

Fern Creek Road Warriewood NSW 2102



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- REFER TO SURVEY FOR INFORMATION RELATING TO EXISTING SITE DATA.
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL WORKS RELATING TO ROAD WORKS.
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Drawing No.

Drawing No.

Scale
at A1 size

Revision

Date
15/01/21

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(g) Water	Shower on DA plans	show on CCIDOC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table.			
(c) If a rating is specified in the table below for a feature or appliance to be installed in the dwelling, the applicant must ensure that each such feature and appliance meets the rating specified for it.			
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.			
(e) The applicant must install:			
(a) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and			
(b) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank or all toilets in the dwelling.			
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.			
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).			
(h) The pool or spa must be located as specified in the table.			
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be designed to collect run-off from the area specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.			

[illegible]

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection	Laundry connection	Pool top-up	Spa top-up
All dwellings	individual water tank (no. 1)	Tank size (mm) 1500 x litres	To collect run-off from at least: 8.0 square metres of roof area; 0.5 square metres of impervious area; and 0.0 square metres of garden and lawn area, and 0.0 square metres of planter box area.	yes	yes	-	no	no
None	-	-	-	-	-	-	-	-

(ii) Energy

(a) The applicant must comply with the commitments listed below by carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.			
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.			
(d) The applicant must install the cooling and heating systems specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling and Heating" columns in the table below, in at least 1 living area of the dwelling, if no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "ceiling" is specified beside an air conditioning system, then the system must provide for daylighting between living areas and bedrooms.			

(ii) Energy

(e)	The applicant appears to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (the room or area). The applicant must ensure that the "summary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "directed" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for using fluorescent lighting or light emitting diode (LED) lighting.		
(f)	The applicant appears to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is well lit with a window under daylight.		
(g)	The applicant appears if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		
(h)	The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (ab) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (ac) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		
(i)	If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		
(j)	The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.		

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	solar (gas boosted, flat plate) 15 to 20 °C	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bedrooms &/or toilets	Main kitchen
Th1, Th20	1-phase airconditioning 4 star (average zone)	-	1-phase airconditioning 4 star (average zone)	-	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no
VL2, VL3, VL4, VL5	1-phase airconditioning 4 star (average zone)	-	1-phase airconditioning 4 star (average zone)	-	4 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	3	no
All other dwellings	1-phase airconditioning 4 star (average zone)	-	1-phase airconditioning 4 star (average zone)	-	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

Individual products				Appliances & other efficiency measures								
Dwelling no.	Pool heating system	Timer	Individual spa		Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
			Spa heating system	Timer								
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	no	yes

	Alternative energy
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort

(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.	
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.	
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.	
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.	
(g) Where there is an in-slab heating or cooling system, the applicant must:	
(a) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or	
(b) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
All dwellings	40.0	26.0

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Dwelling no.	Concrete slab on ground(m²)	Suspended floor with open subfloor (m²)	Suspended floor with enclosed subfloor (m²)	Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls
All dwellings	50	-	-	30	No

Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities:

(g) Water	Show on DA plans	Show on CCDC plans & specs	Certifier check
(a) In carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table	✓	✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central system's" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table	✓	✓	✓
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.	✓	✓	✓
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.	✓	✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.	✓	✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy

(a)	if, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.	✓
(b)	In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralized lighting control system or Building Management System (BMS) for the common area, where specified.	✓
(c)	The applicant must install the systems and features specified in the "Central energy systems" column of the table below. In each case, the system or feature must be of the type, and meet the specifications, listed in the table.	✓

Notes

1. In these comments, "applicant" means the person carrying out the development.
2. The applicant must clearly define dwelling, building and common areas listed in this certificate, on the plans accompanying any development application, and on the plans and drawings submitted with the application for the proposed development certificate. For the proposed development certificate, using the same identifying reference as is given to that dwelling, building or common area in this certificate.
3. This certificate is intended to apply to both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Comments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the development which is a common area.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a system is specified in a commitment, this is a minimum requirement.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for drinking.

Legend

1. Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development. (If a development application is to be lodged for the proposed development).
2. Commitments identified with a  in the "Show on CC/DDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

13/06/2021 15:01:21 FOR COORDINATION

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A 11/01/21 FOR COORDINATION
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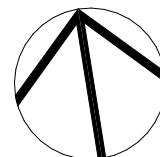
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NOTES:

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FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102
Status
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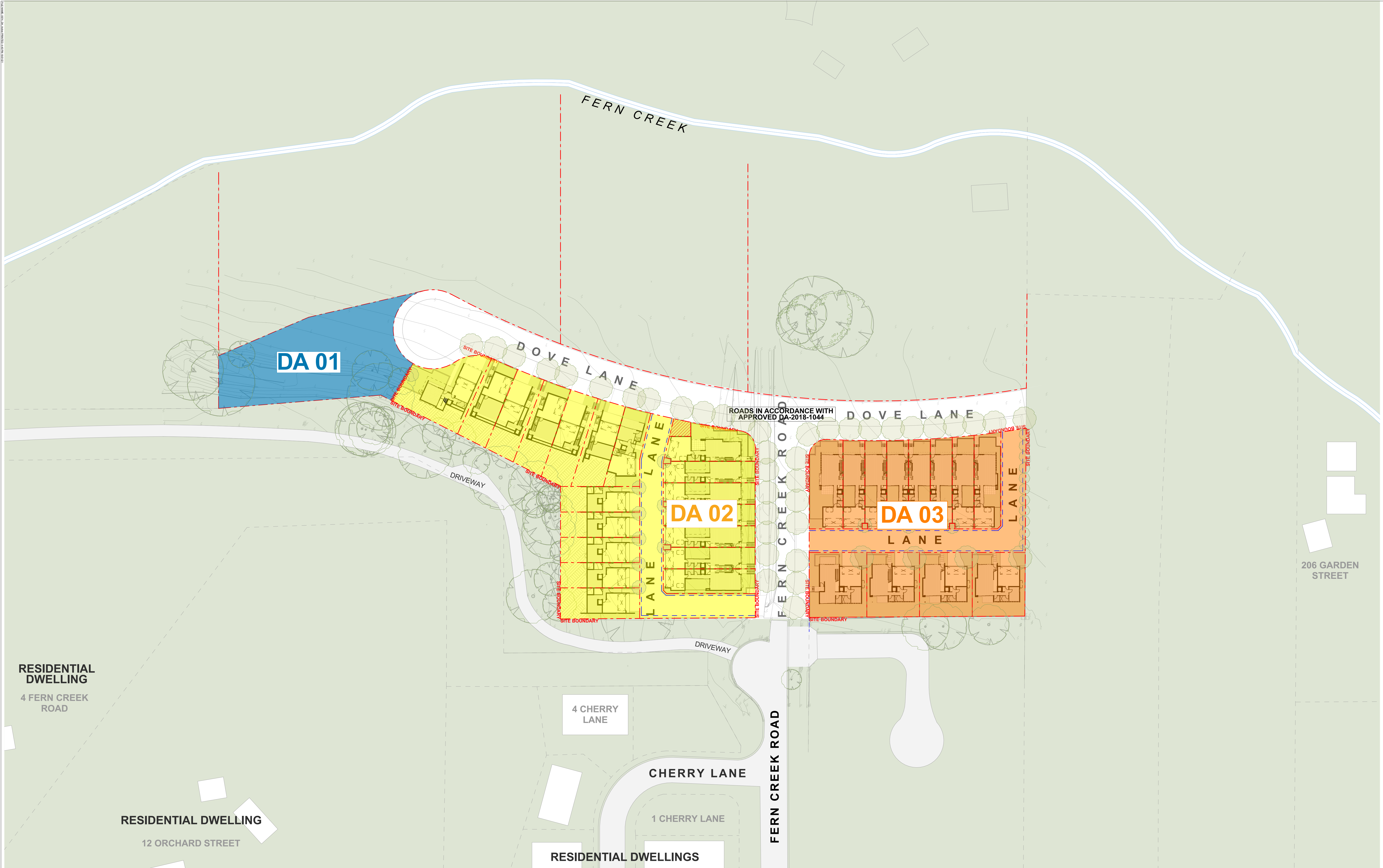
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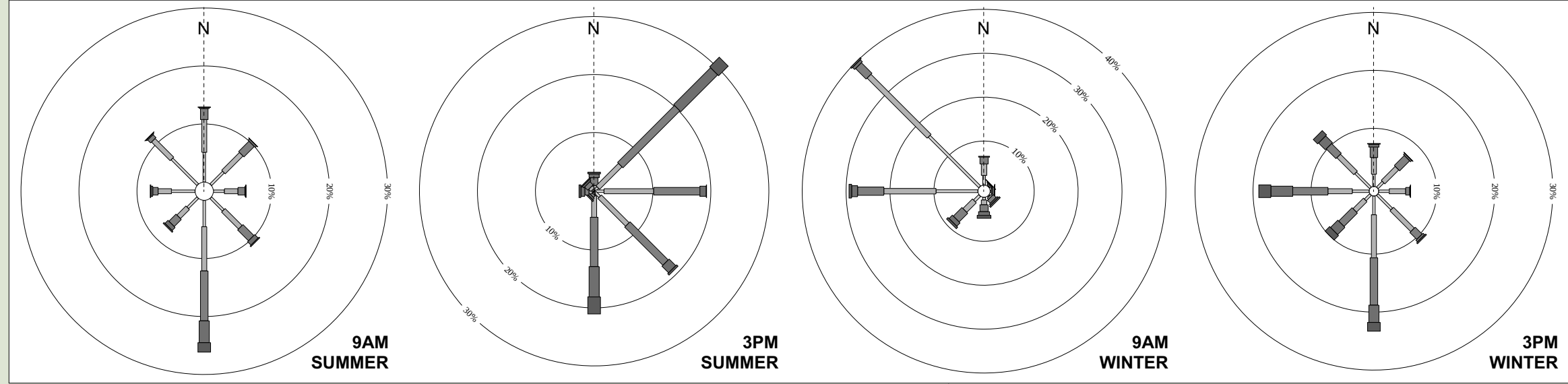
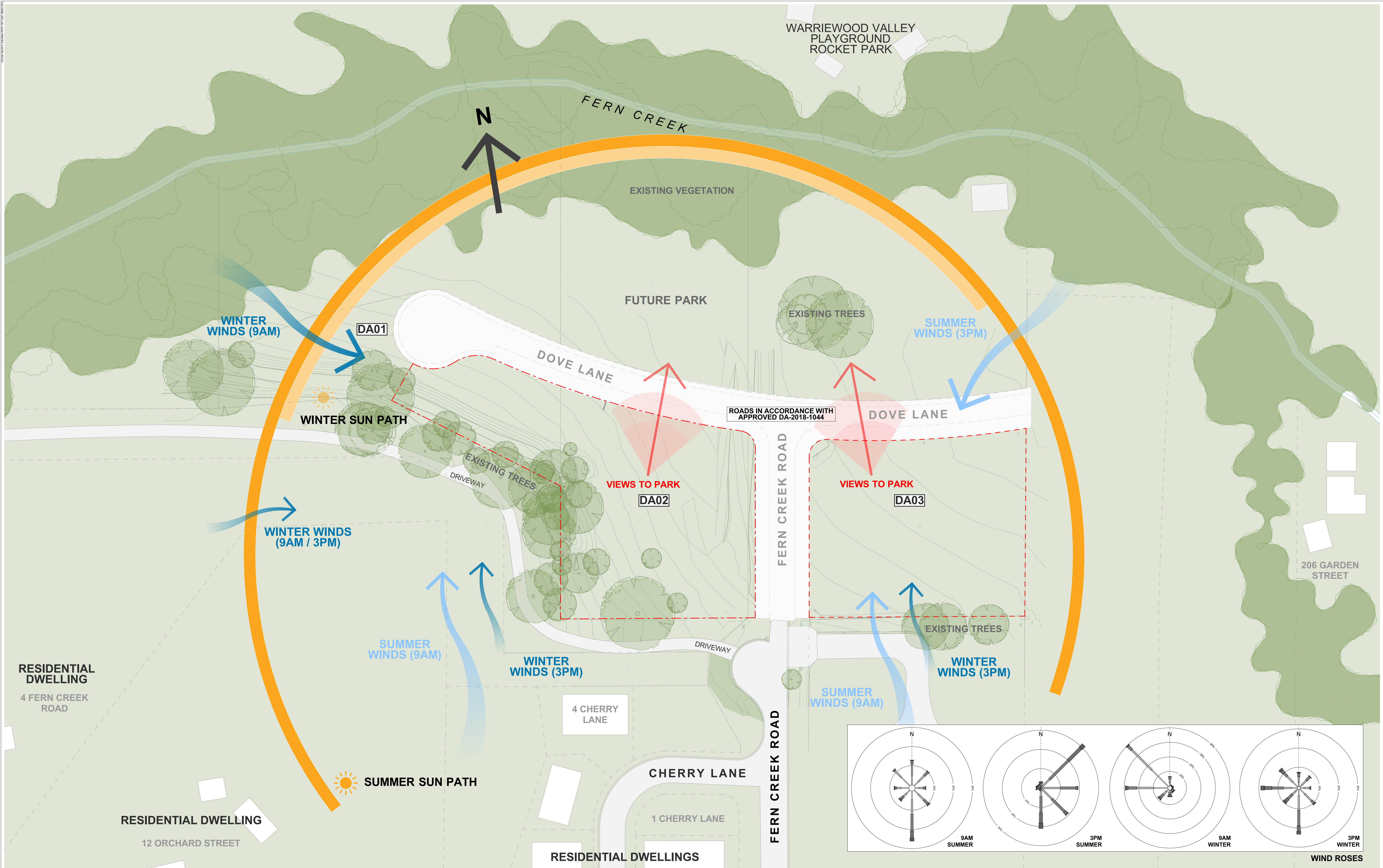
Drawing No.
0574-DA301

