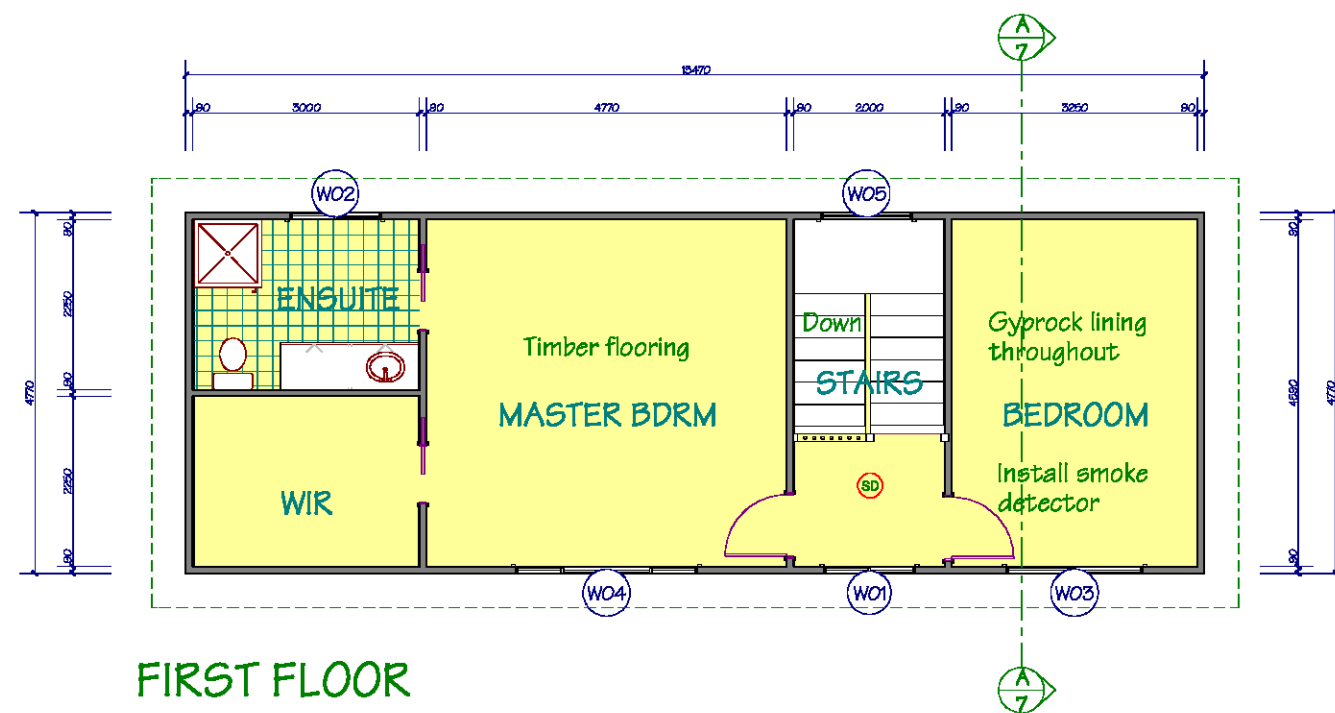


THIS PLAN TO BE READ IN
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WINDOW SCHEDULE						
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	U-FACTOR	SHGC
W01	1	1200	1200	RIGHT SLIDING	5.4	0.522
W02	1	1200	750	RIGHT SLIDING	5.4	0.522
W03	2	1800	1200	RIGHT SLIDING	5.4	0.522
W04	1	2400	1200	TRIPLE SLIDING	5.4	0.522
W05	1	1200	750	FIXED GLASS	5.4	0.522
W06	1	1800	750	TRIPLE SLIDING	5.4	0.522

GLASS DOOR SCHEDULE				
NUMBER	QTY	SIZE	DESCRIPTION	ENERGY
D01	2	4 000W X 2 100H	CONCERTINA DOOR	U: 5.4 SHGC: 0.441-0.539



- BASIX Requirements**
1. All new or modified light fittings to be compact fluorescent or LED.
 2. All new showerheads to be 4-star rated (4.5 to 6 l/min).
 3. All new taps to be 6-star rated.
 4. All new toilets to be 6-star rated.
 5. Walls to be insulated to R2 or R2.4 including construction.
 6. Ceiling to be insulated with 75 mm foil backed blanket R3.5.
 7. All new windows to have U-value and SHGC as shown in the window schedule.
 9. An outdoor clothes line is to be installed.

