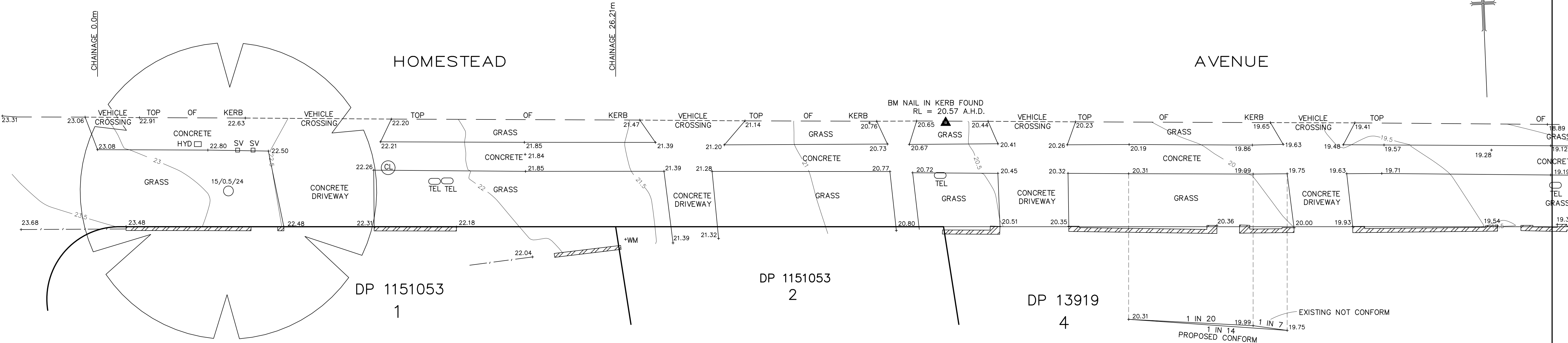
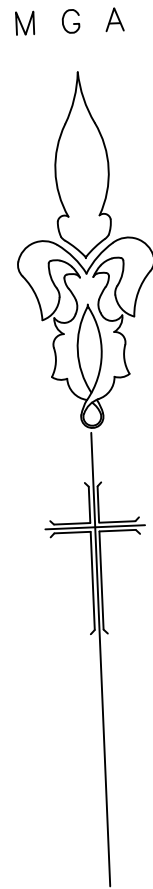


SITE PLAN  
SHOWING SELECTED LEVELS AND DETAIL  
ALONG STREET FRONT OF  
LOTS 1 & 2 IN DP 1151053 BEING No.16 & 20 HOMESTEAD AVENUE, COLLAROY.

DATUM : A.H.D.  
0 1 2 3 4 5 10  
PLOT SCALE 1 : 100 ON A1 SHEETS



NOTES:

- 1) ALL DIMENSIONS AND LEVELS SHOULD BE CHECKED ON SITE PRIOR TO DESIGN AND CONSTRUCTION.
- 2) THE INFORMATION ON THIS SURVEY IS TO BE USED FOR DA PURPOSES ONLY.
- 3) SOME STRUCTURES AND FEATURES ARE APPROXIMATE ONLY. IF USED FOR DESIGN CONFIRMATION OF ACCURACY SHOULD BE CONFIRMED.
- 4) FENCES ARE APPROXIMATE ONLY UNLESS SPECIFICALLY DIMENSIONED TO BOUNDARY.
- 5) SURVEY MARKS MUST BE PLACED PRIOR TO CONSTRUCTION OR ERECTION OF FENCES.
- 6) TREE INFORMATION HAS BEEN SURVEYED FROM GROUND LEVEL AND THEREFORE SHOULD BE TREATED AS APPROXIMATE ONLY, THE EXTENT OF THE CANOPY IS APPROXIMATE AND DIAGRAMMATIC ONLY.
- 7) THE RECORDS OF THE SERVICE PROVIDERS HAVE NOT BEEN INVESTIGATED, ONLY THOSE SERVICES THAT ARE VISIBLE AND ACCESSIBLE AT THE DATE OF SURVEY HAVE BEEN SHOWN.
- 8) SERVICES SHOWN ARE INDICATIVE ONLY, OTHER SERVICES MAY EXIST THAT ARE NOT SHOWN. THEREFORE FIELD CONFIRMATION SERVICE LOCATORS SHOULD BE OBTAINED TO CONFIRM EXACT POSITION AND DEPTH.
- 9) ORIGIN OF LEVELS BM FOUND ON KERB ON SURVEY PROVIDED, RL 20.47m AHD