Scale
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Revision
B

Date
15/01/21





WIND ROSES

NOTES:

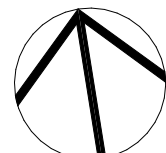
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FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102

Status
PRELIMINARY

Title
Site Analysis Plan

Drawing No.
0574-DA302

Scale
1:500 at A1 size

Revision
B

Date
15/01/21

PARK

PARK

ROADS IN ACCORDANCE WITH
APPROVED DA-2018-1044

DOVE LANE

FERN CREEK ROAD

LANE

LANE

DA 02

DRIVEWAY

NOTES:

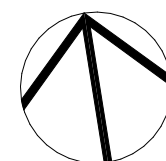
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E 15/01/21 FOR COORDINATION
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C 18/12/20 FOR REVIEW
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Fern Creek Road Warriewood NSW 2102
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Title
Site Plan

Drawing No.
0574-DA304

Scale
1:200 at A1 size

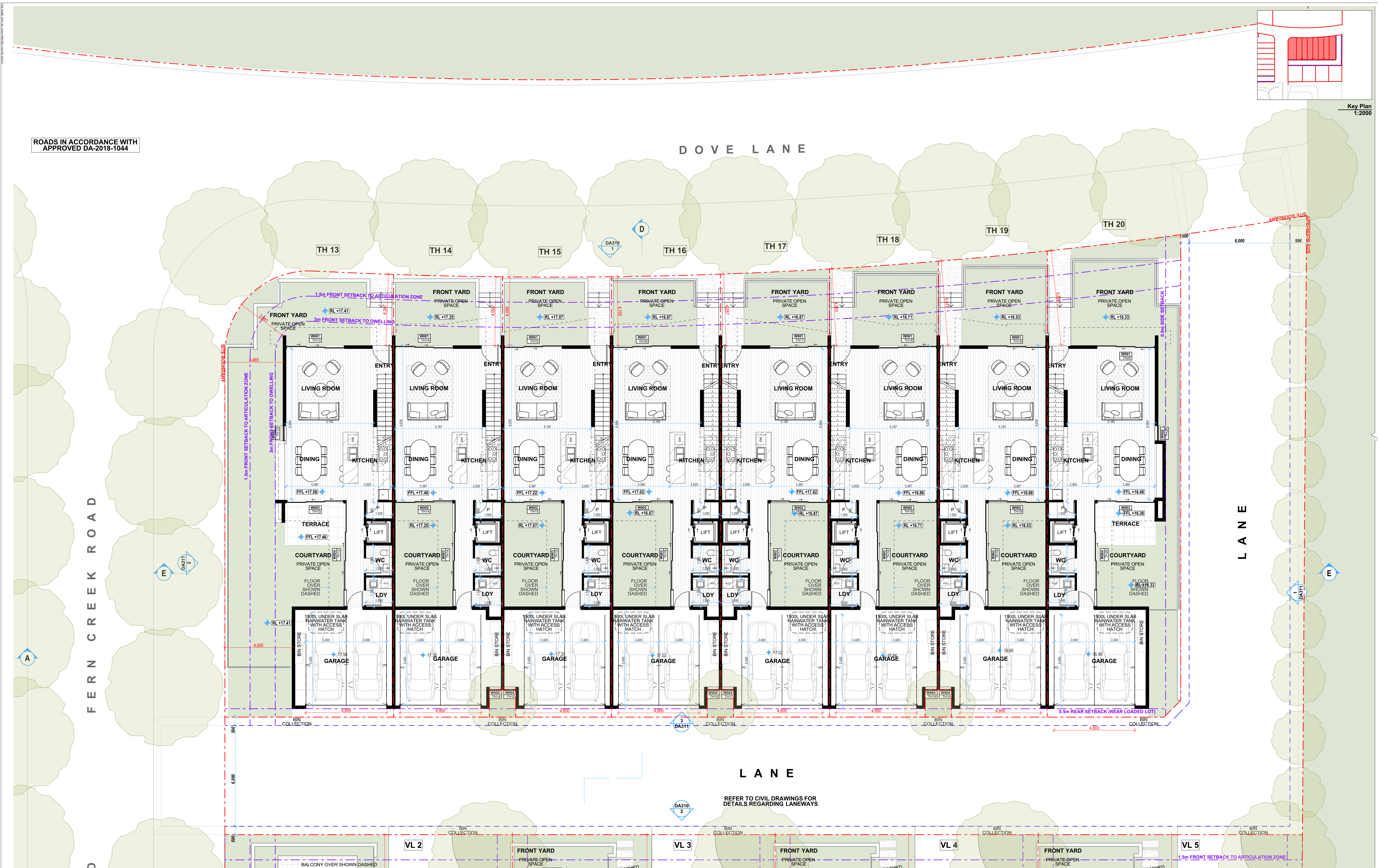
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Date
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1:2000 SCALE PLAN (ORIENTATION MAP) SEE 1:2000 SCALE PLAN

ROADS IN ACCORDANCE WITH
APPROVED DA-2018-1044

Key Plan
1:2000



NOTES:

