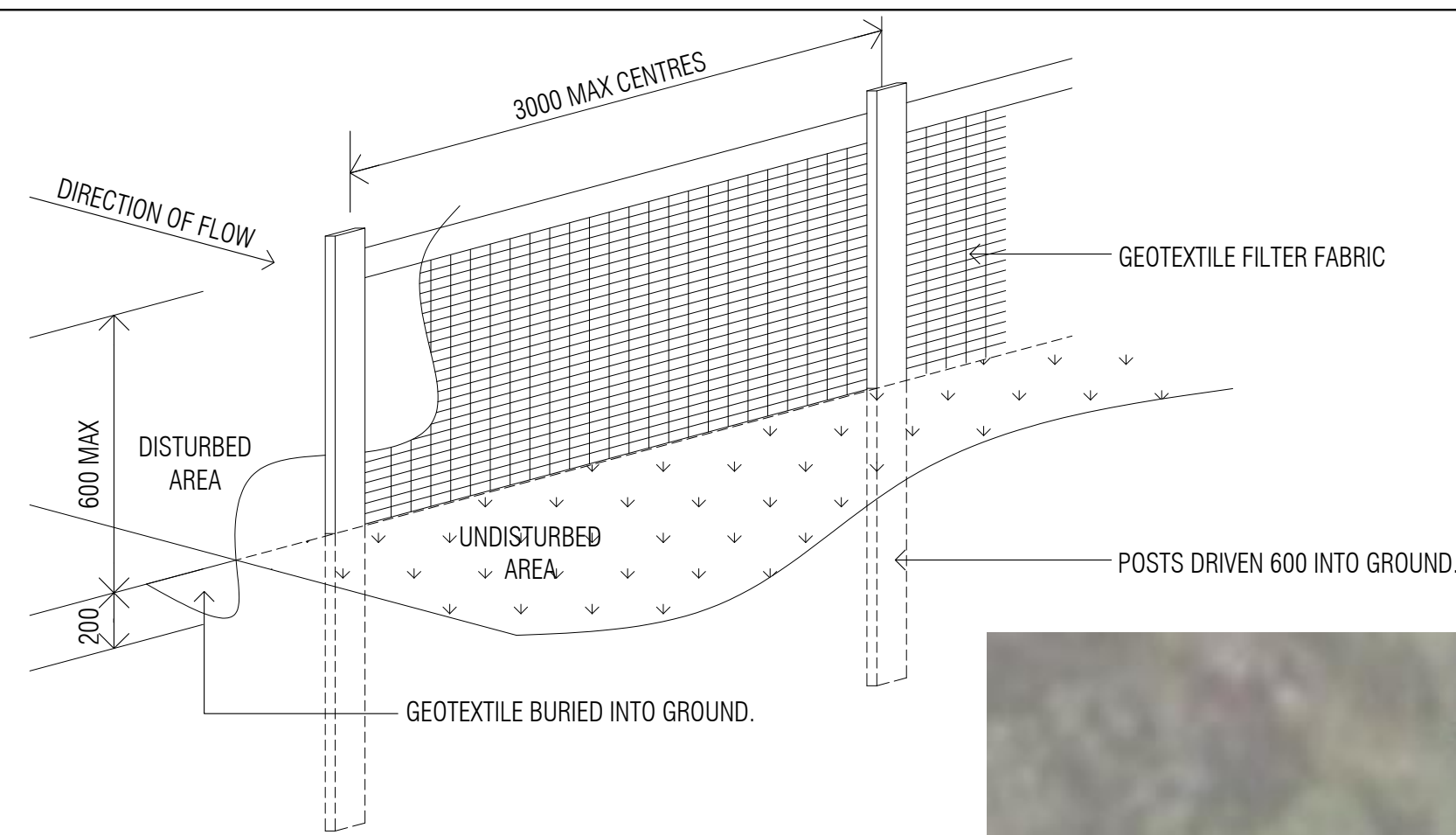