LEGEND

|          |                                                                  |
|----------|------------------------------------------------------------------|
| BS       | BUS STOP SIGN                                                    |
| CL       | CONCRETE LID                                                     |
| EK       | ELECTRICITY LID                                                  |
| GL       | GAS LID                                                          |
| HYD      | HYDRANT                                                          |
| LP       | LIGHT POLE                                                       |
| SV       | STOP VALVE                                                       |
| TEL      | TELSTRA LID                                                      |
| TELP     | TELSTRA PILLAR                                                   |
| TL       | TRAFFIC LIGHT                                                    |
| TPG      | TPG LID                                                          |
| TSL      | TRAFFIC SIGNAL LID                                               |
| WL       | WATER LID                                                        |
| WM       | WATER METER                                                      |
| 12/0.4/9 | TREE WITH APPROX. - 12m SPREAD<br>- 0.4m DIAMETER<br>- 9m HEIGHT |

THE DISTANCE FROM THE WESTERN BUS SHELTER ON PITTWATER ROAD TO THE BOUNDARY BETWEEN No.16 AND No.20 HOMESTEAD AVENUE IS 200 METRES

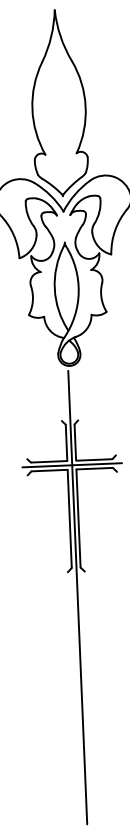
THE DISTANCE FROM THE EASTERN BUS SHELTER ON PITTWATER ROAD TO THE BOUNDARY BETWEEN No.16 AND No.20 HOMESTEAD AVENUE IS 224 METRES

SHEET 1 OF 3

|                                                                                      |                            |                                                                                                                                                                    |
|--------------------------------------------------------------------------------------|----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| CLIENT:CORNERSTONE PROPERTY<br>DATE OF SURVEY: 09/12/2023<br>CAD FILE: 64198004A.DWG | REF No. 64198<br>ISSUE "A" | Hill & Blume Pty Ltd<br>102 Crown Street<br>Woolloomooloo<br>NSW 2011<br>Tel (02) 9332 4888<br>Fax (02) 9331 6422<br>ACN 000 721 004 surveyors@hillandblume.com.au |
| REGISTERED SURVEYOR: PAUL CECHELLERO (ID No.757)<br>SIGNATURE: <i>P Cechellero</i>   |                            |                                                                                                                                                                    |