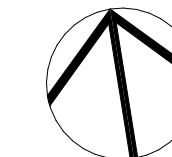
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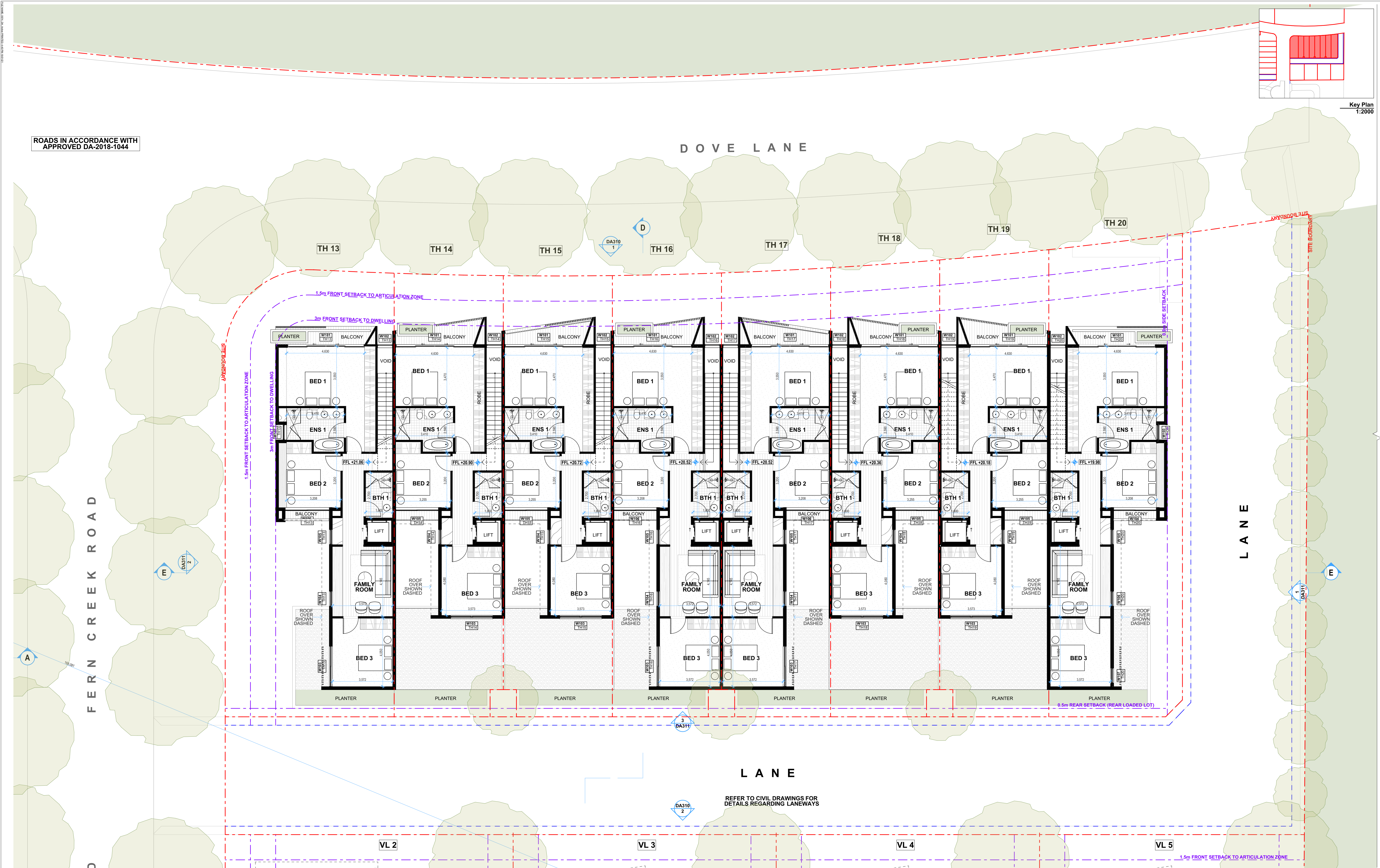
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Title
Level 01 Plan (Part D)
Drawing No.
0574-DA305
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Date
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1:2000 SCALE PLAN OF DEVELOPMENT FOR THE SITE SHOWN

ROADS IN ACCORDANCE WITH
APPROVED DA-2018-1044

Key Plan
1:2000



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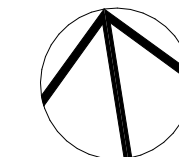
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Title
Level 02 Plan (Part D)

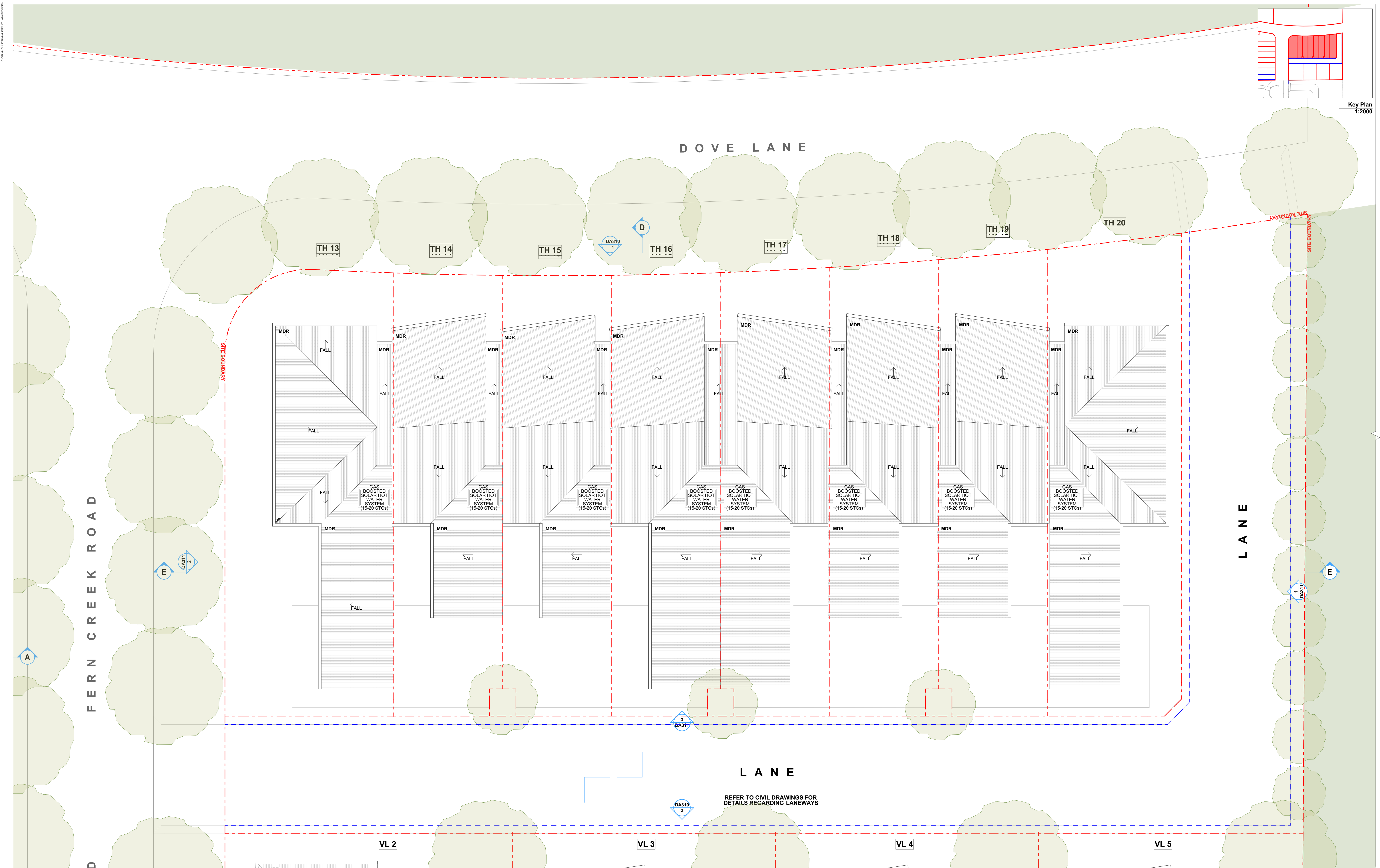
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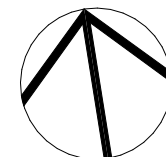
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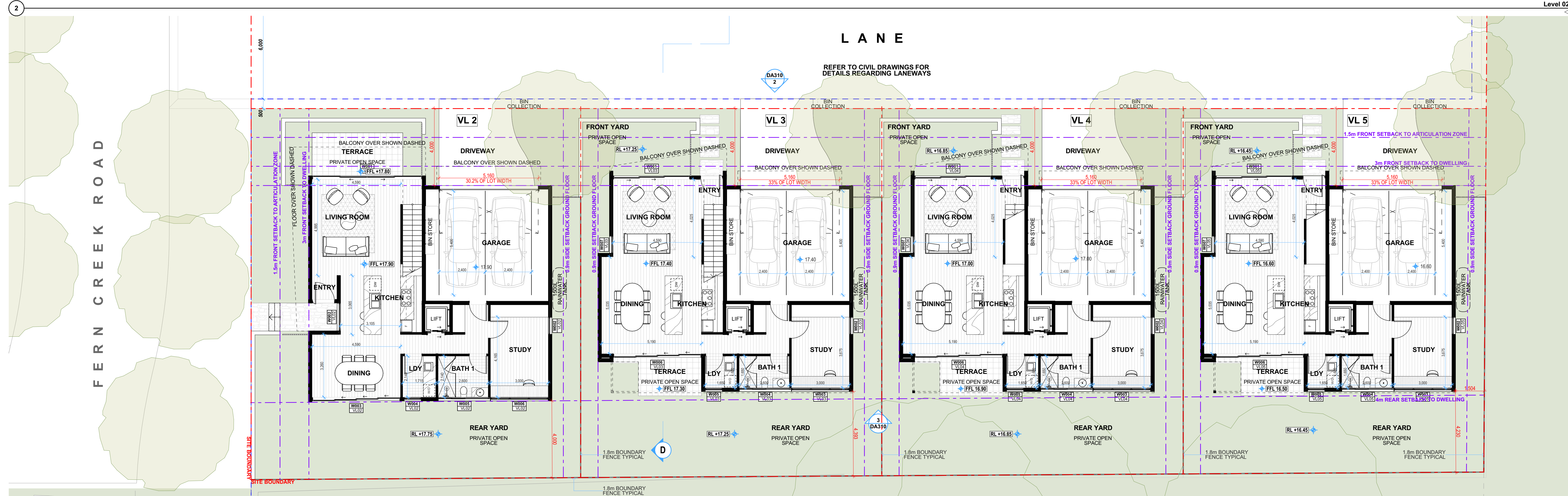
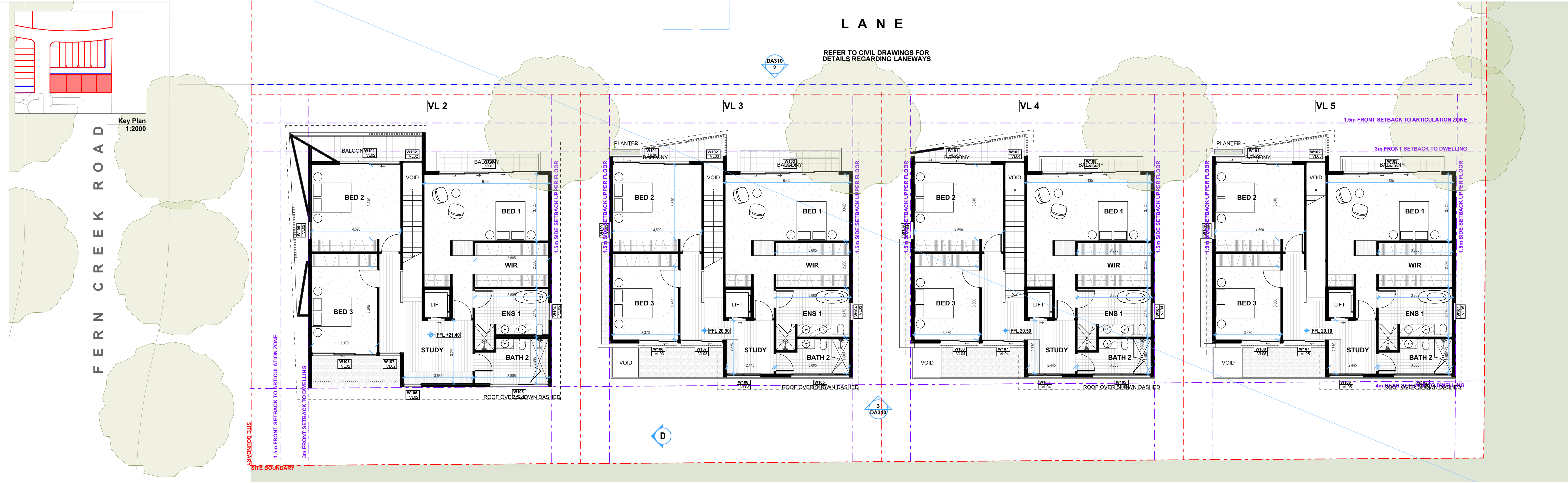
Title
Roof Plan (Part D)

