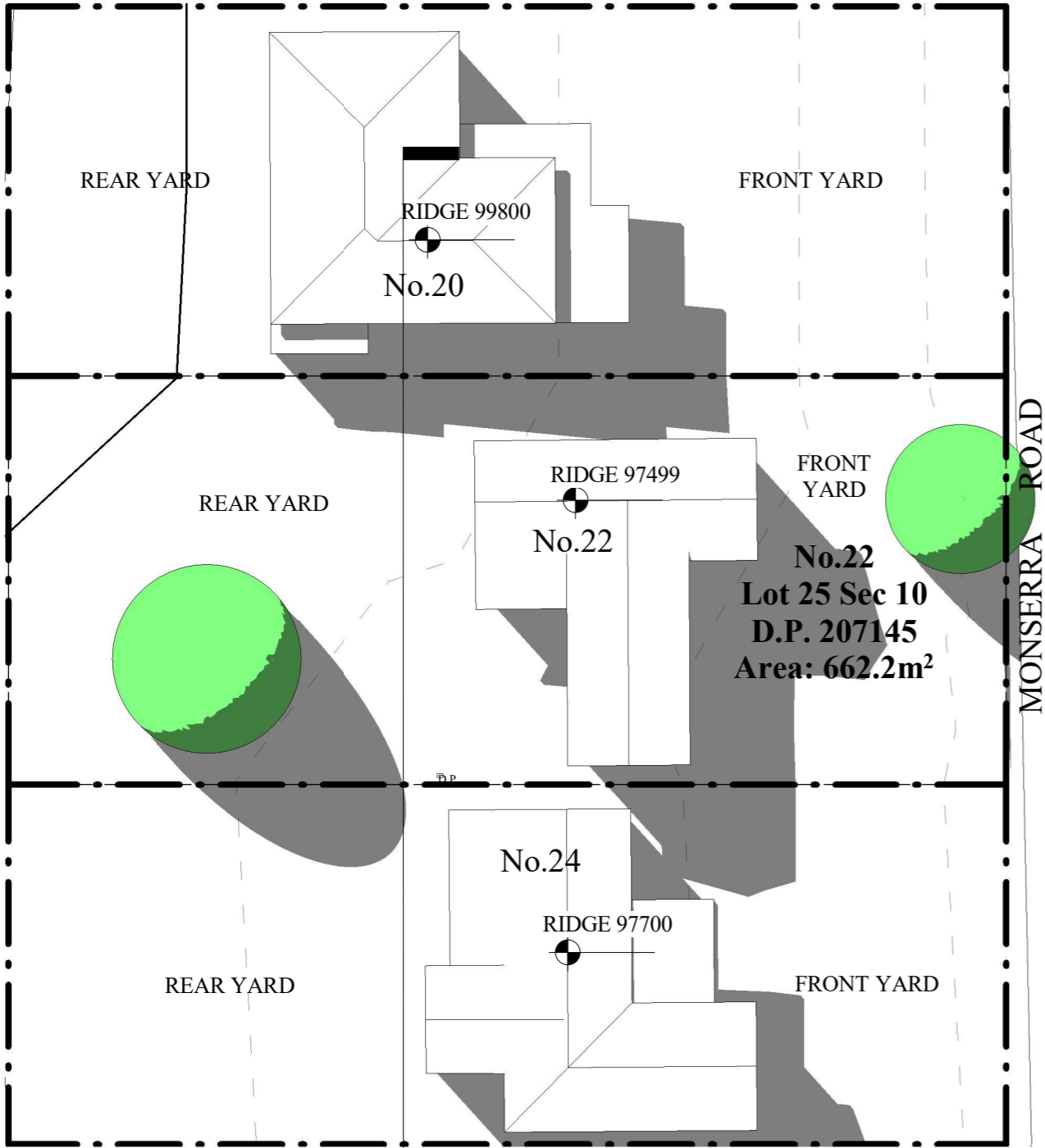
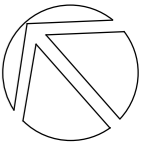
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Drawn	AM	Approved	
Council	Northern Beaches	Client	Feng Zhang

Project Address	22 Monserra Road, Allambie Heights
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Title	Existing & Proposed Shadows 9am 21.06.2019
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Revision	A
Sheet	A14