PROPOSED FLOOR PLAN

SCALE 1:100

NOTES:

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2. ALL DIMENSIONS ARE REFERENCE AND ARE TO BE VERIFIED BEFORE CONSTRUCTION COMMENCES.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ANY OTHER SHEETS, ENGINEERING DETAILS AND SPECIFICATIONS SUPPLIED.

DO NOT
SCALE
DRAWING

PROJECT
PROPOSED ALTERATIONS TO RESIDENCE
FOR
M Reber
399 Condamine Street
Allambie NSW

DESIGN BY
THE COMPUTER CREW
9428 4834
compcrew@optusnet.com.au

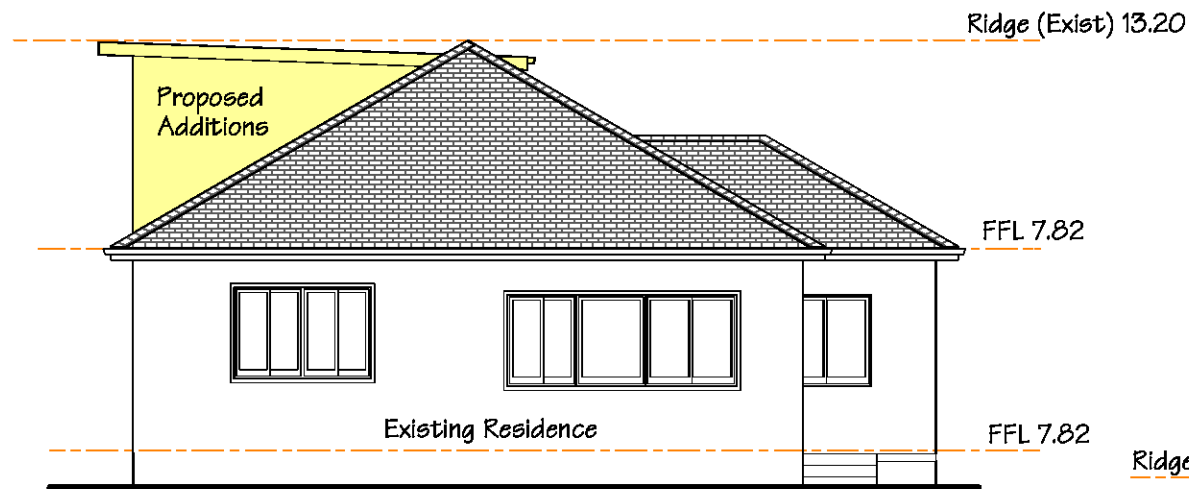
March 2018

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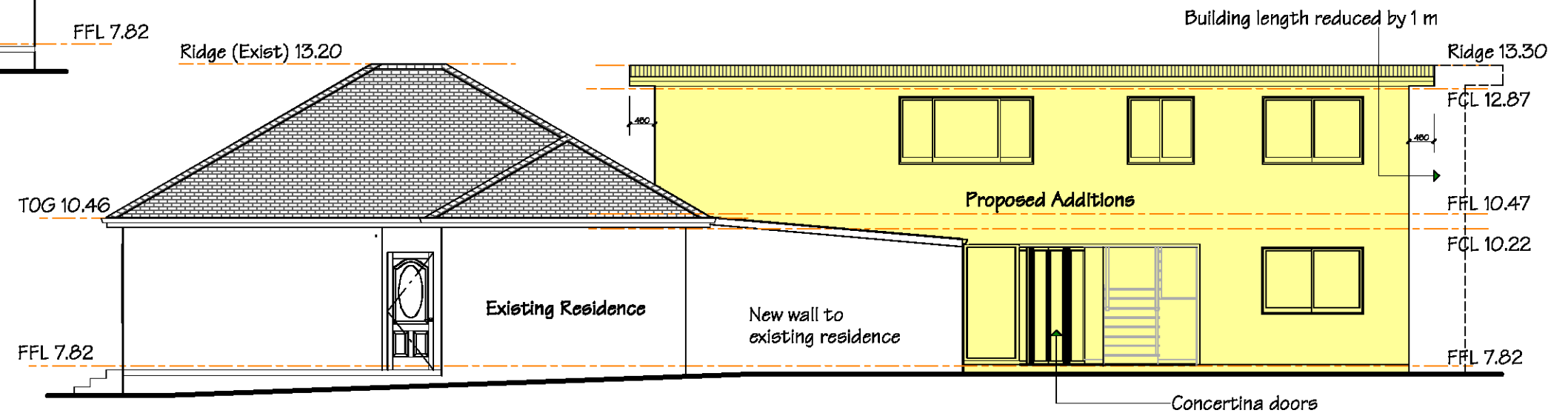
SHEET