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0574-DA307

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Morehuman Warriewood

Project
FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102

Status
PRELIMINARY

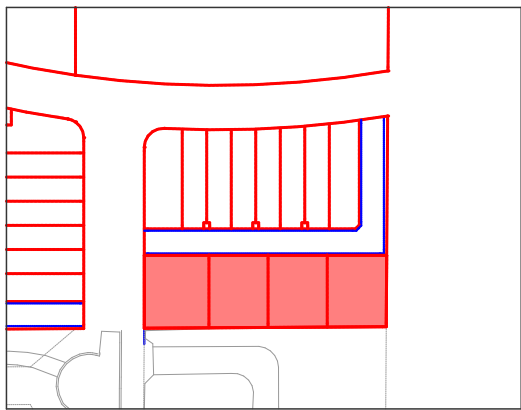
Title
Level 01 & 02 Plan (Part E)

Drawing No.
0574-DA308

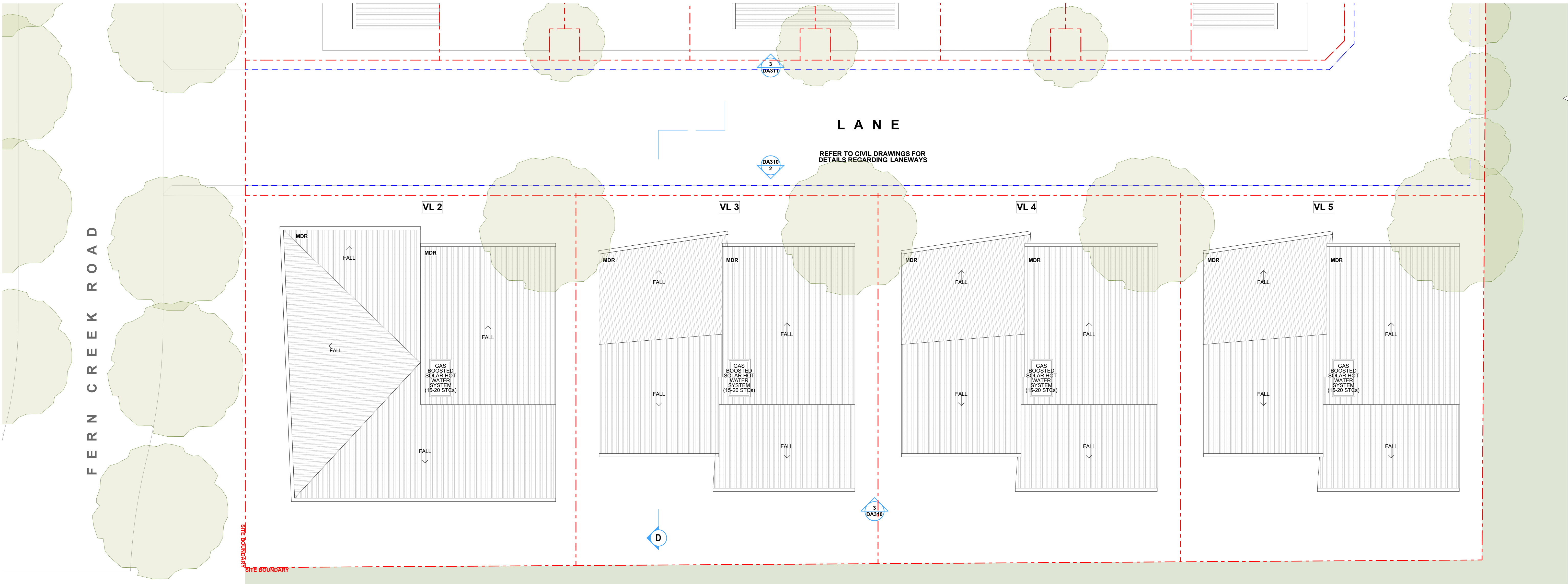
Scale
1:100 at A1 size

Revision
A

Date
15/01/21



Key Plan
1:2000



1 Level 03

NOTES:

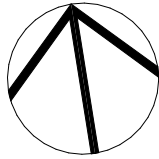
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Rev	Date	Amendment	Drawn	Check
A	15/01/21	FOR COORDINATION	AZ	BB

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Client
Morehuman Warriewood

Project
FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102

Status
PRELIMINARY

Title
Roof Plan (Part E)

Drawing No.
0574-DA309

Scale
1:100 at A1 size

Revision
A

Date
15/01/21



NORTH ELEVATION - DOVE LANE
1:100



NORTH ELEVATION - LANE
1:100



SOUTH ELEVATION
1:100

C 15/01/21 FOR COORDINATION
B 11/01/21 FOR COORDINATION
A 15/12/20 FOR REVIEW
Rev Date Amendment
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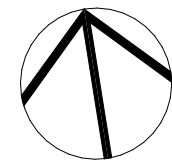
LEGEND:

- CO CONCRETE
BR1 BRICKWORK TYPE 1 (LIGHT)
BR2 BRICKWORK TYPE 2 (DARK)
RM1 RENDERED MASONRY TYPE 1 (LIGHT)
RM2 RENDERED MASONRY TYPE 2 (DARK)
ST STONE CLADDING
TC1 TIMBER-LOOK CLADDING TYPE 1 (LIGHT)
TC2 TIMBER-LOOK CLADDING TYPE 2 (DARK)
TC3 TIMBER-LOOK CLADDING TYPE 3 (MEDIUM)
SC1 SCREEN TYPE 1 (LIGHT)
SC2 SCREEN TYPE 2 (DARK)
SC3 SCREEN TYPE 3 (MEDIUM)

- MT1 METAL TYPE 1 (LIGHT)
MT2 METAL TYPE 2 (DARK)
FP FEATURE PAINT FINISH (COLOUR UNIQUE TO INDIVIDUAL DWELLING)
GW GLAZED WINDOWS (ALUMINIUM FRAMED)
SKY GLAZED SKYLIGHT
DP DOWNPIPE
GU GUTTER
MB METAL BALUSTRADE
MDR METAL DECK ROOF
MF METAL FENCE
TF TIMBER FENCE
GDR1 GARAGE DOOR TYPE 1 (LIGHT)
GDR2 GARAGE DOOR TYPE 2 (DARK)