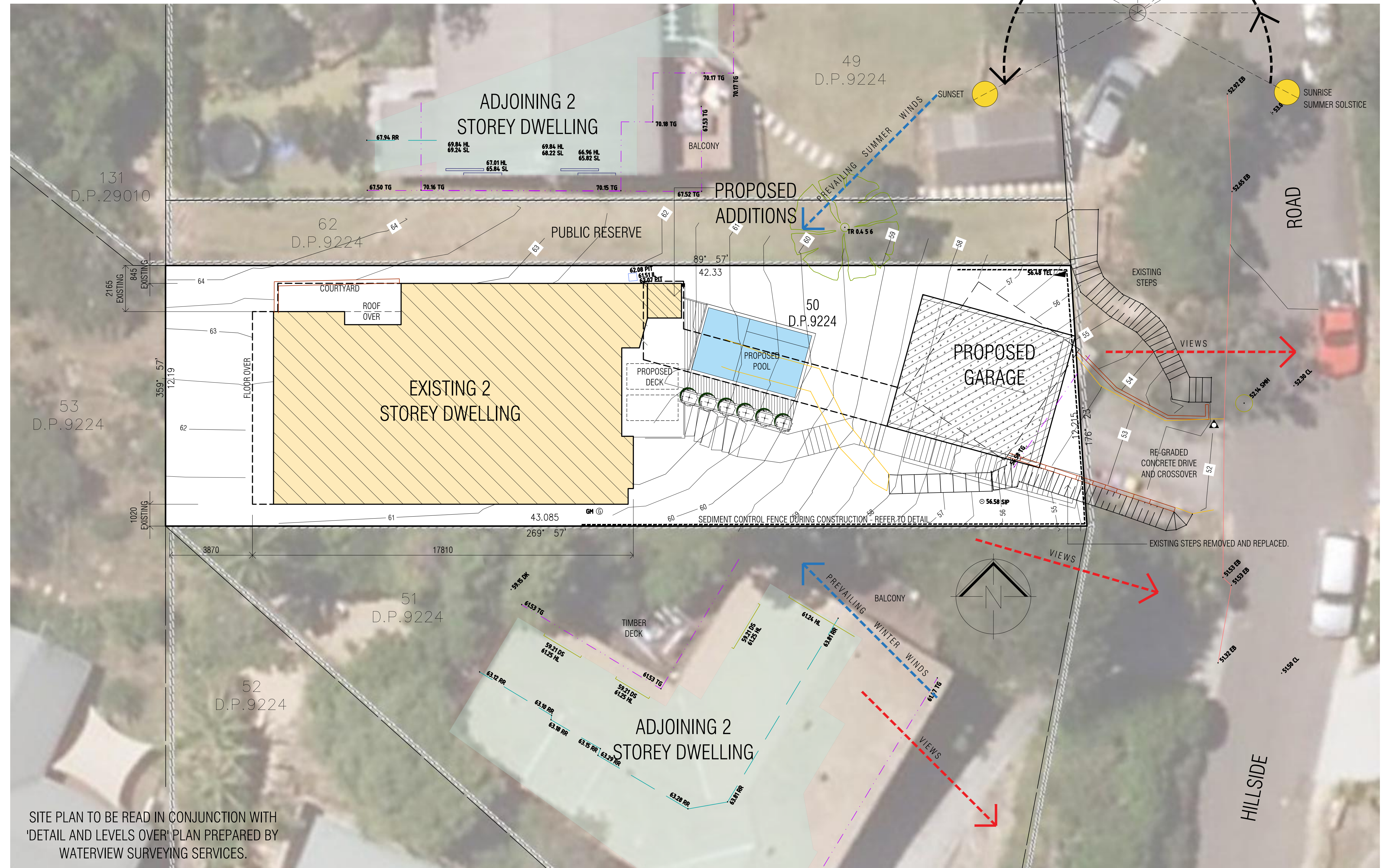




