

PLAYFAIR ROAD

SITE ANALYSIS PLAN

Scale: 1:100

EXIST VEHICLE ACCESS

SOUTH COOL AFTERNOON WINDS

DIRECTION OF NATURAL FLOW OF DRAINAGE WITHIN SITE

NORTH/EAST COOL AFTERNOON WINDS

NORTH/WEST HOT WINDS

3PM 21 JUNE SUN

NOON 21 JUNE SUN

9AM 21 JUNE SUN

OUTLINE OF EXIST. DWELLING TO REMAIN

PROPOSED ADDITIONAL FLOOR AREA

PROPOSED ANCILLIARY AREA

OUTLINE OF EXIST. DWELLING TO BE DEMOLISHED

SITE CALCULATIONS

**SITE AREA:** 863.80sqm  
**FLOOR AREAS:**  
EXIST. GROUND FLOOR: 136sqm (96sqm HOUSE + 40sqm OUTBUILDING)  
NEW GROUND FLOOR ADDITIONS: 94sqm  
TOTAL FLOOR AREA: 230sqm (0:266:1 FSR)  
**LANDSCAPED AREA:**  
PROPOSED LANDSCAPED AREAS: 407.5sqm (47.18% OF TOTAL SITE AREA)  
REQUIRED LANDSCAPED AREA: 345.52sqm(40% OF TOTAL SITE AREA)  
**PRIVATE OPEN SPACE:**  
PROVIDED AREA: 313sqm (MIN 5m)  
REQUIRED AREA: 60sqm (MIN 5m)

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT  
DA2025/0012

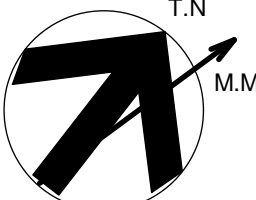
DATE	REV	AMENDMENTS
12/12/24	A	DA ISSUE

- DO NOT SCALE FROM DRAWING. USE WRITTEN DIMENSIONS ONLY.
- BUILDER TO CHECK AND VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
- THE DESIGNER'S DETAILS CONTAINED ON THIS DRAWING ARE SUPPLIED IN CONFIDENCE & ARE NOT TO BE USED FOR ANY OTHER PURPOSE EXCEPT THAT AUTHORIZED BY C. COPYRIGHT BUILDING DESIGN & TECHNOLOGY.

BDT

**BUILDING DESIGN & TECHNOLOGY Pty Ltd**  
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PROJECT: PROPOSED RENOVATIONS LOCATED AT 15 PLAYFAIR RD NTH CURL CURL  
TITLE: SITE ANALYSIS PLAN  
SCALE: 1:100 @ A1  
PROJECT DATE: OCT 2024  
PROJECT No. 202426  
DRAWN: MM  
CHECKED: REV: A  
DWG No. DA 0.01



BASIX INCLUSIONS CERT- A1777402:

**WATER SAVING FITTINGS:**  
3 STAR (9 LITRES PM) SHOWER HEAD & 3 STAR (9 LITRES PM) WATER SAVING FITTINGS ARE TO BE INSTALLED TO ALL KITCHEN & BASIN TAPS. DUAL FLUSH 3 STAR (4 LITRES PER FLUSH) TOILETS ARE ALSO TO BE INSTALLED.

**INSULATION:**  
R9.5 POLY BOARD INSULATION TO SUSPENDED OPEN SUBFLOOR AREA  
R1.3 BATT INSULATION TO EXTERNAL WALLS.  
R1.95 BATT INSULATION TO CEILINGS.  
50mm ANTI-CORR FOIL BRACKET BLANKET TO UNDER METAL ROOFING.  
ROOFING SOLAR ABSORPTANCE 0.475-0.70