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Client
Morehuman Warriewood
Project
FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102
Status
PRELIMINARY

Title
Elevations 1 (North & South)
Drawing No.
0574-DA310
Revision
C
Scale
1:100 at A1 size
Date
15/01/21



SOUTH ELEVATION - LANE
1:100



EAST ELEVATION - LANE
1:100



WEST ELEVATION - FERN CREEK ROAD
1:100

NOTES:

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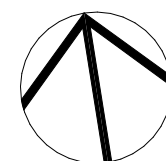
LEGEND:

- | | |
|-----|--------------------------------------|
| CO | CONCRETE |
| BR1 | BRICKWORK TYPE 1 (LIGHT) |
| BR2 | BRICKWORK TYPE 2 (DARK) |
| RM1 | RENDERED MASONRY TYPE 1 (LIGHT) |
| RM2 | RENDERED MASONRY TYPE 2 (DARK) |
| ST | STONE CLADDING |
| TC1 | TIMBER-LOOK CLADDING TYPE 1 (LIGHT) |
| TC2 | TIMBER-LOOK CLADDING TYPE 2 (DARK) |
| TC3 | TIMBER-LOOK CLADDING TYPE 3 (MEDIUM) |
| SC1 | SCREEN TYPE 1 (LIGHT) |
| SC2 | SCREEN TYPE 2 (DARK) |
| SC3 | SCREEN TYPE 3 (MEDIUM) |

- | | |
|------|---|
| MT1 | METAL TYPE 1 (LIGHT) |
| MT2 | METAL TYPE 2 (DARK) |
| FP | FEATURE PAINT FINISH (COLOUR UNIQUE TO INDIVIDUAL DWELLING) |
| GW | GLAZED WINDOWS (ALUMINIUM FRAMED) |
| SKY | GLAZED SKYLIGHT |
| DP | DOWNPIPE |
| GU | GUTTER |
| MB | METAL BALUSTRADE |
| MDR | METAL DECK ROOF |
| MF | METAL FENCE |
| TF | TIMBER FENCE |
| GDR1 | GARAGE DOOR TYPE 1 (LIGHT) |
| GDR2 | GARAGE DOOR TYPE 2 (DARK) |

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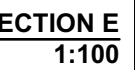
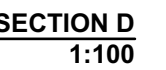
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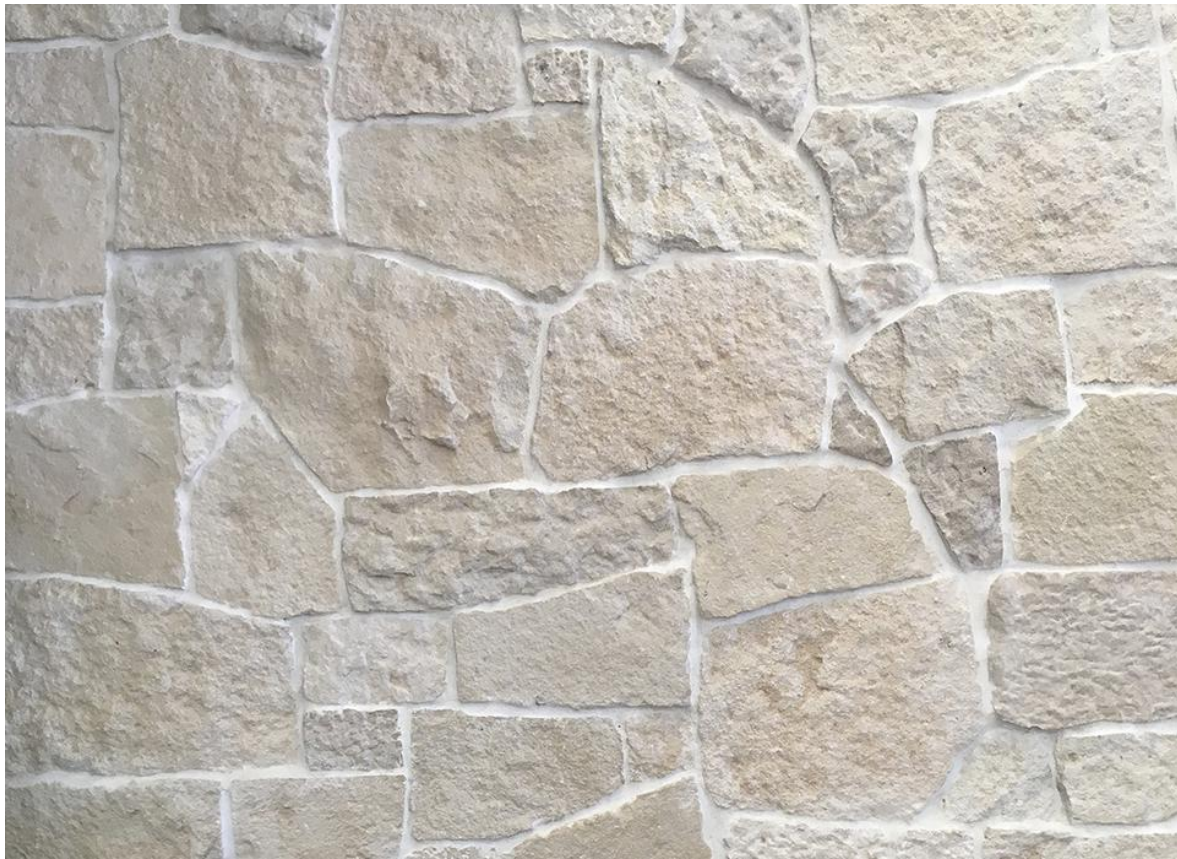
Client
Morehuman Warriewood
Project
FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102
Status
PRELIMINARY

Title
Elevations 2 (South, East & West)
Drawing No.
0574-DA311
Revision
C
Scale
1:100 at A1 size
Date
15/01/21

C 15/01/21 FOR COORDINATION
B 11/01/21 FOR COORDINATION
A 15/01/21 FOR REVIEW
Rev Date Amendment
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Date
15/01/21

CO
CONCRETE

ST
STONE CLADDING



MDR
METAL DECK ROOF



FP
FEATURE PAINT FINISH (COLOUR UNIQUE FOR INDIVIDUAL DWELLINGS)



BR1
BRICKWORK TYPE 1 (LIGHT)



BR2
BRICKWORK TYPE 2 (DARK)

RM1
RENDERED MASONRY TYPE 1 (LIGHT)

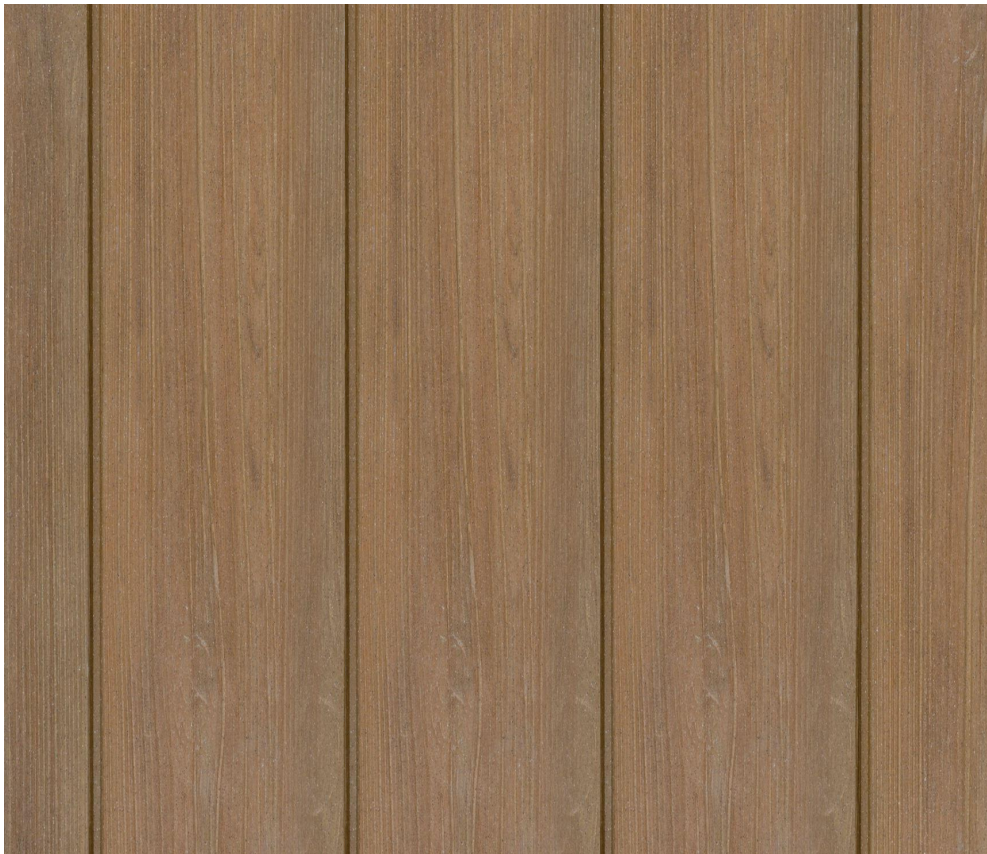
RM2
RENDERED MASONRY TYPE 2 (DARK)



TC1
TIMBER-LOOK CLADDING TYPE 1 (LIGHT)