1 Existing Shadow Diagram 12pm
1 : 250

2 Proposed Shadow Diagram 12pm
1 : 250

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Certificate no.: 0004391890
Assessor Name: Manuel Basiri
Accreditation no.: VIC/BDV/12/1462
Certificate date: 26 November 2019
Dwelling Address: 22 Monserra Road, Allambie Heights, NSW 2100

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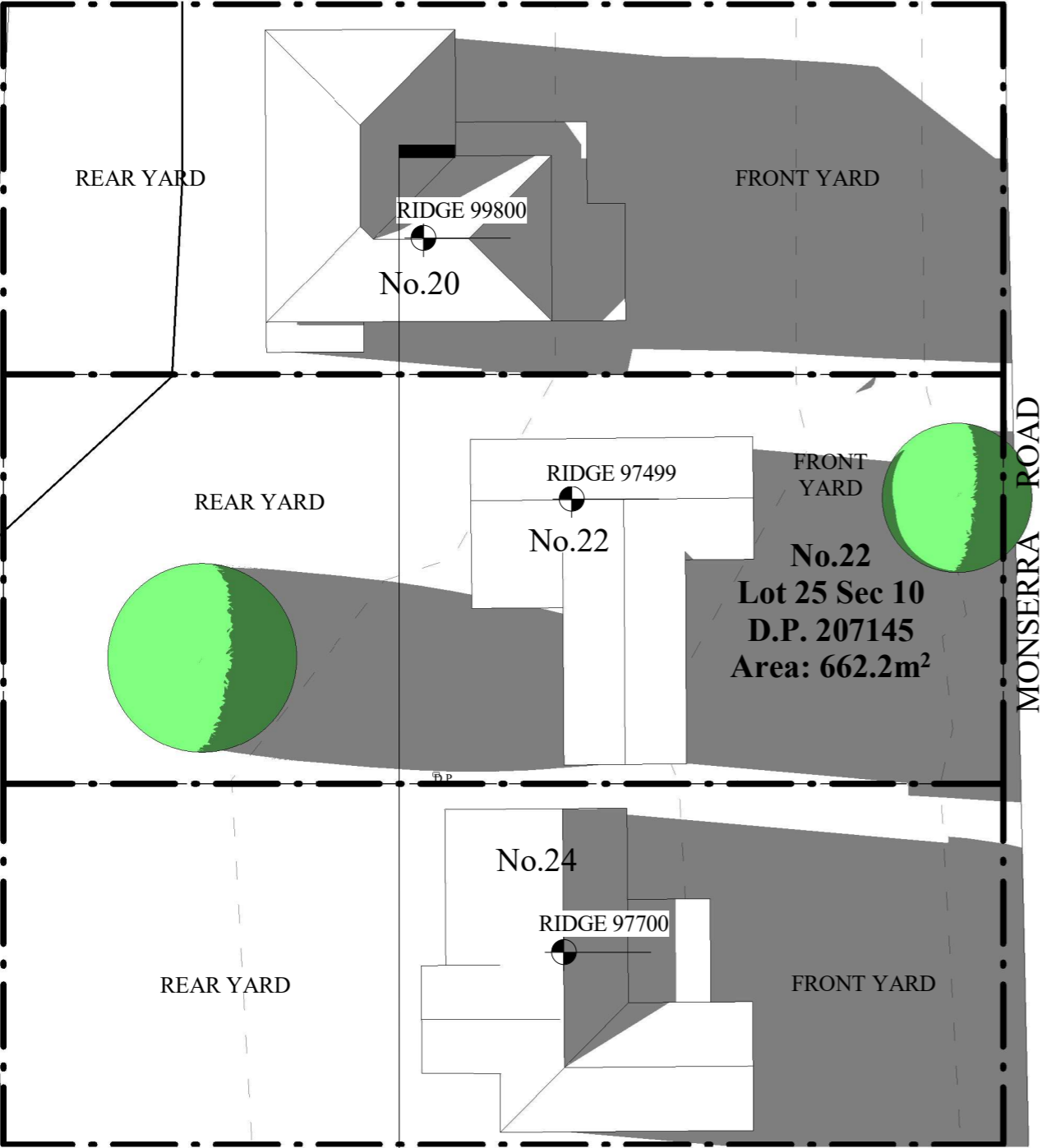
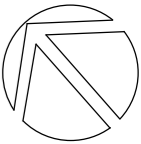
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Scale 1 : 250	Date 25.10.2019
Drawn AM	Approved
Council Northern Beaches	Client Feng Zhang

