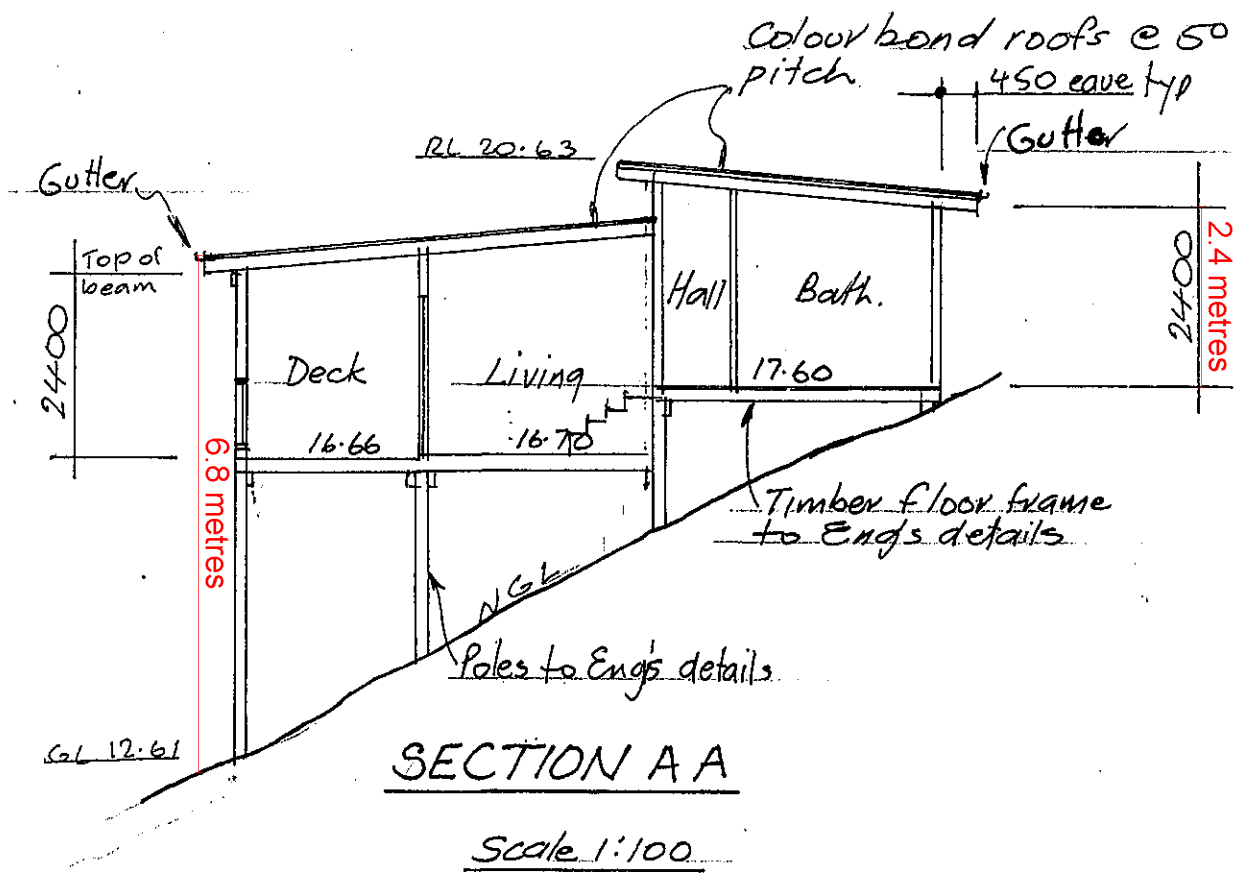




NOTES & SPECIFICATION

1. All dimensions shall be checked on site prior to ordering materials
2. All materials and workmanship shall comply with S.A.A. code BCA and Basix report.
3. New roof shall be colourbond - medium colour @ 5° pitch
4. New floor framing shall be treated timber to Eng's details
5. New columns shall be to Eng's details
6. Internal linings shall be gyprock and villa board in wet areas
7. Wet areas shall be waterproofed
8. New deck shall be timber
9. New hand rails shall be glass, 1000 high
10. New external stairs and landings shall be treated timber or hardwood.
11. Internal stairs shall be timber
12. New deck posts shall be as per Eng's details
13. New foundations shall be concrete
14. New kitchen and bath/Ldy shall be connected into the Board's sewer system.
15. All roof water shall be collected and piped to tanks under the house with the overflow going to Council's kerb and gutter
16. S/W tanks shall be determined as per Basix Report.
17. Provide insulation as per Basix Report
18. New cladding shall be weathertex or similar F/C material
19. Windows and doors shall be improved aluminium
20. Fascia, gutter and down pipes shall be colourbond
21. Roof windows shall be Velux or similar
22. Excavate north easter corner under house, minor only
23. Tiling in kitchen & bath/Ldy as per owners request.
24. The Western wall and the first 500mm of the North & South walls shall be sound proof treated as they are near the inclinator

PROPOSED NEW GRANNY FLAT
AT 44 NAREEN PDE. NTH. NARRABEEN.
FOR MR. & MRS. McCABE

SECTION A-A, NOTES & SPECIFICATION
Scale 1:100 Date 11.1.21 Drawn by R. Conway
Phone 0425 314716 20/6/21

Scale 1:200

All drainage shall discharge into Council's Kerb & gutter after being piped to s/w tanks under the proposed building

There is no demolition for this project.