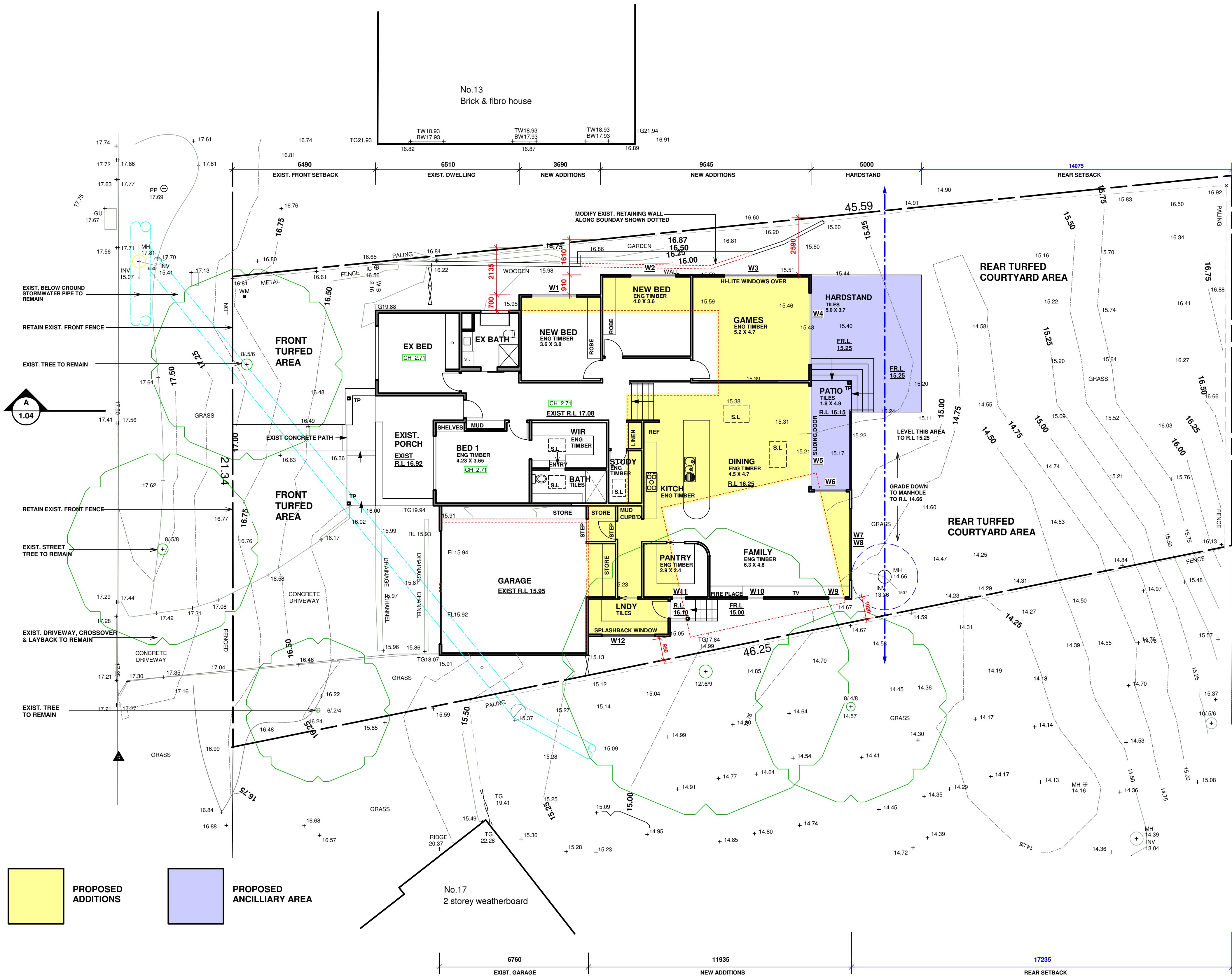
**ARTIFICIAL LIGHTING:**  
PRIMARY TYPE OF LIGHTING TO BE LED OR FLUORESCENT TO ALL ALL AREAS.

**WINDOWS & SKYLIGHTS:**  
WINDOWS TO BE ALUMINIUM FRAMED WITH U<sub>W</sub> VALUE 5.7-7.63 & SHGC<sub>W</sub> 0.47-0.75 IN ACCORDANCE WITH BASIX CERTIFICATE.

SKYLIGHTS TO BE TIMBER FRAMED DOUBLE GLAZED LOW E ARGON FILLED WITH A U<sub>W</sub> VALUE 2.9 & SHGC<sub>W</sub> 0.456 IN ACCORDANCE WITH BASIX/NATHERS CERTIFICATE



PLAYFAIR ROAD



## GROUND FLOOR PLAN

Scale: 1:100

OUTLINE OF EXIST. DWELLING  
TO BE DEMOLISHED

PROPOSED  
ADDITIONS

PROPOSED  
ANCILLIARY AREA

### BASIX INCLUSIONS CERT- A1777402:

**WATER SAVING FITTINGS**  
3 STAR (9 LITRES PER MIN) SHOWER HEAD & 3 STAR (9 LITRES PER MIN) WATER SAVING FITTINGS ARE TO BE  
INSTALLED TO ALL KITCHEN & BASIN TAPS. DUAL FLUSH 3 STAR (4 LITRES PER FLUSH) TOILETS ARE  
ALSO TO BE INSTALLED.