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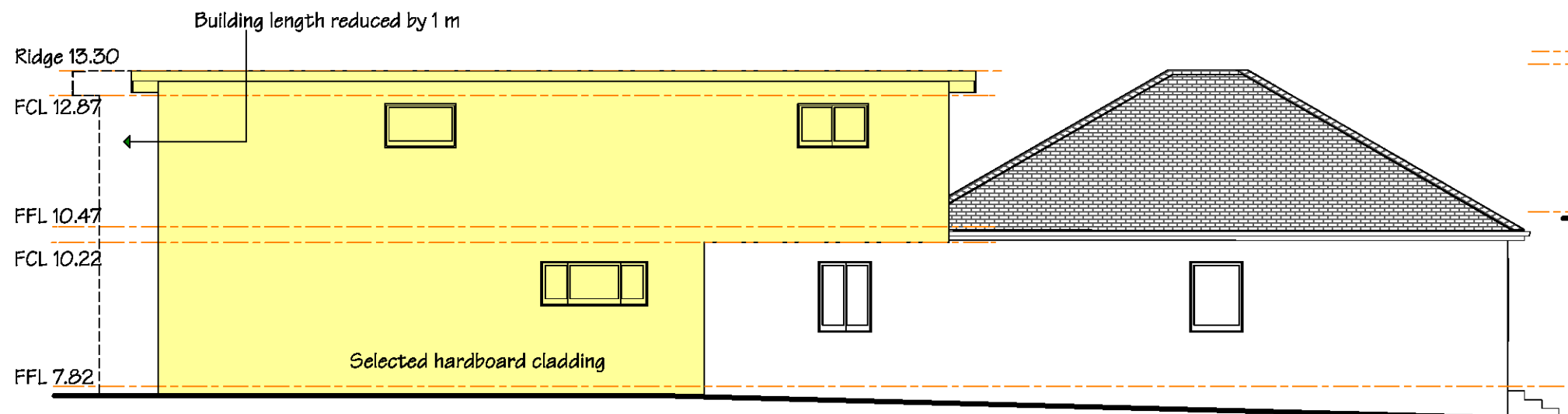
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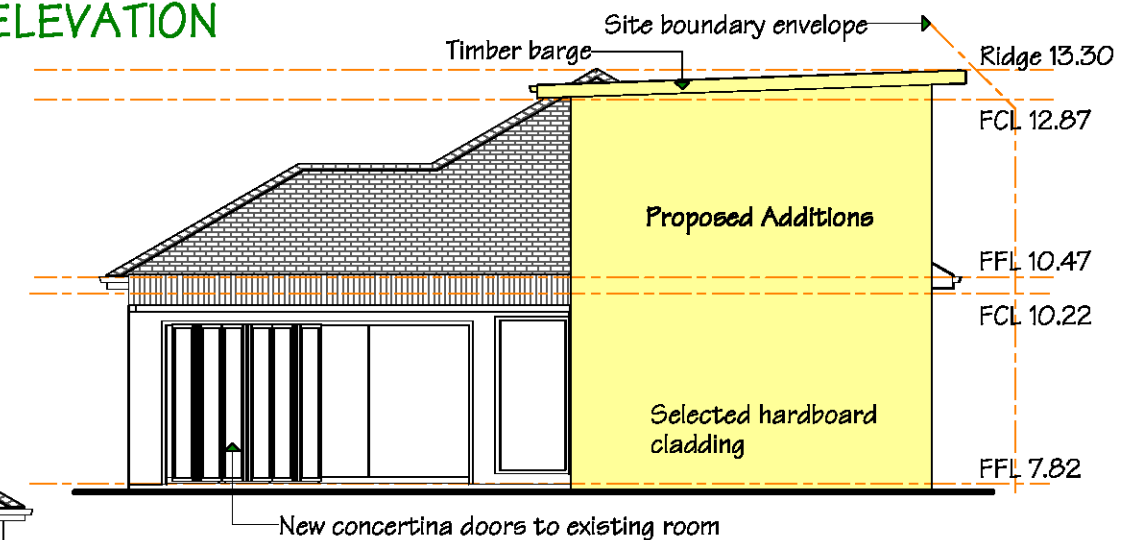
FRONT (EAST) ELEVATION