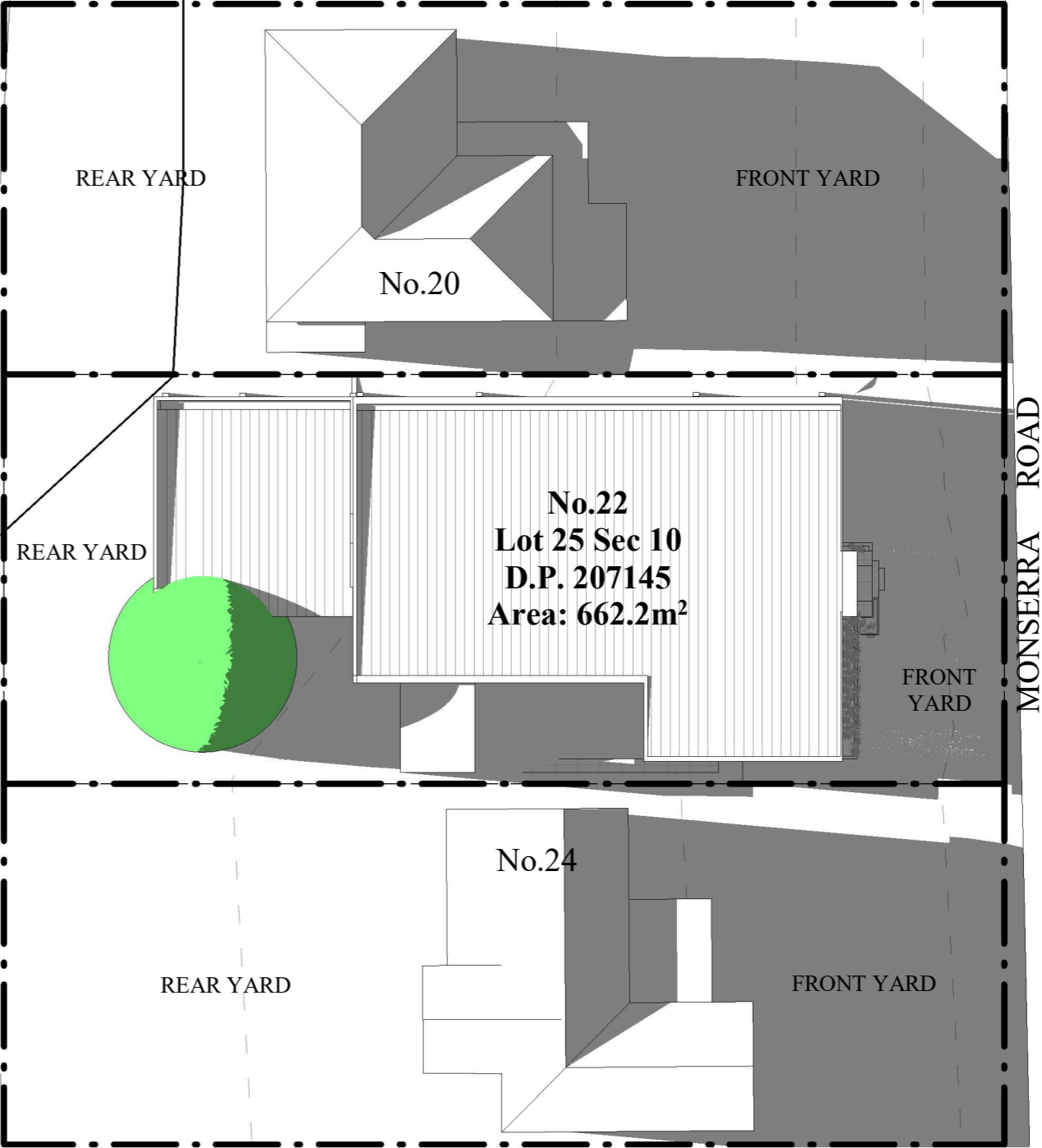
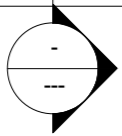
Project Address 22 Monserra Road, Allambie Heights
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Title Existing & Proposed Shadows 12pm 21.06.2019
--