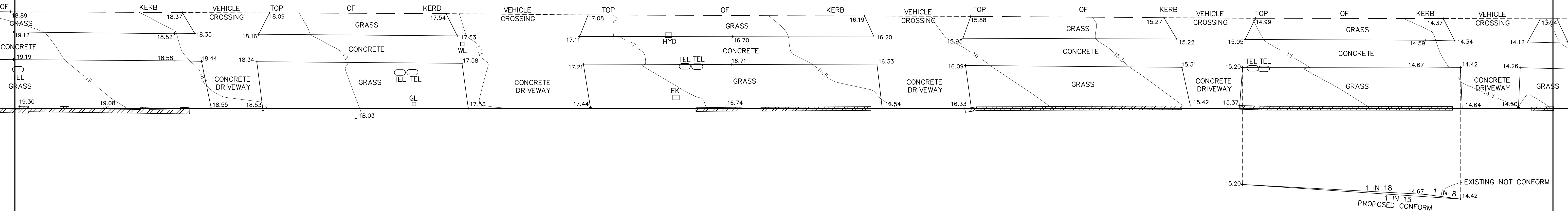


M G A



HOMESTEAD

AVENUE



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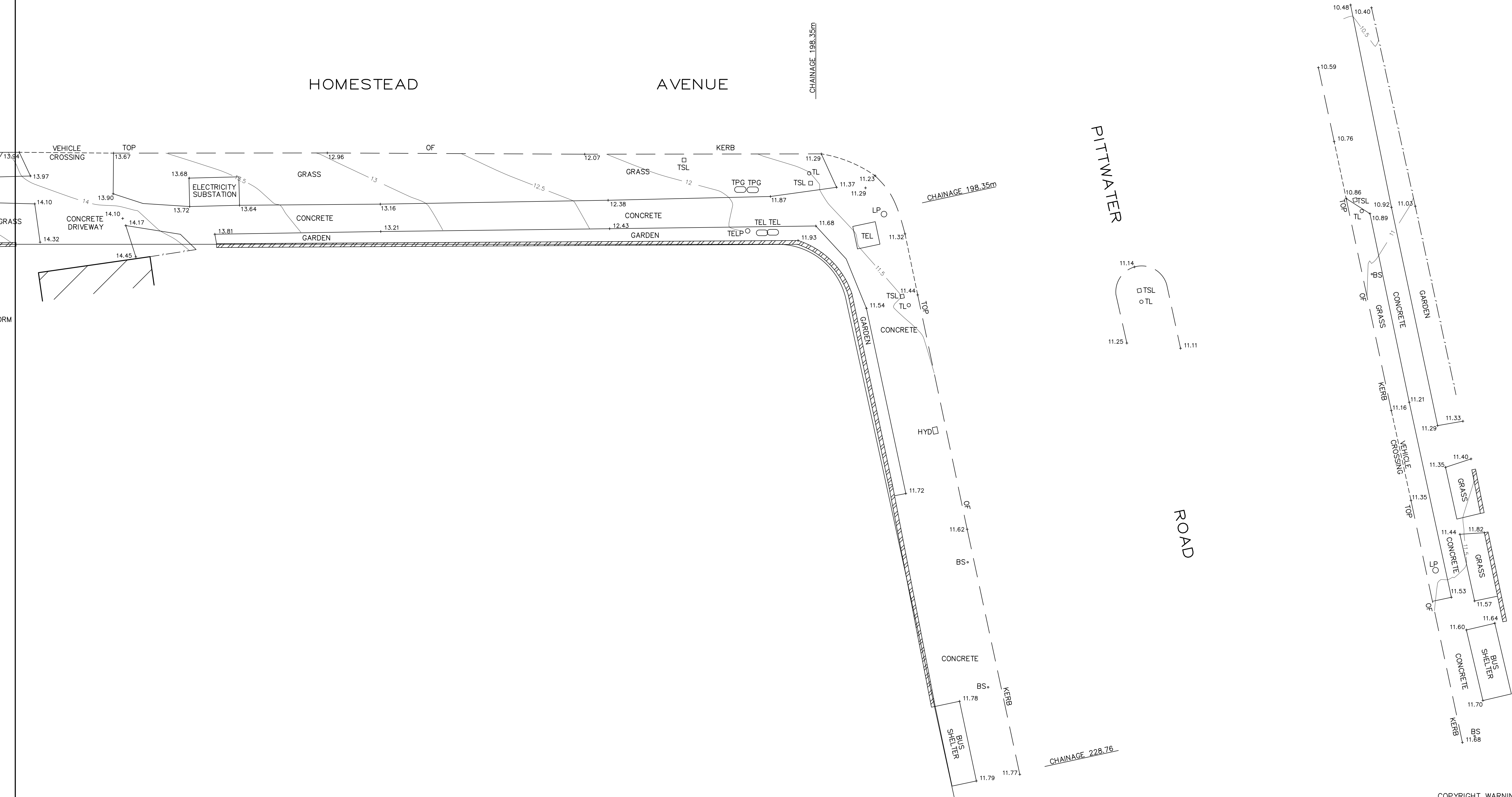
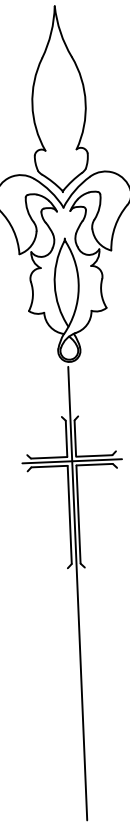
SHEET 2 OF 3

|                                                                                      |                            |
|--------------------------------------------------------------------------------------|----------------------------|
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| REGISTERED SURVEYOR: PAUL CECHELLERO (ID No.757)<br>SIGNATURE: <i>P Cechellero</i>   |                            |