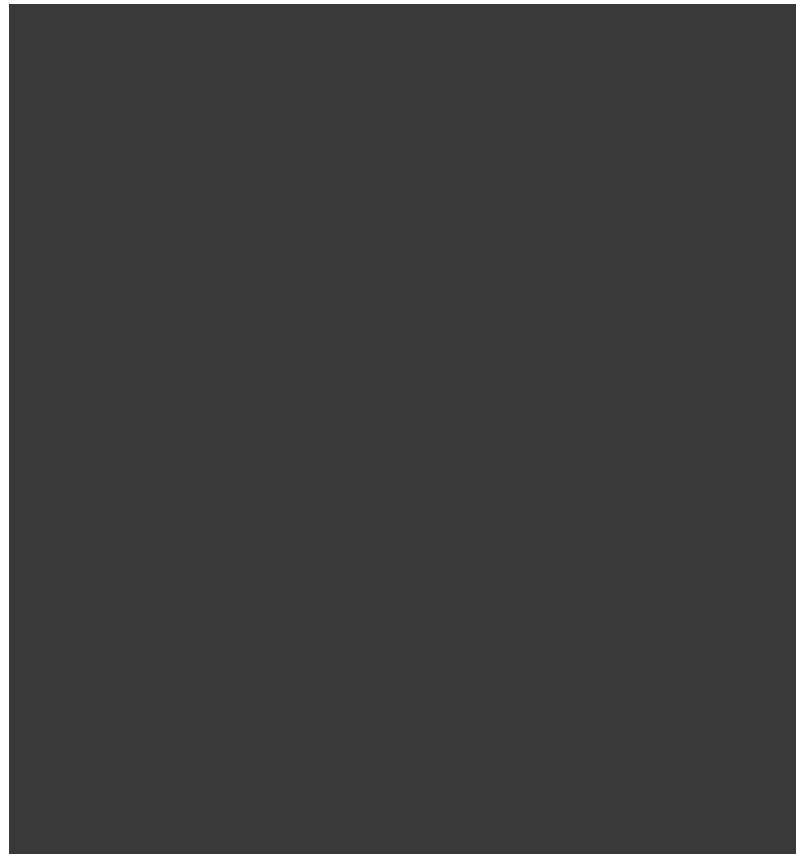


TC2
TIMBER-LOOK CLADDING TYPE 2 (DARK)



TC3
TIMBER-LOOK CLADDING TYPE 3 (MED)

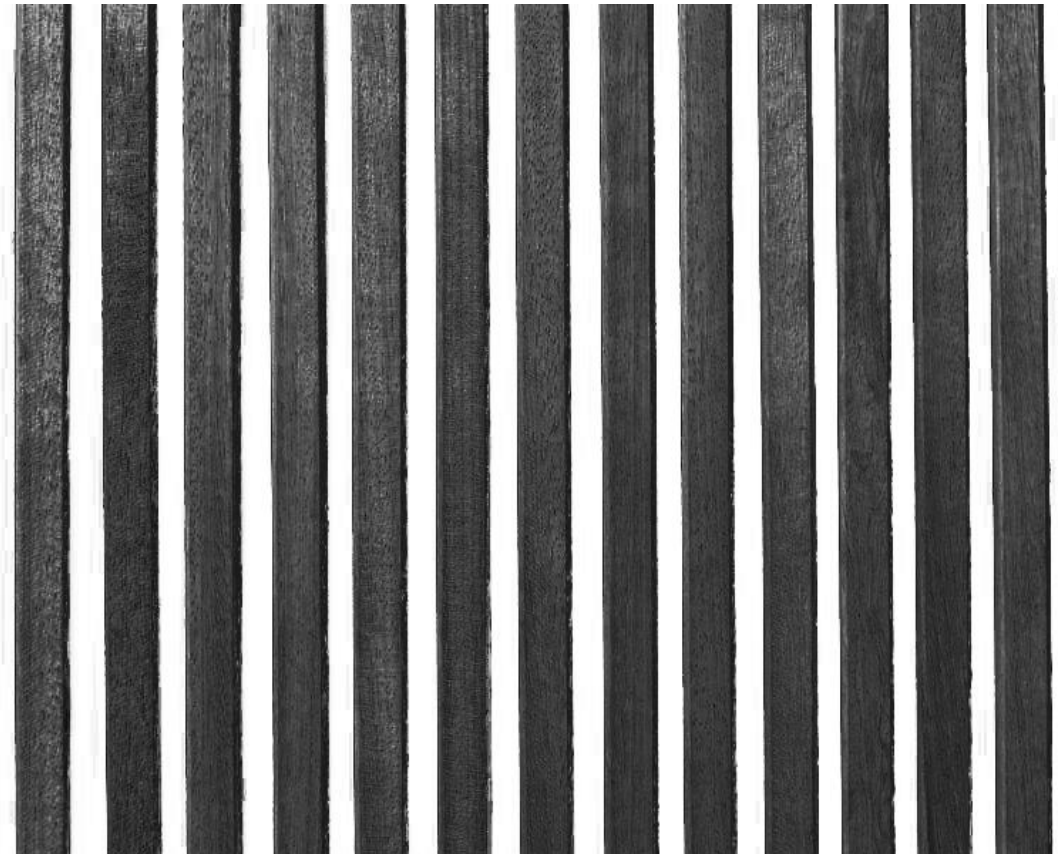
MT1
METAL TYPE 1 (LIGHT)



MT2
METAL TYPE 2 (DARK)



SC1
SCREEN TYPE 1 (LIGHT)



SC2
SCREEN TYPE 1 (DARK)



SC3
SCREEN TYPE 1 (MED)

NOTES:

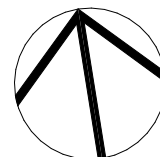
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B	15/01/21	FOR COORDINATION	AZ	BB
A	11/01/21	FOR COORDINATION	GL	BB
Rev	Date	Amendment	Drawn	Checked