All waste shall be taken to Kimbriki or similar depot and recycled where possible. The Contractor shall be Stumpys dumpres. Rubbish shall be covered at all times

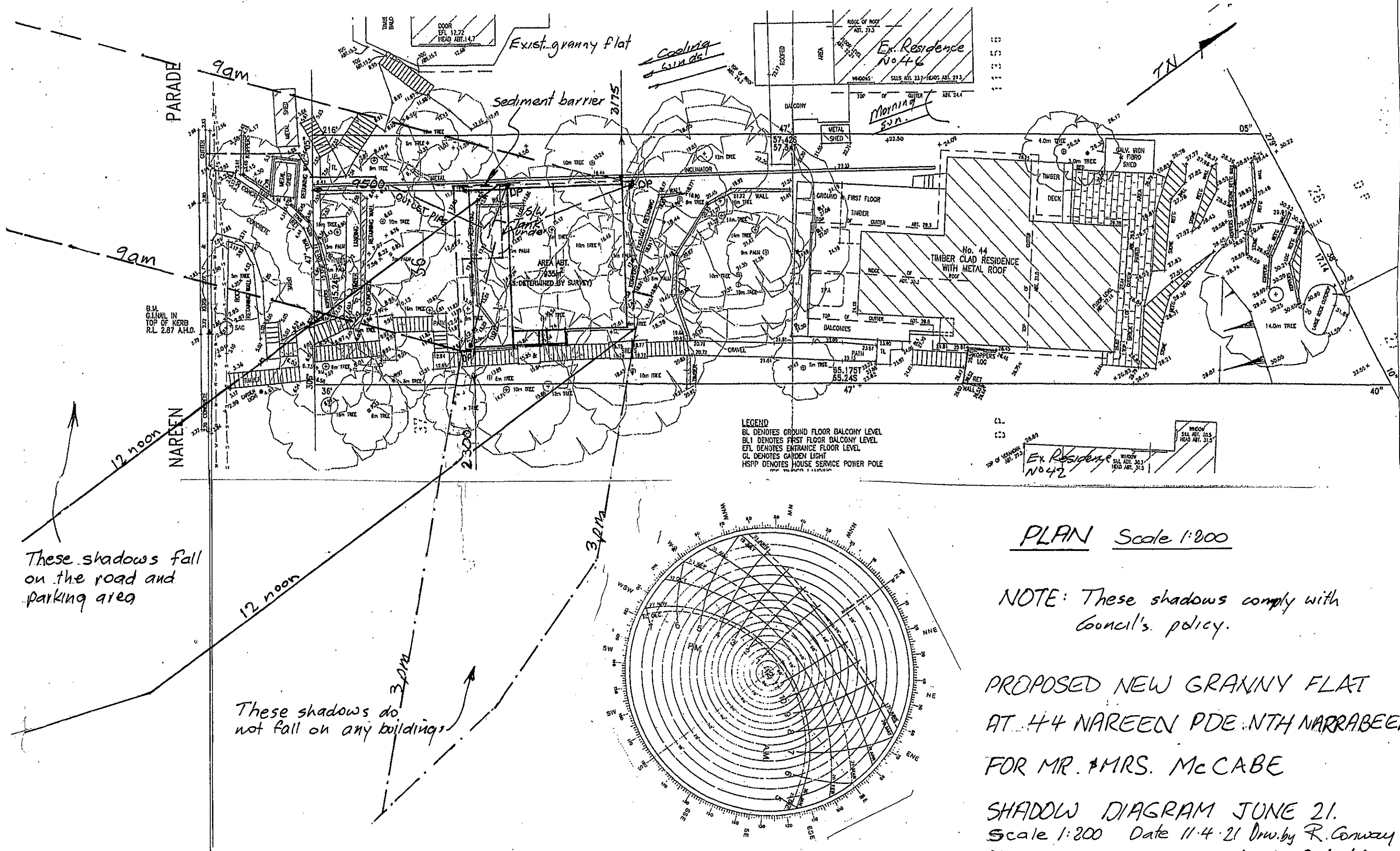
A geotechnical report has been included in the application

A sediment cloth design shall be used to control sediment entering Council's s/w system or neighbours res. see plan for location.

Roof & gutters - Colourbond - Medium colour Monument.
Walls - F/c sheeting
Windows - Aluminium, Antique White
Decks - Timber - tallow wood.
Supports - Treated timber or as per Engineer

AT 44 NAREEN PDE. NTH. NARRABEEN

FOR MR & MRS McCABE
SITE ANALYSIS PLAN
SITE, LANDSCAPE, SEDIMENT & DRAINAGE
Scale 1:100 Date 11.1.21 Drw. by R. Conway
Phone 0425314716 Drg. No 20/6/3



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1172005S_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 02 February 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Certificate Prepared by

Name / Company Name: Efficient Living Pty Ltd

ABN (if applicable): 82116346082

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: Individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: Individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: Individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 2 of the bedrooms / study; dedicated • at least 1 of the living / dining rooms; dedicated • the kitchen; dedicated		✓ ✓ ✓	✓ ✓ ✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated • the laundry; dedicated • all hallways; dedicated		✓ ✓ ✓	✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Project summary		
Project name	44 Nareen Parade, North Narrabeen_02	
Street address	44 Nareen Parade North Narrabeen 2101	
Local Government Area	Northam Beaches Council	
Plan type and plan number	deposited 11356	
Lot no.	38	
Section no.	-	
Project type	separate dwelling house - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 50	Target 50

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2200 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 87.5 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: • all toilets in the development • the cold water tap that supplies each clothes washer in the development • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓ ✓ ✓	✓ ✓ ✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - suspended floor/open subfloor	All or part of floor area square metres

PROPOSED NEW GRANNY FLAT
AT 44 NAREEN PDE. NTH. NARRABEEN
FOR MR. & MRS. McCABE

BASIX NOTES

Date 11.4.21

Phone 0425 314716

by R. Conway.
Org. No 20/6/5.