SIDE (NORTH) ELEVATION



SIDE (SOUTH) ELEVATION



REAR (WEST) ELEVATION

PROPOSED ELEVATIONS

SCALE 1:100

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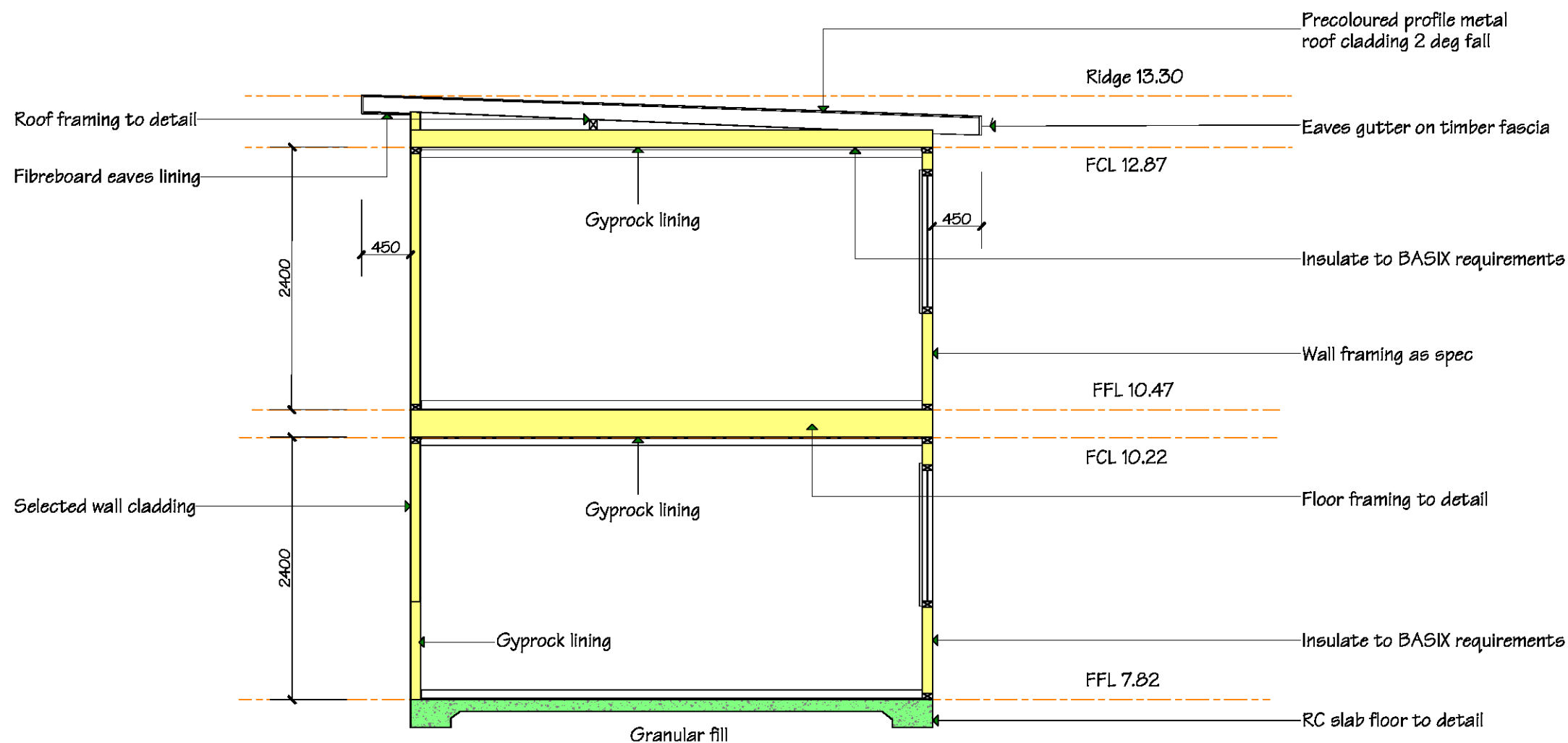
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SHEET

