

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

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Date	Issue	Amendment
June 2018	-	Development Application.
May 2019	A	OSD Deleted - DA Submission Updated.

Construction Notes:

Construction to be programmed to minimise any disruption to neighbouring properties and the locality in general.

All materials, waste & recycling to be maintained within the property boundaries (within the GF parking area - west end of the building). Access to site via existing parking areas (with garage door widths increased (as nominated) to facilitate better access.

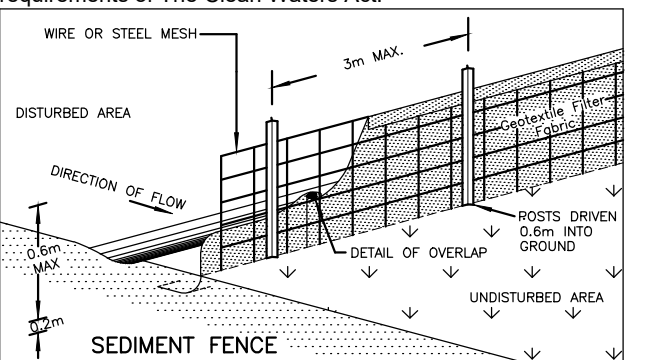
Structural works (all to Engineer's details) to be undertaken first (including stair removal, lift installation & new stairs).

Any replacement of existing upper level floors (with concrete construction, to Engineer's details) to be undertaken at this stage. Third floor level addition to be effected in stages to minimise disruption to levels below. External re-furbishment and upgrade of northern elevation to be programmed towards the end of the construction schedule, along with the other external finishes, awnings, etc.

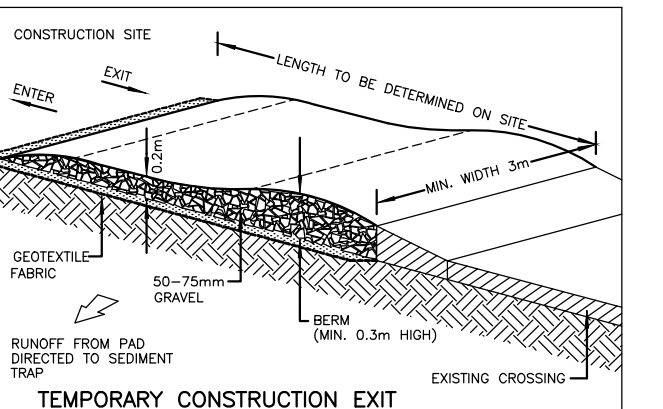
All hoarding and scaffolding (including dust containment) to be maintained as per approvals (to be obtained, prior) throughout the construction phase.

EROSION CONTROL NOTES

1. All erosion & sediment control measures are to be installed and maintained in accordance with Council's Policy (including the Riparian Policy) and 'Managing Urban Stormwater - 3rd Edition' produced by the NSW Department of Housing.
2. All erosion & siltation control measures are to be placed prior to the commencement of any construction works and all silt traps are to have deposited silt removed regularly during construction.
3. All trees are to be preserved (unless indicated otherwise) and existing grass cover shall be maintained except in areas reserved for buildings, driveway pavements, etc.
Notwithstanding details shown, it is the contractor's sole responsibility to ensure that all site activities comply with the requirements of The Clean Waters Act.



1. All erosion & sediment control measures are to be maintained throughout the construction and include repair and / or replacement of damaged sections, as applicable.
2. Inspection of the erosion and sediment control measures are to be made periodically, and after any storm events.



Sediment Key: (Refer to Plan)

■ ■ ■ ■ ■ Silt Fence / Barrier

alastair robb | 27 New Line Road
West Pennant Hills
NSW 2125

<p>chartered</p> <p>architect</p>	<p>T: 02 9875 5881</p> <p>M: 0438 419 939</p> <p>E: balvenie@bigpond.net.au</p>
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Reg. No: 5309 | **ABN: 3255 2686 626**

Client

JSALT Pty Ltd

Project
Alterations & Additions
29-33 Pittwater Road
Manly
NSW 2095 (LOT 1, DP.76807)

Drawing

Site Analysis

Construction + Erosion

DEVELOPMENT APPLICATION

Scale	1:100	Original Sheet Size	A1
Date	Nov. 2016	Drawing Number	Issue
Drawn By	ar	PR-SA1	A
Ckd. By			
Plot Date	May 2019		
File Name	Pittwater Road Manly May 2019.dwg		