**INSULATION**  
R9.5 POLY BOARD INSULATION TO SUSPENDED OPEN SUBFLOOR AREA  
R1.3 BATT INSULATION TO EXTERNAL WALLS  
R1.95 BATT INSULATION TO CEILINGS  
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ROOFING SOLAR ABSORPTANCE 0.45-0.70

**ARTIFICIAL LIGHTING**  
PRIMARY TYPE OF LIGHTING TO BE LED OR FLUORESCENT TO ALL ALL AREAS.

**WINDOWS & SKYLIGHTS**  
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BASIX CERTIFICATE.

SKYLIGHTS TO BE TIMBER FRAMED DOUBLE GLAZED LOW E ARGON FILLED  
WITH A U<sub>w</sub> VALUE 2.9 & SHGC<sub>w</sub> 0.456 IN ACCORDANCE WITH BASIX/NATHERS CERTIFICATE

### SITE CALCULATIONS

**SITE AREA:** 863.80sqm

#### FLOOR AREAS:

EXIST. GROUND FLOOR: 136sqm (96sqm HOUSE + 40sqm OUTBUILDING)  
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CONSENT

DA2025/0012

DATE	REV	AMENDMENTS
12/12/24	A	DA ISSUE
14/11/24	-	CONSULTANT ISSUE

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**BDT**

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PROJECT: **PROPOSED RENOVATIONS LOCATED AT  
15 PLAYFAIR RD NTH CURL CURL**

TITLE: **GROUND FLOOR**

SCALE: 1:100 @ A1

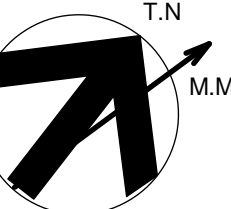
DRAWN: MM

PROJECT DATE: OCT 2024

CHECKED: REV: A

PROJECT No. 202426

DWG No. DA 1.01





OUTLINE OF THE PORTION OF EXIST. DWELLING TO REMAIN IS SHOWN SHADED

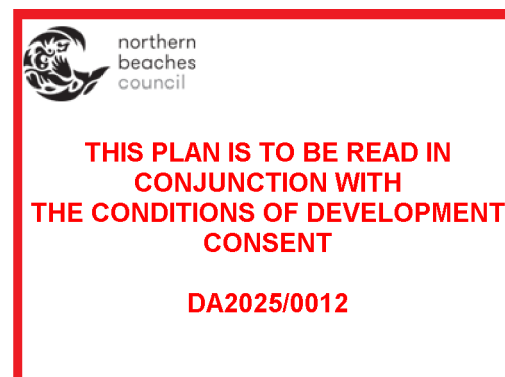


OUTLINE OF THE PORTION OF EXIST. DWELLING TO REMAIN IS SHOWN SHADED

WINDOW SCHEDULE				
WINDOW NO	WIDTH	HEIGHT	TOTAL	TYPE
1	2050	1800	1	ALUM FRAMED SLIDING WINDOW
2	2050	1800	1	ALUM FRAMED SLIDING WINDOW
3	2400	850	1	ALUM FRAMED SLIDING WINDOW
4	3250	2050	1	ALUM FRAMED FIXED / LOUVRE WINDOW
5	3180	3230	1	ALUM FRAMED SLIDING DOOR
6	1450	3000	1	ALUM FRAMED AWNING WINDOW
7	3250	3000	1	ALUM FRAMED FIXED WINDOW
8	3250	2420	1	ALUM FRAMED FIXED ANGLED HI-LITE WINDOW
9	750	2400	1	ALUM FRAMED AWNING WINDOW
10	750	2400	1	ALUM FRAMED AWNING WINDOW
11	720	2400	1	ALUM FRAMED GLAZED DOOR
12	2400	685	1	ALUM FRAMED SLIDING WINDOW
TOTAL			12	



