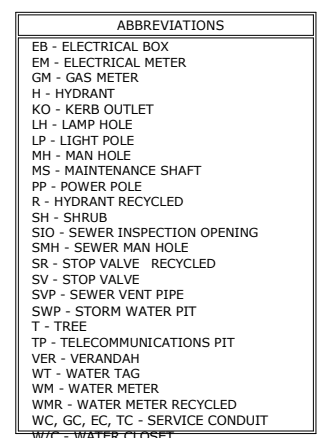
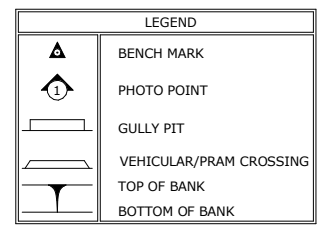
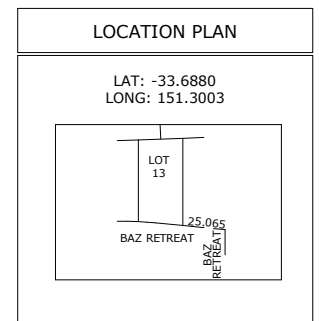
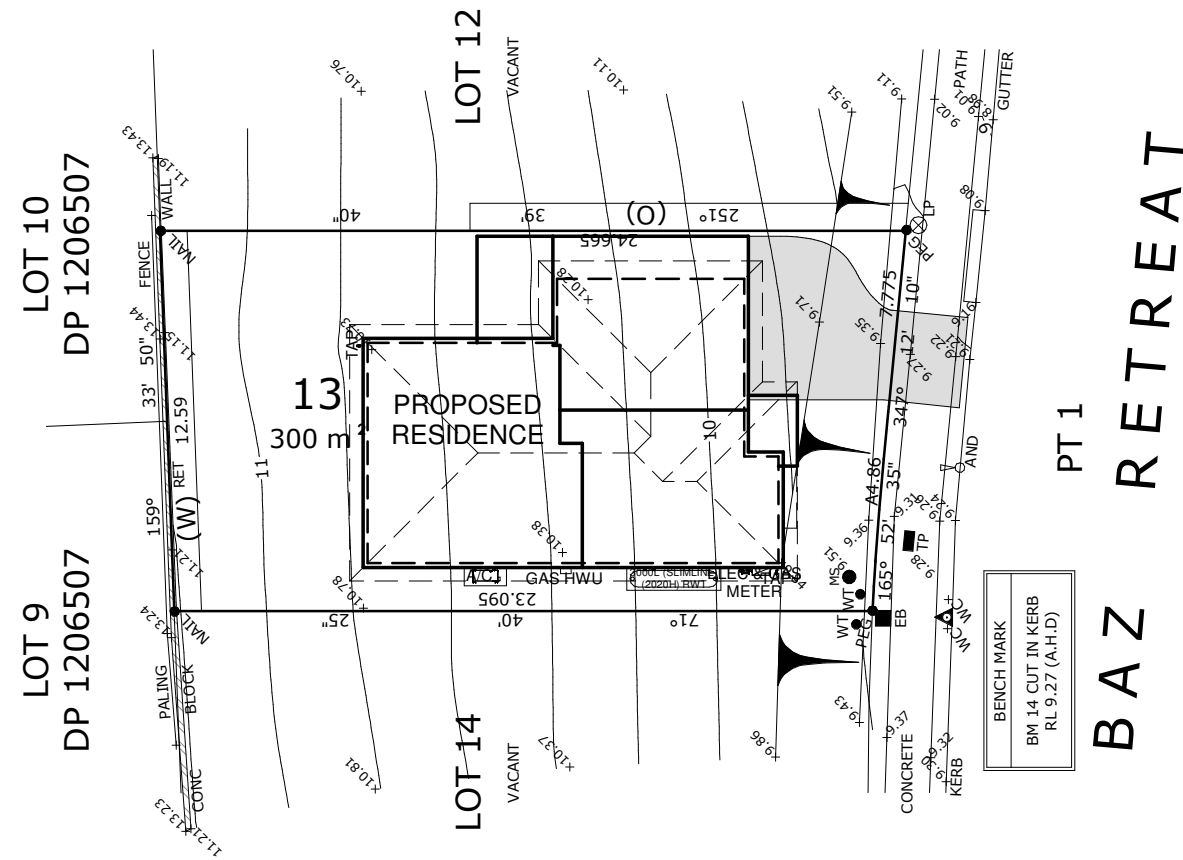


I/WE ACCEPT THAT THESE PLANS ARE FINAL WORKING DRAWINGS, SUPERCEDING PRELIM PLANS AND I/WE HAVE CHECKED THAT ALL ALTERATIONS AND ADDITIONS ARE SHOWN. THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE OWNER/S & HOTONDO HOMES HORNSBY.