Windows Approved in 1993



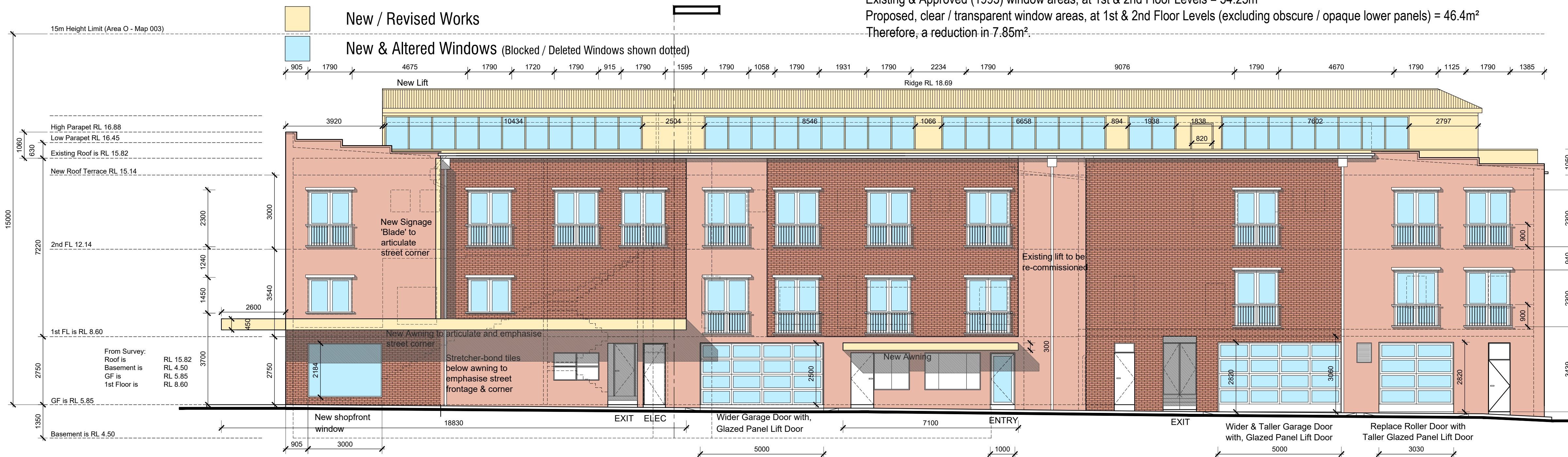
North Elevation (Existing, with previously approved, but not installed, window locations shown)

Fenestration Calculation:

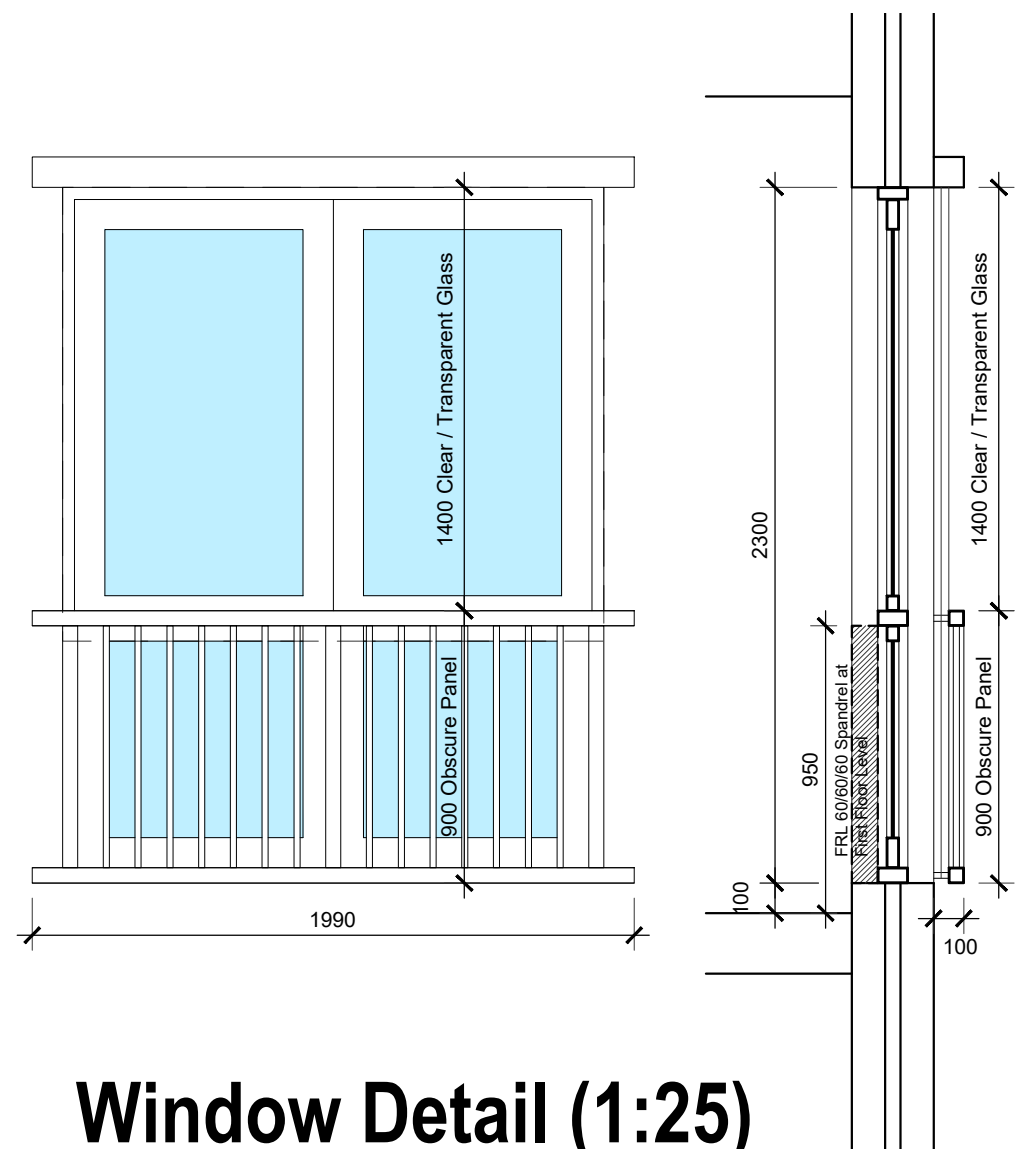
Existing & Approved (1993) window areas, at 1st & 2nd Floor Levels = 54.25m²

Proposed, clear / transparent window areas, at 1st & 2nd Floor Levels (excluding obscure / opaque lower panels) = 46.4m²

Therefore, a reduction in 7.85m².