**Hill & Blume**  
CONSULTING SURVEYORS  
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Woolloomooloo  
NSW 2011  
Tel (02) 9332 4888  
Fax (02) 9331 6422



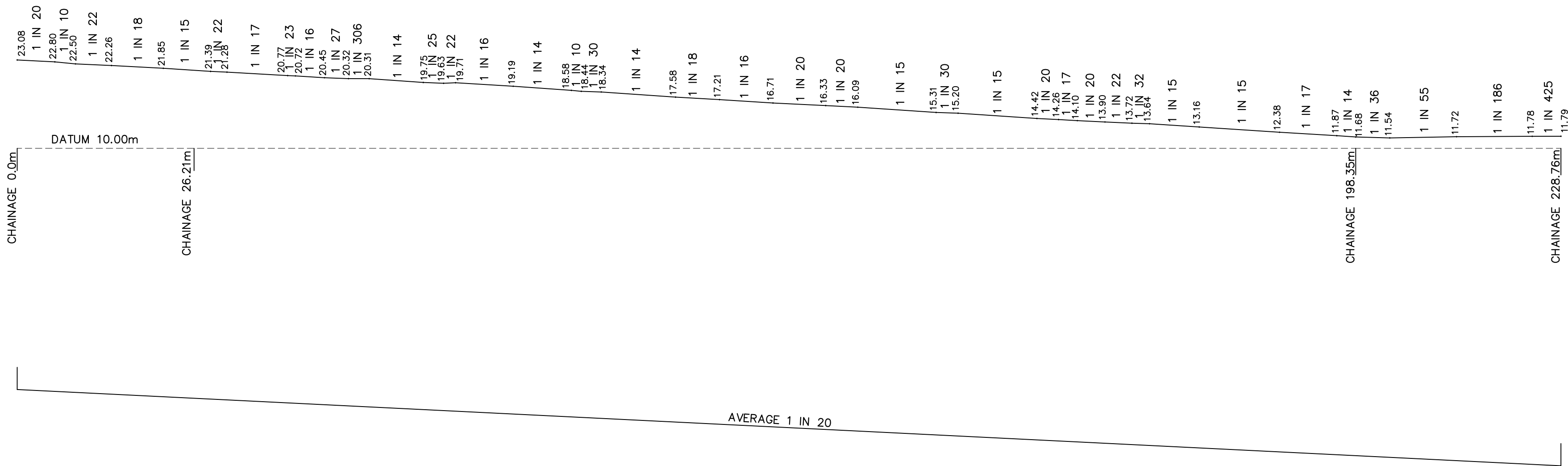
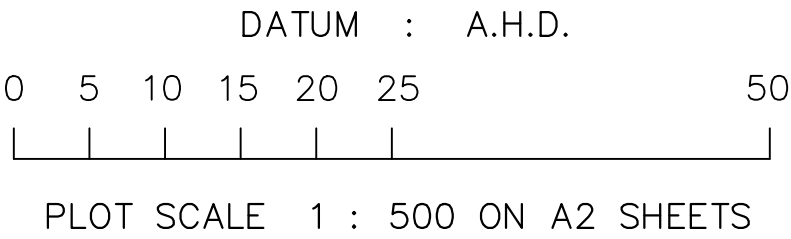


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SHEET 3 OF 3

|                                                                                       |                            |                                                                                                                                                                        |
|---------------------------------------------------------------------------------------|----------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
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| REGISTERED SURVEYOR: PAUL CECHELLERO (ID No.757)<br>SIGNATURE:                        |                            |                                                                                                                                                                        |

SITE PLAN  
SHOWING LONGITUDINAL SECTION  
ALONG FOOTPATH IN FRONT OF  
LOTS 1 & 2 IN DP 1151053 BEING No.16 & 20 HOMESTEAD AVENUE, COLLAROY.



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- 3) ORIGIN OF LEVELS BM FOUND ON KERB ON SURVEY PROVIDED, RL 20.47m AHD

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DATE OF SURVEY: 09/12/23  
CAD FILE: 64198005A.DWG

REF No. 64198  
ISSUE "A"

REGISTERED SURVEYOR: PAUL CECHELLERO (ID No.757)  
SIGNATURE: *P Cechellero*

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