SEDIMENT
CONTROL FENCE NTS.



PROPOSED ALTERATIONS AND ADDITIONS

57 HILLSIDE RD, NEWPORT.

REV D - ADDITIONAL DRIVEWAY INFORMATION - 22.08.2022
REV B - SURVEY & AREA NOTATIONS UPDATED - 26.05.2022
REV A - ISSUED FOR DESIGN APPROVAL - 12.01.2022

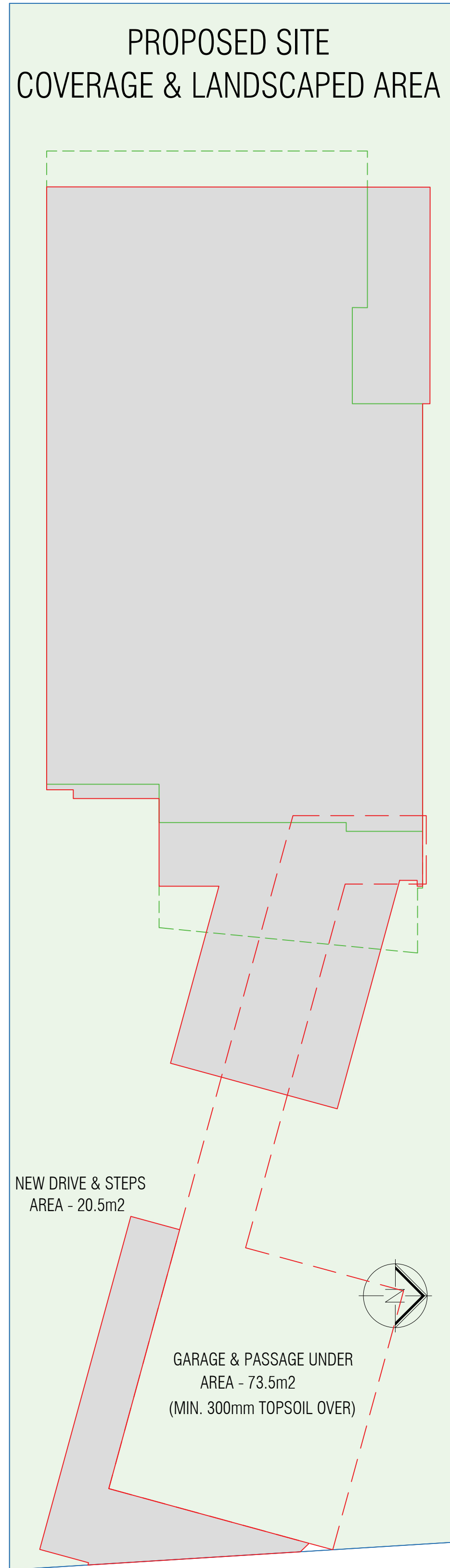
J R DESIGN AUSTRALIA pty Ltd

SITE ANALYSIS PLAN

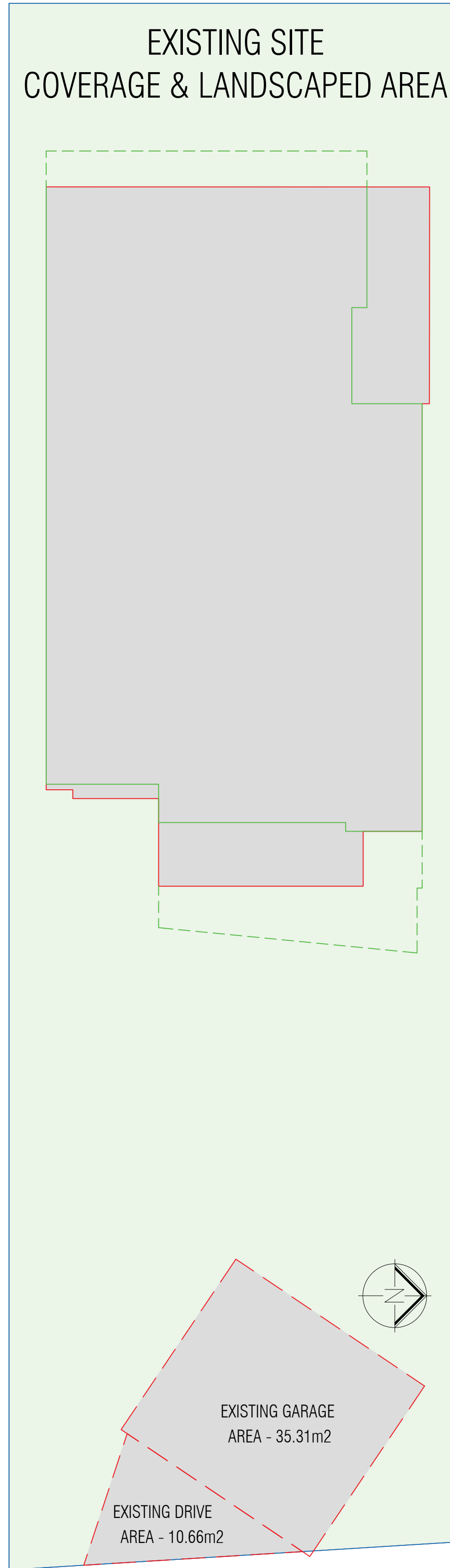
DA.01D

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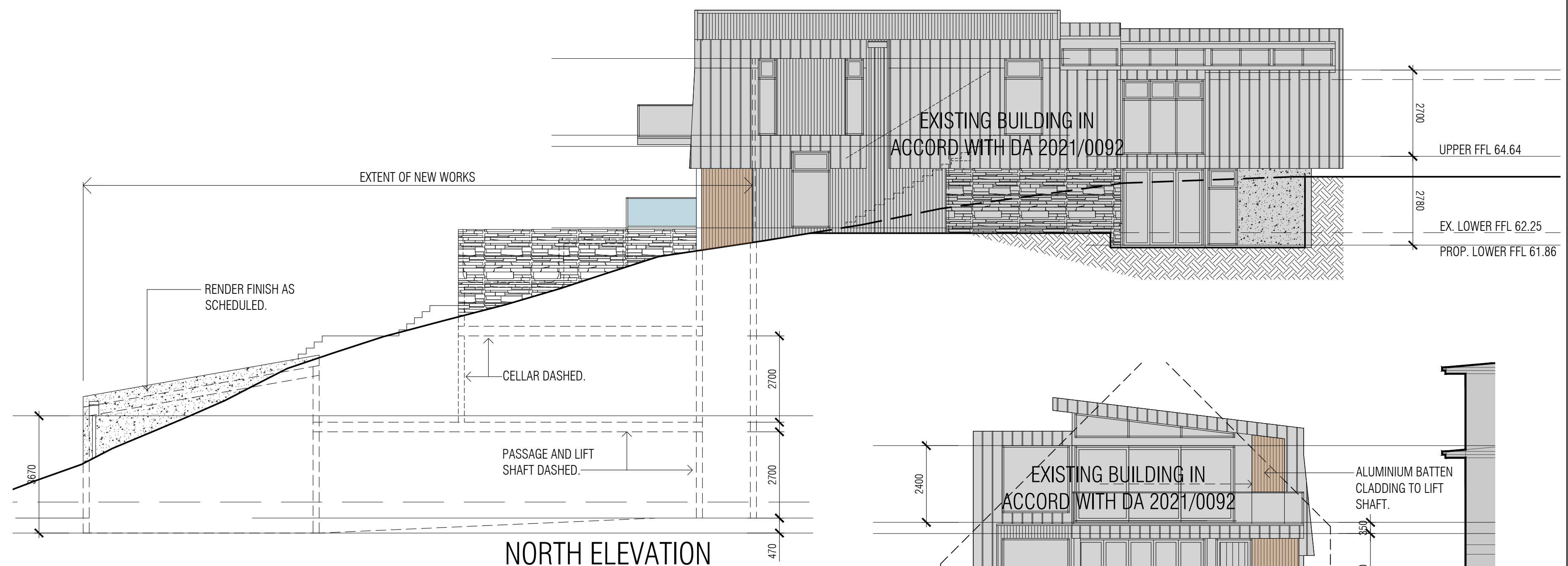
26.11.2021