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Client
Morehuman Warriewood

Project
FERN CREEK ROAD RESIDENCES

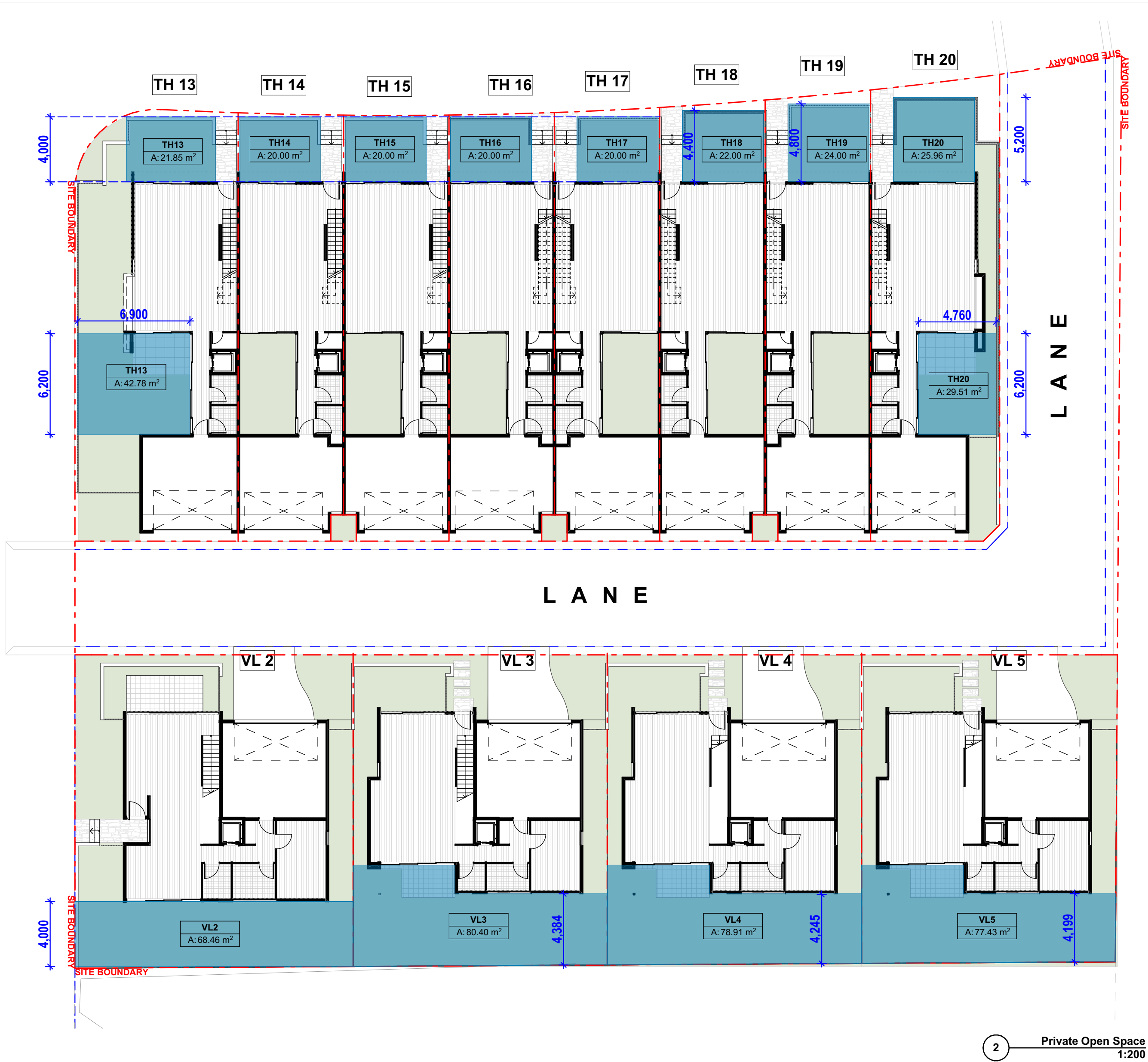
Fern Creek Road Warriewood NSW 2102

Status
PRELIMINARY

Title
External Finishes Schedule

Drawing No.	Revision
0574-DA313	B

Scale	Date
at A1 size	15/01/21



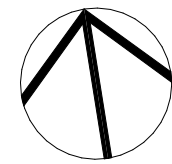
NOTE: LANDSCAPE AREAS SHOWN ARE TOTAL AREAS FOR EACH LOT

Building #	Lot Size Area (sqm)	Solar Access to Living Area Glazing (9am-3pm June 21)	Solar Access to Private Open Space (9am-3pm June 21)	Private Open Space Area (sqm)	Proposed Landscaped Area (sqm)	Proposed Landscaped Area (% of Lot Area)	Required Landscaped Area (% of Lot Area)
VL 2	329.18	6.0 hours	6.0 hours	68.46	120.8	36.70%	35%
VL 3	299.14	6.0 hours	6.0 hours	80.40	107.22	35.84%	
VL 4	297.97	6.0 hours	6.0 hours	78.91	105.9	35.54%	
VL 5	296.92	6.0 hours	6.0 hours	77.43	104.85	35.31%	
TH 13	260.94	6.0 hours	6.0 hours	64.63	124.42	47.68%	25%
TH 14	169.13	6.0 hours	6.0 hours	20.00	42.43	25.09%	
TH 15	168.67	6.0 hours	6.0 hours	20.00	42.18	25.01%	
TH 16	169.16	6.0 hours	6.0 hours	20.00	42.29	25.00%	
TH 17	170.71	6.0 hours	6.0 hours	20.00	43.31	25.37%	
TH 18	173.13	6.0 hours	6.0 hours	22.00	45.13	26.07%	
TH 19	176.71	6.0 hours	6.0 hours	24.00	47.33	26.78%	
TH 20	223.67	6.0 hours	6.0 hours	55.47	68.83	30.77%	

NOTES:
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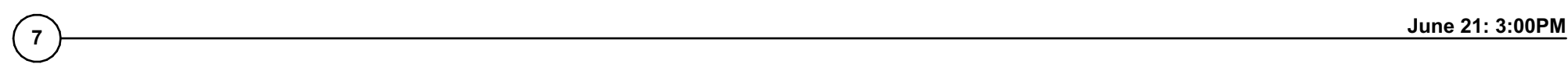
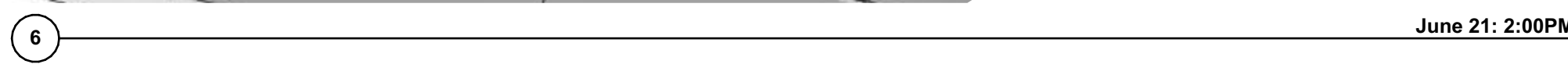
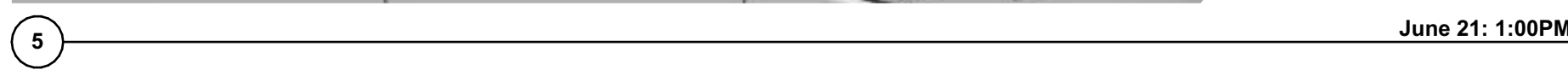
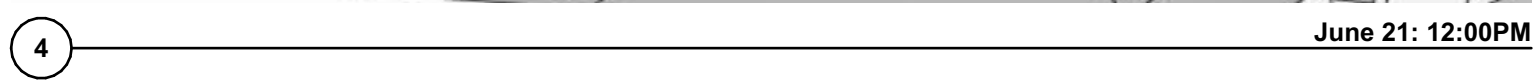
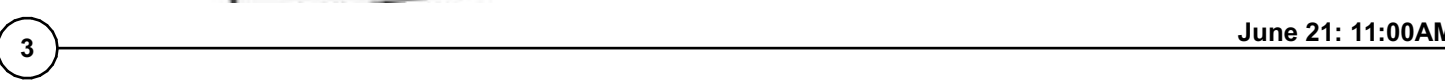
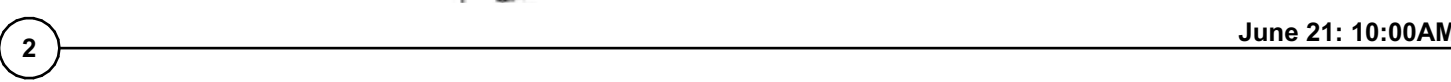
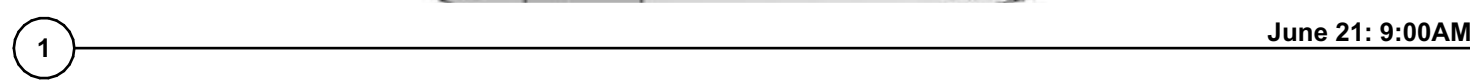
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Client
Morehuman Warriewood
Project
FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102
Status
PRELIMINARY

Title
Landscaped Area & Private Open Space Diagrams
Drawing No.
0574-DA314
Revision
F
Scale
1:200 at A1 size
Date
15/01/21

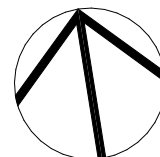


Client	Title
Morehuman Warriewood	Sun Eye Diagrams: June 21
Project	Drawing No.
FERN CREEK ROAD RESIDENCES	0574-DA315
Fern Creek Road Warriewood NSW 2102	Revision
	C
Status	Date
PRELIMINARY	15/01/21

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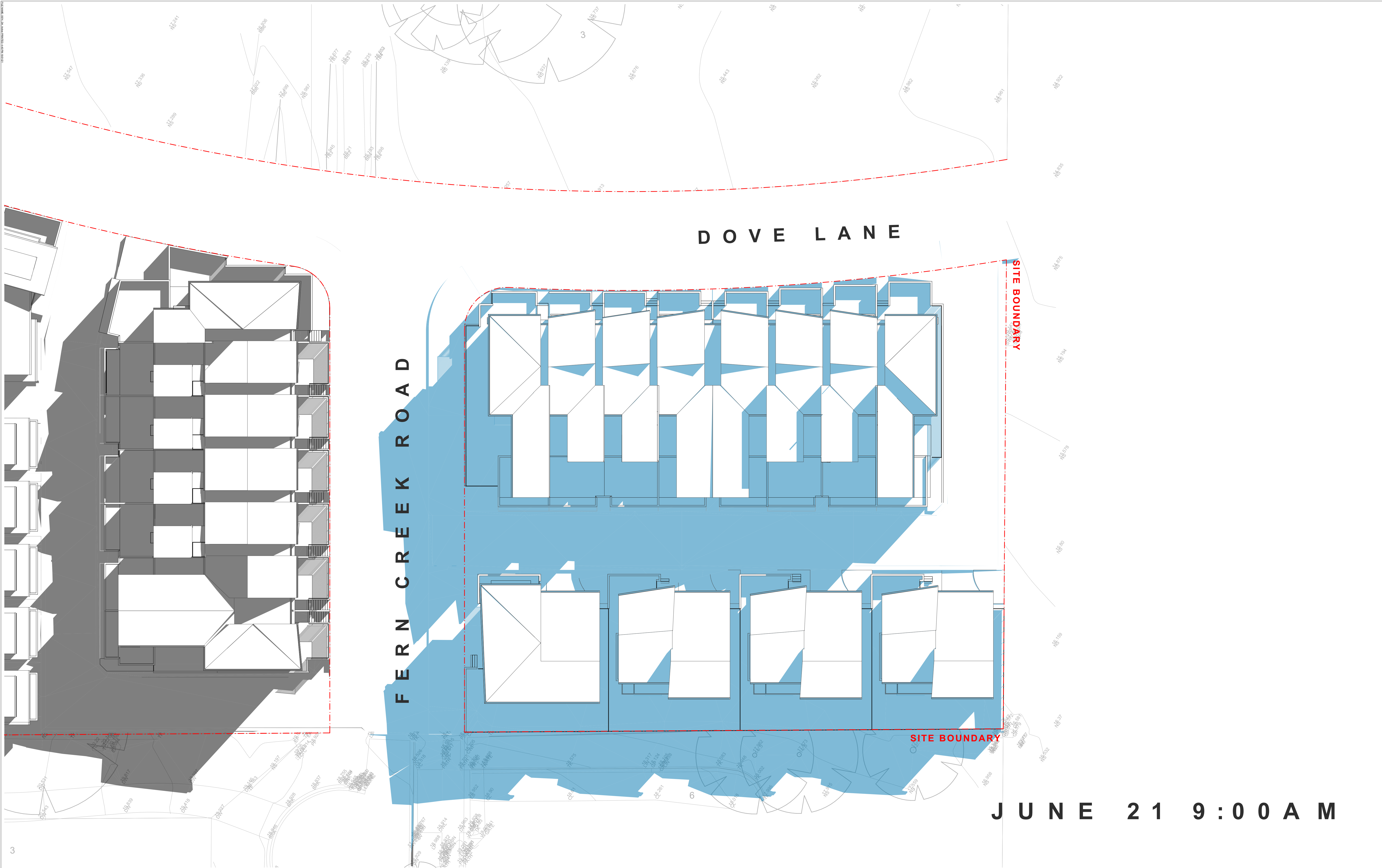


Client
Morehuman Warriewood

Project
FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102

Status
PRELIMINARY

Title	
Sun Eye Diagrams: June 21	
Drawing No.	Revision
0574-DA315	C
Scale	Date
at A1 size	15/01/21



NOTES:

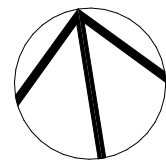
- ALL LEVELS TO AHD.
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01 11/01/21 FOR COORDINATION
Rev Date Amendment
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PROPOSED SHADOWS CAST ON ADJACENT SITE
PROPOSED SHADOWS ON SUBJECT SITE