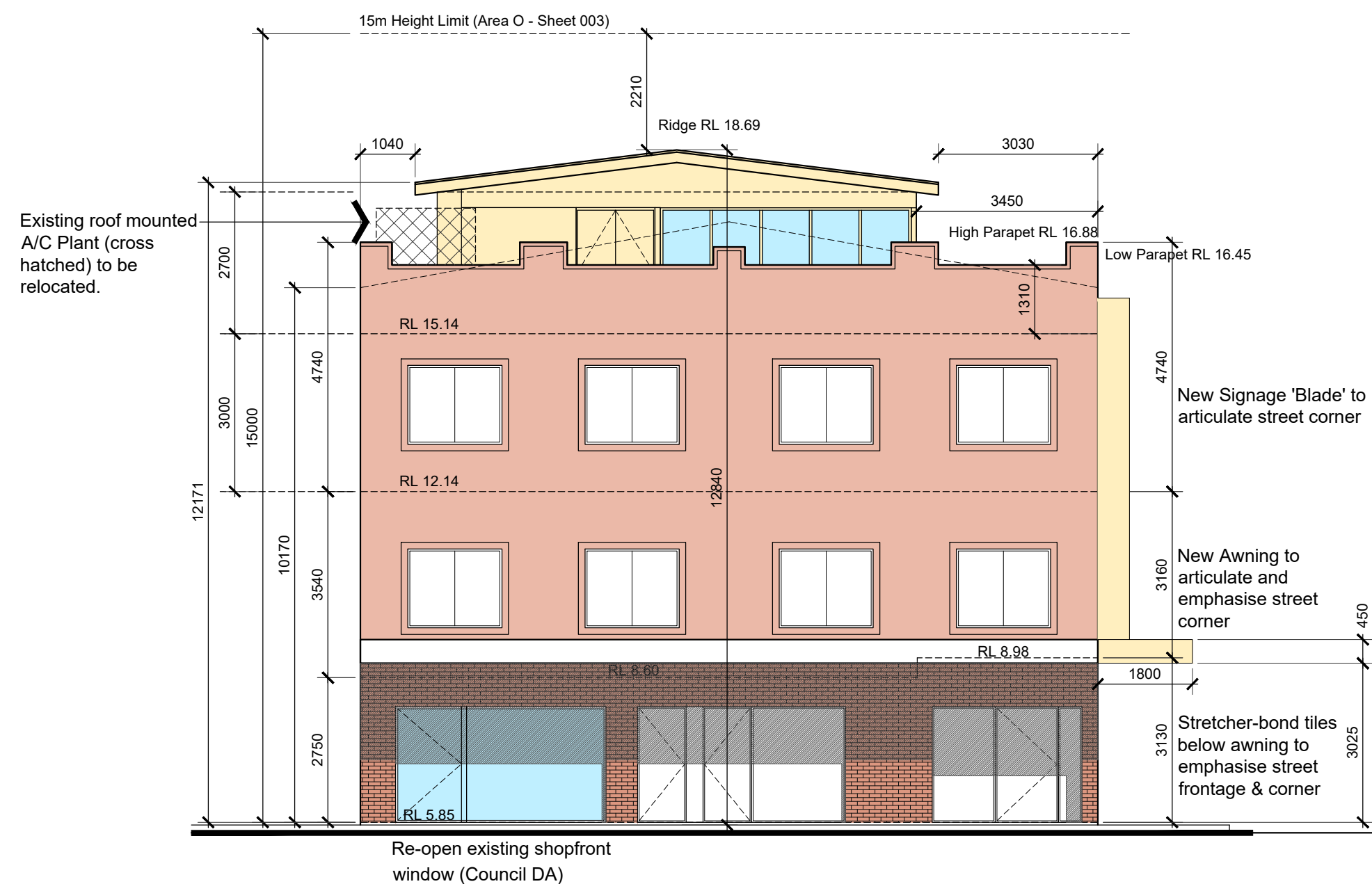


North Elevation (Proposed)



Window Detail (1:25)

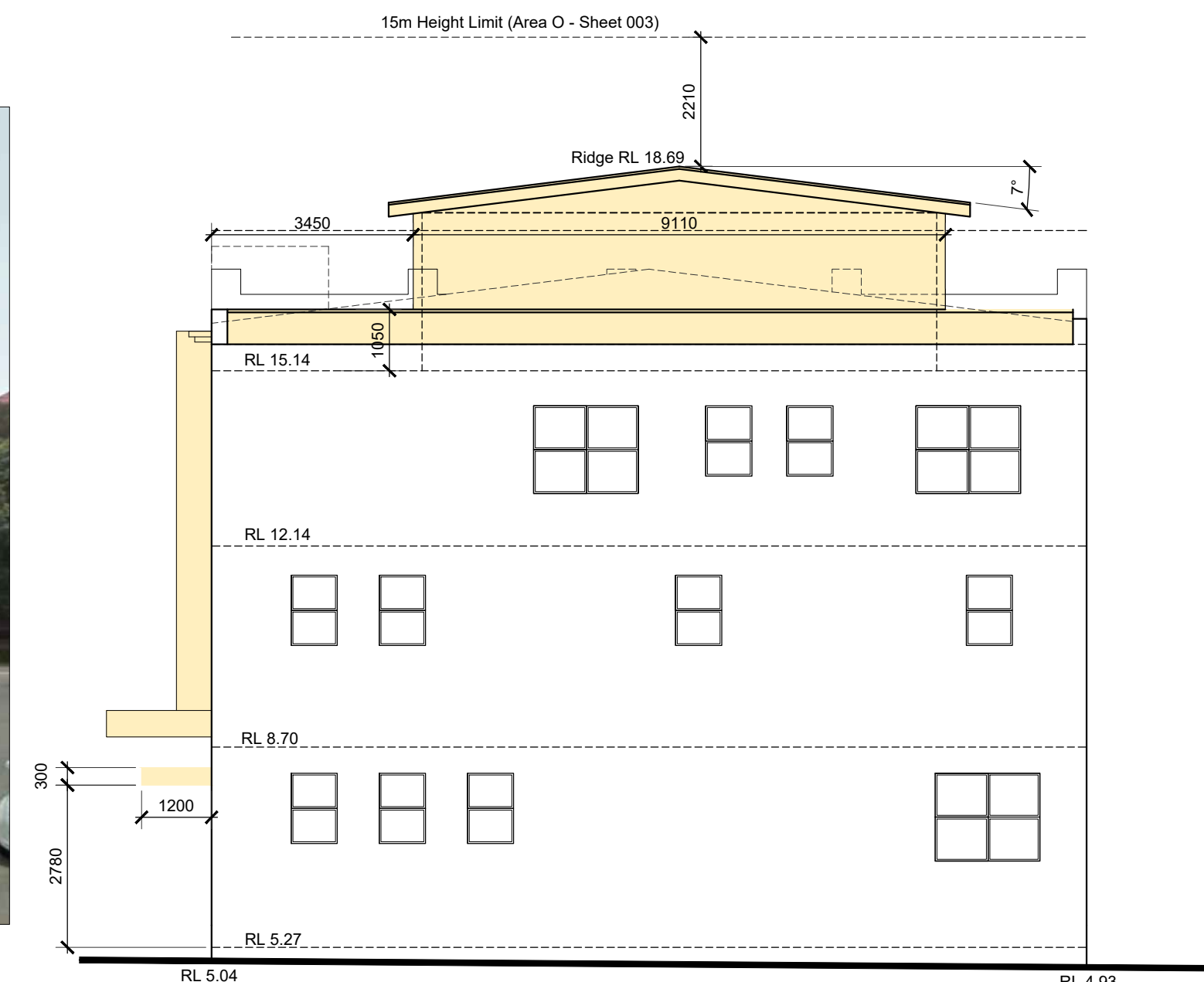
Proposed window treatment to present the appearance of a faux balcony, but the lower portion of the glazing assembly is to be fixed, obscure / opaque with only the upper portion operable and clear / transparent (with a transom set behind the external railing). At first floor level, the lower portion of glazing shall have an internal spandrel to achieve an FRL of 60/60/60, to 950mm high. The window detail at second floor level to include an external shading device to bedroom windows. This element is intended to provide articulation to the facade as well as order and rhythm.