OWNER/S SIGNATURE _____ BUILDERS SIGNATURE _____ DATE _____

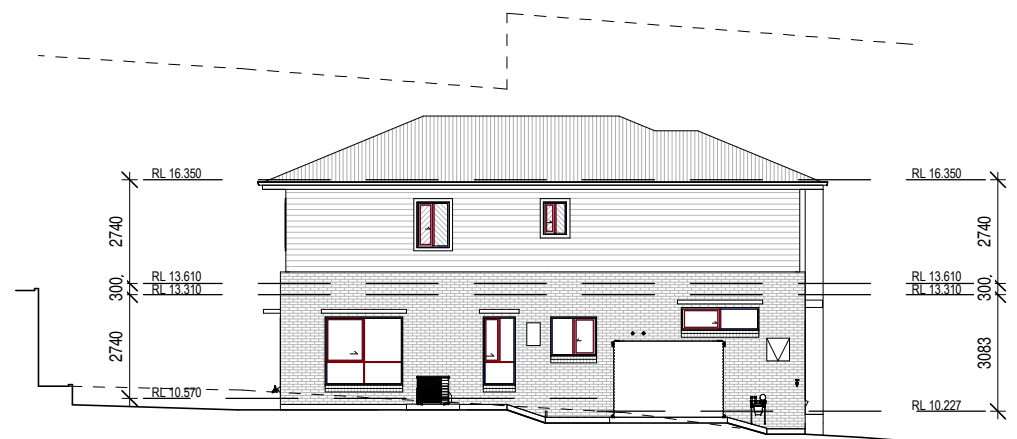
(O): EASEMENT FOR ACCESS, CONSTRUCTION & MAINTENANCE 0.9 WIDE
(W): EASEMENT FOR ACCESS, MAINTENANCE & SUPPORT 0.9 WIDE (VIDE D.P.1206507)



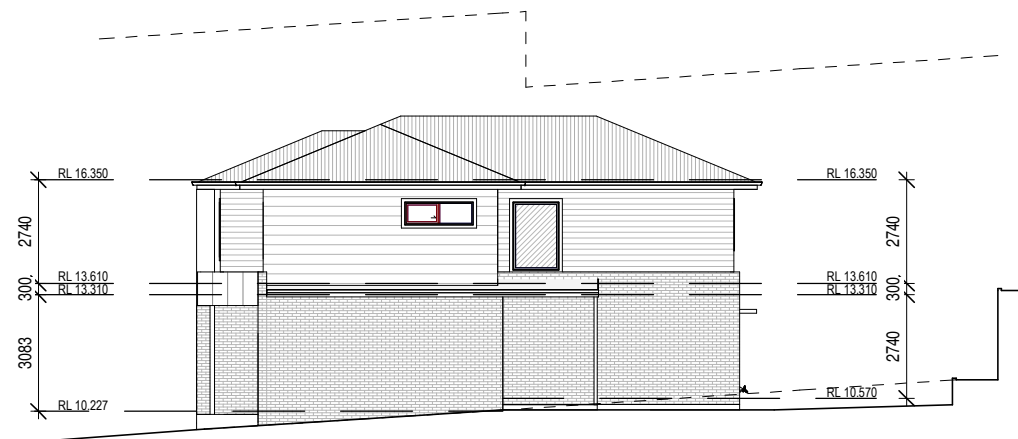
WEST ELEVATION



EAST ELEVATION

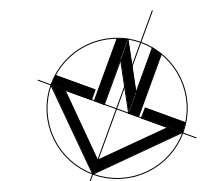


NORTH ELEVATION



SOUTH ELEVATION

CALCULATIONS DA	
GROUND FLOOR (EX. EXTERNAL WALLS)	111.54 m ²
FIRST FLOOR (EX. EXCLUDING EXTERNAL WALLS AND VOIDS)	101.40 m ²
TOTAL LIVING AREA	212.94 m ²
SITE AREA	300.00 m ²
BUILDING FOOTPRINT	120.58 m ²
DRIVEWAY & PATH	23.53 m ²
TOTAL LANDSCAPE AREA	119.49 m ²
LANDSCAPE AREA (%) (MIN 30%)	39.83 %
FLOOR SPACE RATIO	0.71 :1
SITE COVERAGE	40.19 %



NOTIFICATION PLAN

SCALE: As indicated

HOTONDO HORNSBY
9/4 HAMLEY ROAD, MT KURING-GAI 2080
PH: 02 9457 6800



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CLIENT: FALKLAND
SITE: LOT 13 D.P. 270907
12 BAZ RETREAT
WARRIEWOOD NSW

DATE: 17.05.21	DRAWN: S.R.P	JOB NO: 021BOR	SHEET NO. 18 / 18
HOUSE TYPE: ILLAWARRA 215	INCLUSIONS -		
FACADE: HAMPTONS			