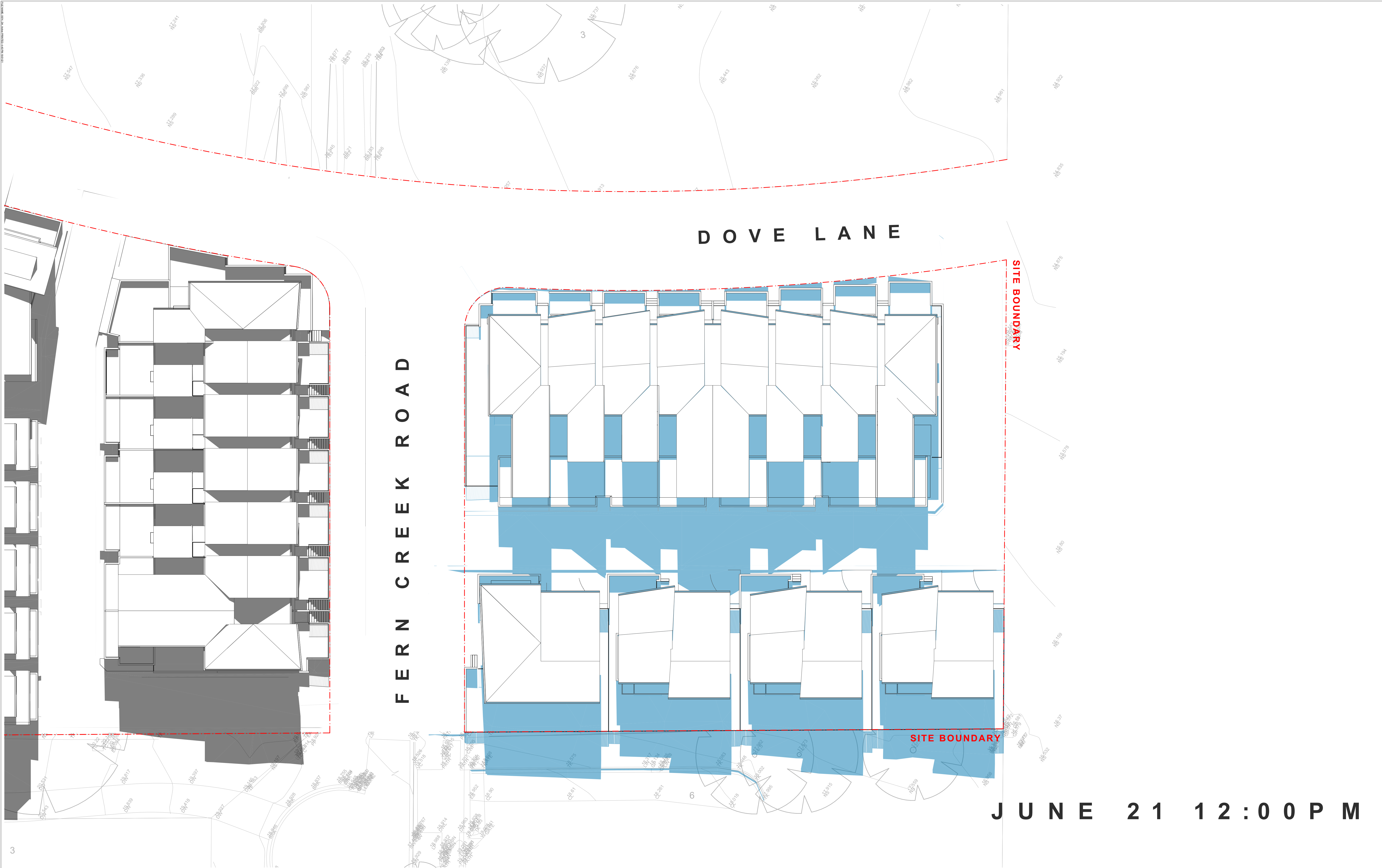
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Client
Morehuman Warriewood
Project
FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102
Status
PRELIMINARY

Title
Shadow Diagram: 9:00am June 21
Drawing No.
0574-DA316
Revision
B
Scale
1:200 at A1 size
Date
15/01/21



NOTES:

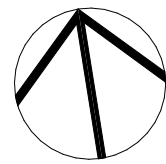
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11/01/21 FOR COORDINATION
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PROPOSED SHADOWS CAST ON ADJACENT SITE
PROPOSED SHADOWS ON SUBJECT SITE

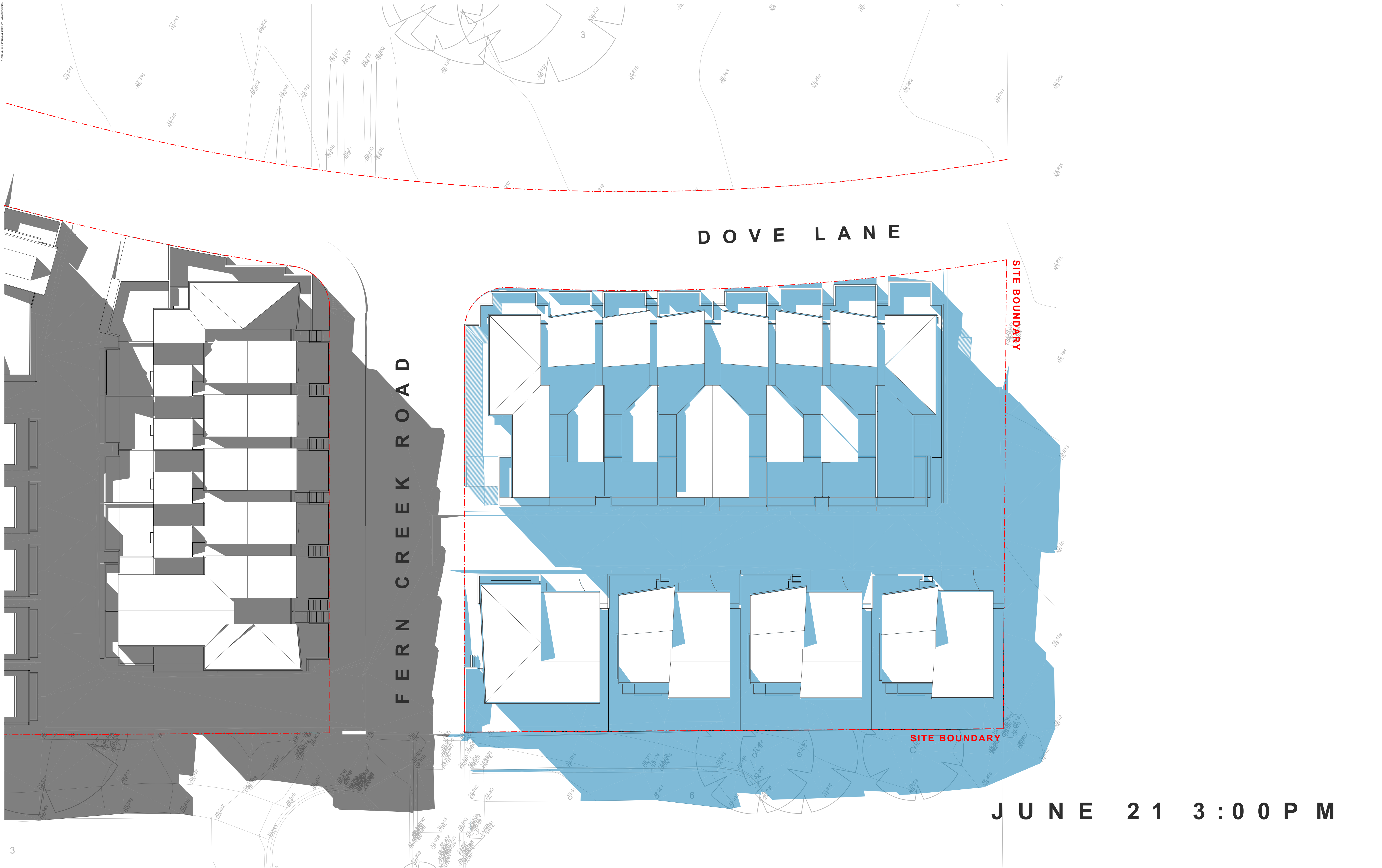
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Client
Morehuman Warriewood
Project
FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102
Status
PRELIMINARY

Title
Shadow Diagram: 12:00pm June 21
Drawing No.
0574-DA317
Revision
B
Scale
1:200 at A1 size
Date
15/01/21



3

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01 11/01/21 FOR COORDINATION
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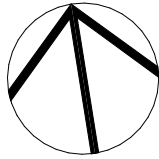
A2 BB
02 08
Dwn Clk

- NOTES:**
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PROPOSED SHADOWS CAST ON ADJACENT SITE
PROPOSED SHADOWS ON SUBJECT SITE

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Client
Morehuman Warriewood
Project
FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102
Status
PRELIMINARY

Title
Shadow Diagram: 3:00pm June 21
Drawing No.
0574-DA318
Revision
B
Scale
1:200 at A1 size
Date
15/01/21



TH13-15 STREET PERSPECTIVE



TH13-20 STREET PERSPECTIVE



VL2-5 STREET PERSPECTIVE

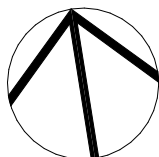
NOTES:

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Rev Date Amendment Dwn Chk
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Client
Morehuman Warriewood
Project
FERN CREEK ROAD RESIDENCES
Fern Creek Road Warriewood NSW 2102
Status
PRELIMINARY

Title
Photomontages
Drawing No.
0574-DA319
Revision
A
Scale
at A1 size
Date
15/01/21