Revision A
Sheet A15



1 Existing Shadow Diagram 3pm
1 : 250



2 Proposed Shadow Diagram 3pm
1 : 250

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Certificate no.: 0004391890
Assessor Name: Manuel Basiri
Accreditation no.: VIC/BDV/12/1462
Certificate date: 26 November 2019
Dwelling Address: 22 Monserra Road, Allambie Heights, NSW 2100

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Council	Northern Beaches	Client	Feng Zhang

Project Address	22 Monserra Road, Allambie Heights
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Title	Existing & Proposed Shadows 3pm 21.06.2019
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Revision	A
Sheet	A16

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✔	✔
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 5 L/min)	4 star	5 star	5 star	no	-	-	-	-	-	-	-	-	-

Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up
All dwellings	central water tank (no. 1)	See central systems	See central systems	-	-	yes	-
None	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✔	✔	✔
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✔	✔
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.		✔	✔
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✔	✔

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✔	✔	✔
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump, and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✔	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✔	✔
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✔	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✔	✔	✔

Dwelling no.	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	central hot water system 1	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

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Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
Gran	3-phase airconditioning EER 3.0 - 3.5	3-phase airconditioning EER 3.0 - 3.5	3-phase airconditioning EER 3.0 - 3.5	3-phase airconditioning EER 3.0 - 3.5	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes
All other dwellings	3-phase airconditioning EER 3.0 - 3.5	3-phase airconditioning EER 3.0 - 3.5	3-phase airconditioning EER 3.0 - 3.5	3-phase airconditioning EER 3.0 - 3.5	5 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	4	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & gas oven	-	yes	-	-	-	yes	no

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
Gran	-
All other dwellings	1.0

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
Gran	32.9	25.5
All other dwellings	27.8	25.9

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
Gran	59	-	-	-	No

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
All other dwellings	159	-	35	34	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities


(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✔	✔
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✔	✔	✔
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✔	✔	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✔	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✔	✔
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✔	✔

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	1500.0	To collect run-off from at least - 150.0 square metres of roof area of buildings in the development	- irrigation of 256.0 square metres of common landscaped area on the site


(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✔	✔
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✔	✔
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✔	✔	✔

Central energy systems	Type	Specification
Central hot water system (No. 1)	gas instantaneous	Piping insulation (ringmain & supply risers): (a) Piping external to building: R1.0 (~38 mm); (b) Piping internal to building: R1.0 (~38 mm)



Average star rating
5.6
NATIONWIDE ENERGY RATING SCHEME
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Certificate no.: 0004391890
Assessor Name: Manuel Basiri
Accreditation no.: VIC/BDAY/12/1462
Certificate date: 26 November 2019
Dwelling Address: 22 Monserra Road Allambie Heights, NSW 2100
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Scale	Date 25.10.2019	Project Address 22 Monserra Road, Allambie Heights	Title BASIX	Revision A
Drawn AM	Approved			Sheet
Council Northern Beaches	Client Feng Zhang			B01



Ground Floor
Cement Render
Grey



First Floor
Side & Back Walls
Aluminum Clad
Dark Grey



Window & Door Frames
Aluminum
Monument Grey



First Floor Balcony
Doors, Garage Door,
Front Door & Side Panel
Tasmanian Oak



Feature Entry
Silver White



Floating Entry Steps

SCHEDULE OF FINISHES

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Rev		<div>Description & Purpose of Issue</div>	<div>Date</div>	<div>Drawn</div> <div>AM</div>	<div>Approved</div>	<div>Sheet</div> <div>F01</div>			
A	Lodged for DA Approval			26.11.2019	<div>Council</div> <div>Northern Beaches</div>				<div>Client</div> <div>Feng Zhang</div>

5.6

Average star rating

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

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Certificate no.:

Assessor Name:

Accreditation no.:

Certificate date:

Dwelling Address:

0004391890

Manuel Basiri

VIC/BDV/12/1462

26 November 2019

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Allambie Heights, NSW

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