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SECTION A-A

BASIX Requirements

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NORTHERN BEACHES COUNCIL

SECTION AND DETAILS

SCALE 1:50

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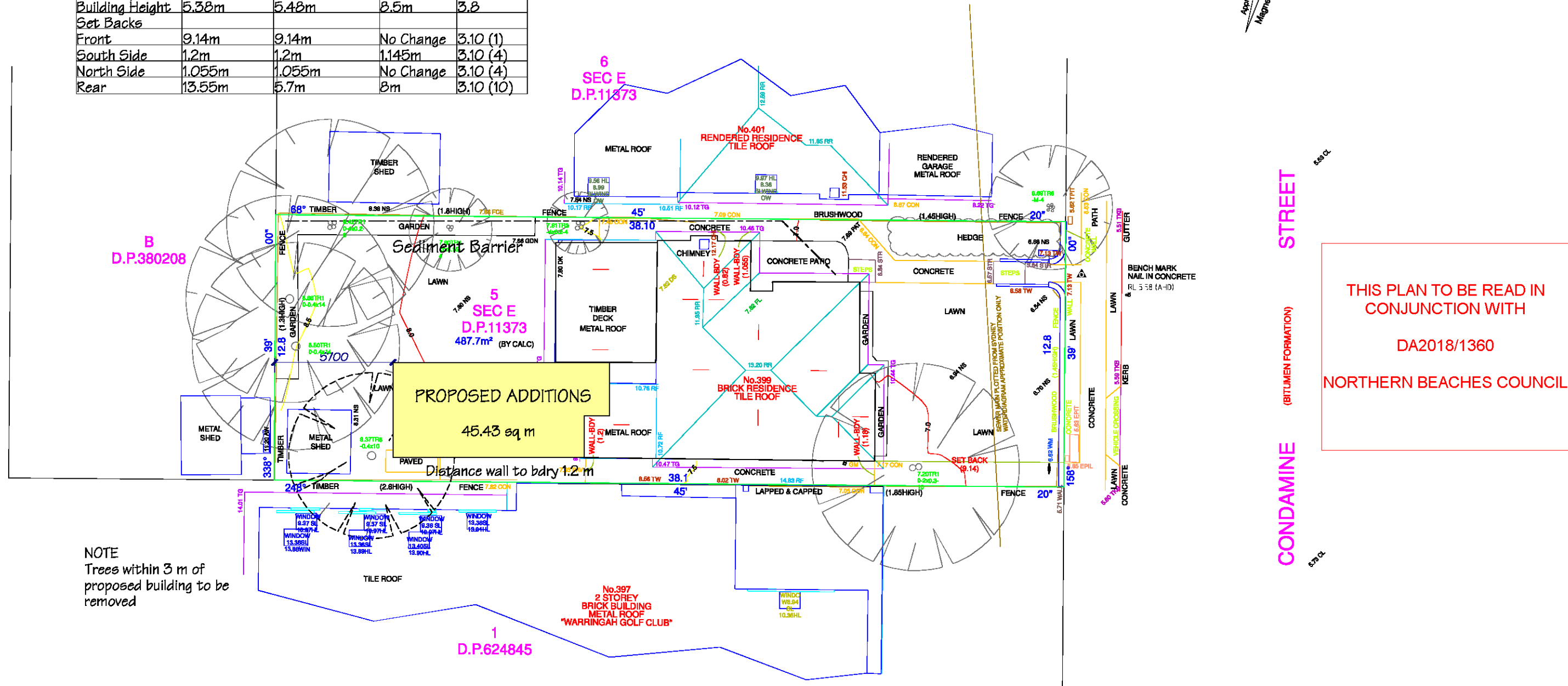
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SHEET

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Site Area Analysis				
Area	Existing sq m	Proposed sq m	Allowance	SEPP
Site	487.7	487.7		
Residence	140.6	186.03	290 sq m	3.9
Paving & Patio	35.5	35.5		
Total Covered	176.1	221.53		
	36.1%	45.4%		
Open Space	311.6	266.47		
Landscaping	63.9%	54.6%	20%	3.13 (1)(3)
Building Height	5.38m	5.48m	8.5m	3.8
Set Backs				
Front	9.14m	9.14m	No Change	3.10 (1)
South Side	1.2m	1.2m	1.145m	3.10 (4)
North Side	1.055m	1.055m	No Change	3.10 (4)
Rear	13.55m	5.7m	8m	3.10 (10)



SITE PLAN

SCALE 1:200

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