East Elevation (Front / Pittwater Road)



North East Corner (Google Street View)



West Elevation (Kangaroo Lane)

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Date	Issue	Amendment
August 2018		Development Application.
April 2019	A	North elevation (existing and proposed) amended to reflect the true ground levels and opening heights. First floor level at west end of building corrected to reflect the 300mm step up within the building.
May 2019	B	OSD Deleted - DA Submission Updated.

Materials & Finishes:

Existing building fabric to be retained where possible, restored where required, with elements removed and replaced (to match existing) where appropriate.

The new face brick and rendered treatment to the northern elevation is proposed to improve and 'tidy' the appearance in relation to the heritage properties opposite, while presenting a more sympathetic scale to the building.

alastair robb

chartered
architect

Reg. No: 5309

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Alterations & Additions
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Drawing

Elevations

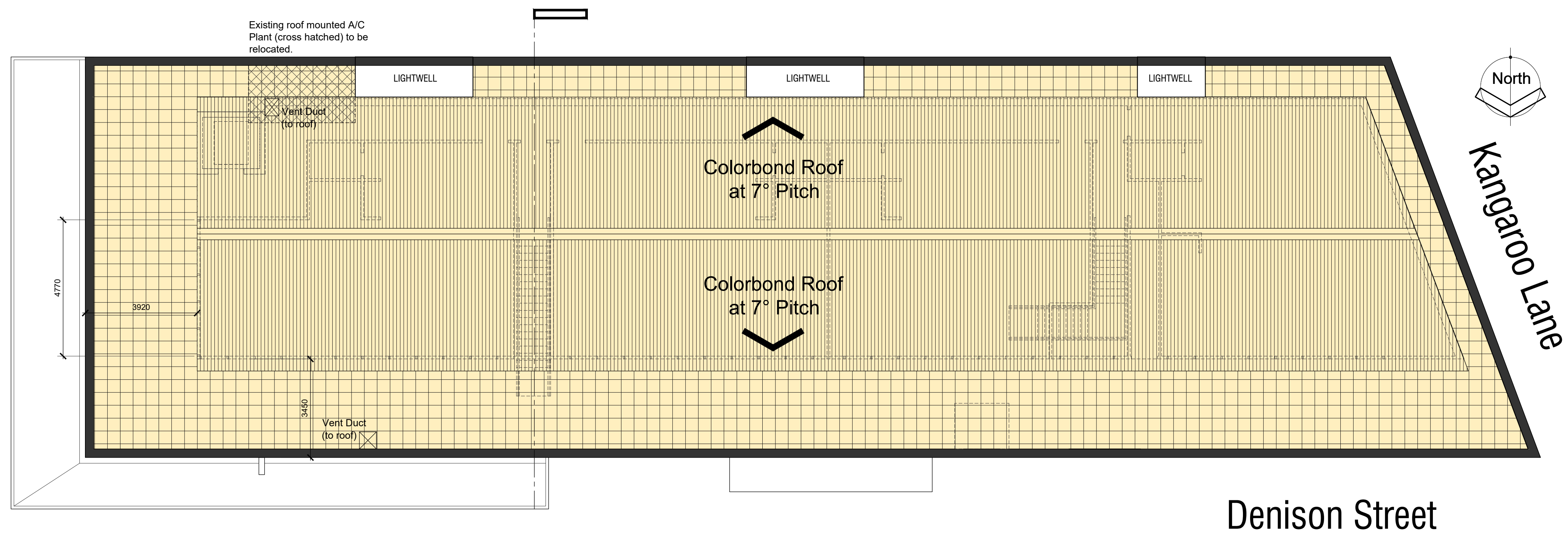
DEVELOPMENT APPLICATION

Scale	1:100	Original Sheet Size	A1
Date	Nov. 2016	Drawing Number	Issue
Drawn By	ar	PR-03	B
Ckd. By			
Plot Date	May 2019		
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New Works

Pittwater Road

ROOF



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Schedule of Finishes & Colours:

Element

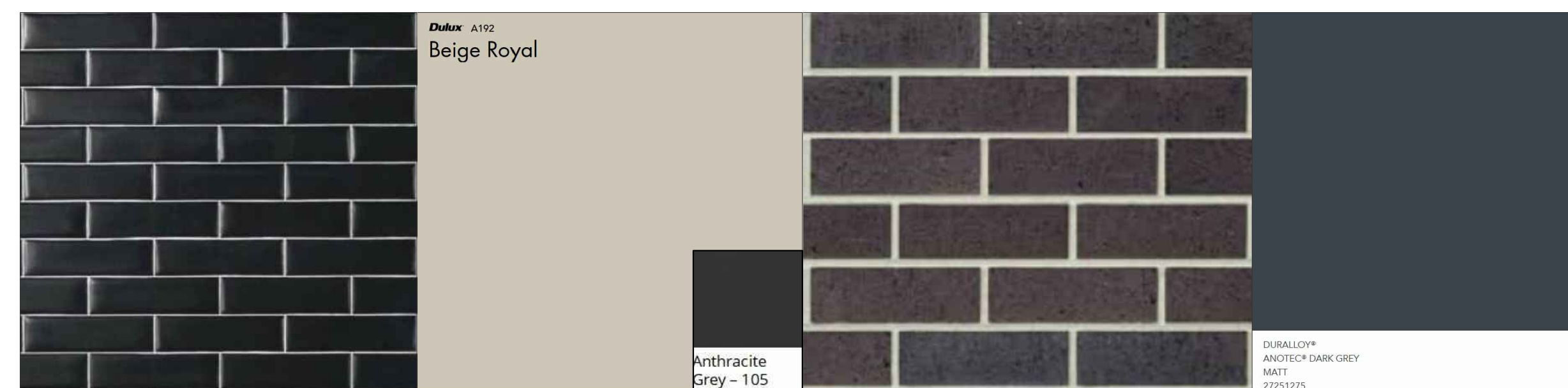
Roof
Shopfront Walls (GF) Pittwater Road & Around Corner into Denison Street
Face Brick (North Elevation)
Rendered Walls & Third Floor Walls (New Commercial level)
Front Elevation Window Banding & Stepped Parapet Capping
Doors, windows, balustrades & awning fronts
Underside of Awnings
Gutters & Downpipes
Vertical 'Signage Blade' on North elevation

Material / Finish

Colorbond
Subway Tiles, Stretcher Bond
Heritage, Face Brick
Painted
Painted
Powder-coat
Painted
Zinc
Alucobond

Colour

Basalt Colour
Black Gloss Tile & White Grout
Dark with light pointing
Dulux Beige Royal (50% strength)
Dulux Beige Royal (100% strength)
Dulux Duralloy Dark Grey
Off-White
Natural finish
Anthracite Grey 105



Photomontage of Proposed Building with New Finishes Applied

alastair robb

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chartered
architect

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Drawing

Roof Plan & Finishes

DEVELOPMENT APPLICATION

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Ckd. By			
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