OUTLINE OF THE PORTION OF EXIST. DWELLING TO REMAIN IS SHOWN SHADED



12/12/24	A	DA ISSUE
14/11/24	-	CONSULTANT ISSUE
DATE	REV	AMENDMENTS

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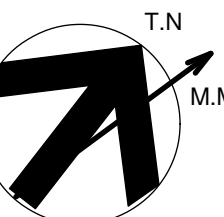
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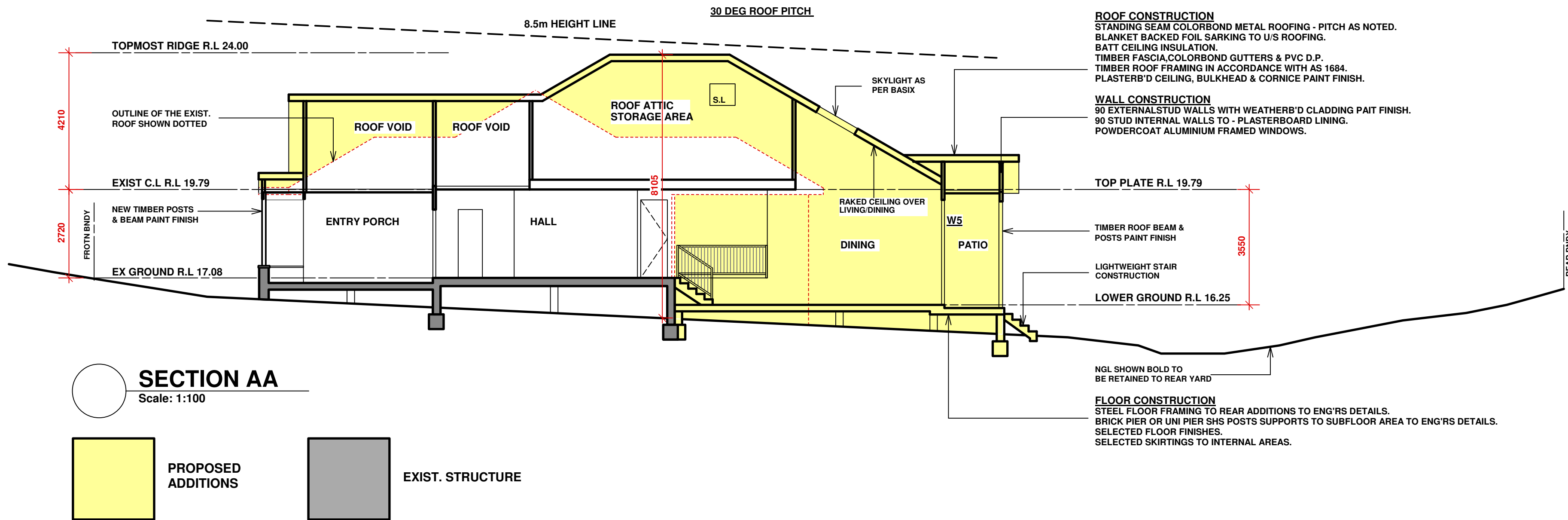
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PROJECT: <b>PROPOSED RENOVATIONS LOCATED AT 15 PLAYFAIR RD NTH CURL CURL</b>			
TITLE: <b>ELEVATIONS</b>			
SCALE:	1:100 @ A1	DRAWN:	MM
PROJECT DATE:	OCT 2024	CHECKED:	REV: A
PROJECT No.	2024246	DWG No.	DA 1.03







FINISHES & COLOUR LEGEND

WEATHERBOARD CLADDING = SELECTED WEATHERBOARD CLADDING TO MATCH EXIST.  
= COLOUR DULUX NATURAL WHITE OR SIMILAR

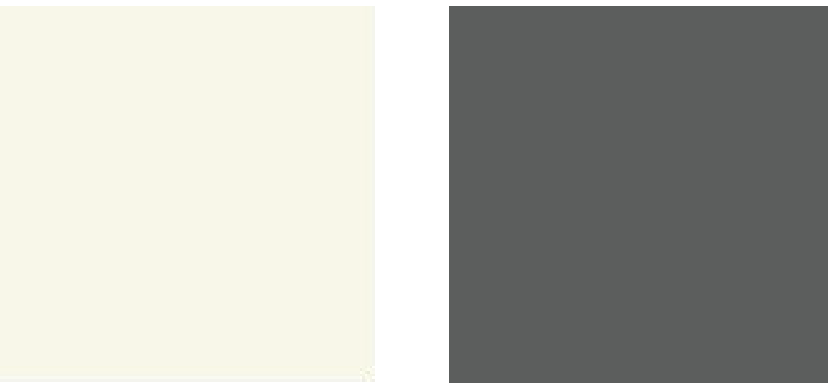
COLORBOND ROOFING (SELECTED PROFILE) = COLORBOND BASALT

TIMBER FASCIA & COLORBOND GUTTERS = COLORBOND BASALT

ALUM FRAMED WINDOWS= POWDERCOAT WHITE

EXTERNAL TIMBER POSTS & BEAMS = DULUX NATURAL WHITE OR SIMILAR

BASE WALLS = SELECTED SANDSTONE CLADDING



DULUX NATURAL WHITE  
COLORBOND BASALT



STONE CLADDING

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DA2025/0012

12/12/24	A	DA ISSUE
DATE	REV	AMENDMENTS

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PROJECT : PROPOSED RENOVATIONS LOCATED AT  
15 PLAYFAIR RD NTH CURL CURL

TITLE: SECTION AA & COLOUR SCHEDULE

SCALE : 1:100 @ A1  
PROJECT DATE : OCT 2024  
PROJECT No. 202426

DRAWN : MM  
CHECKED :  
DWG No. DA 1.04