UPPER FLOOR
LOWER FLOOR
BOUNDARY
SITE AREA - 520.66m²
DWELLING FOOTPRINT - 219.3m²
(INC. DECKS/COURTYARD)
STEPS FOOTPRINT - 20.0m²
(INC. DRIVEWAY)
239.3 / 520.66 = 45.96% SITE COVERAGE
LANDSCAPING - 281.36m²
281.36 / 520.66 = 54.04% LANDSCAPED

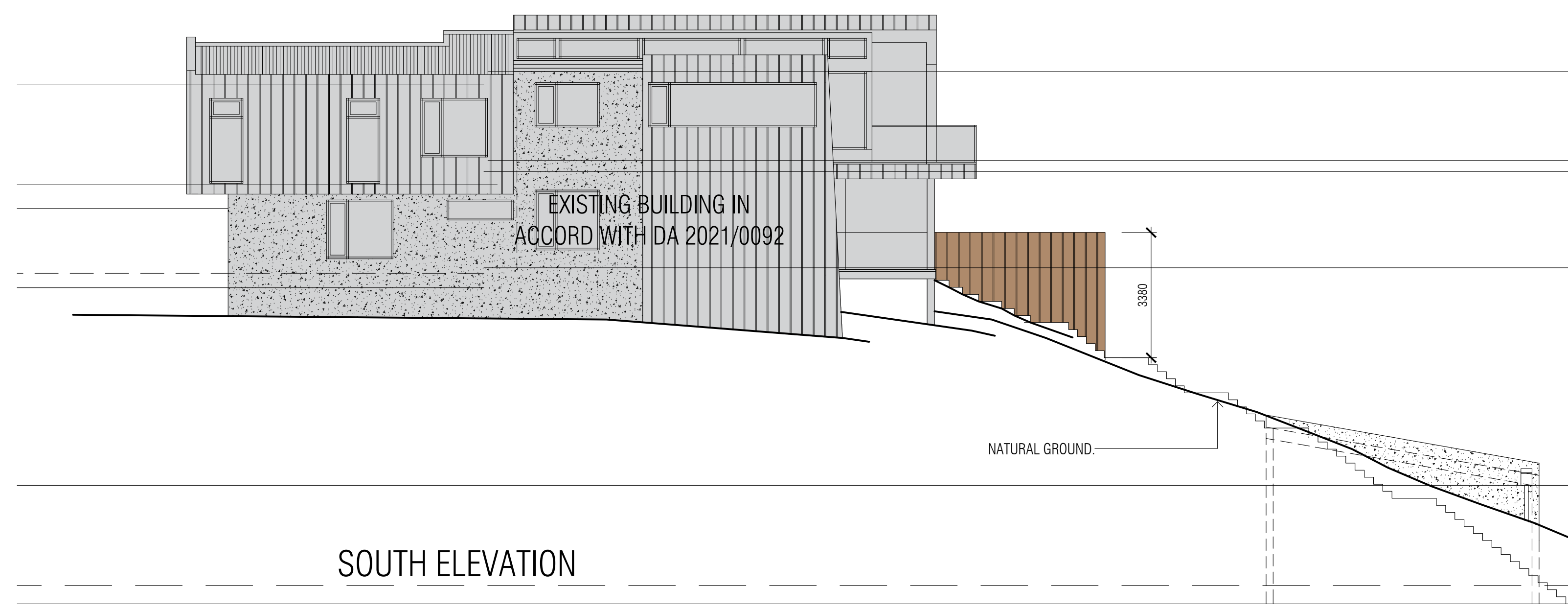
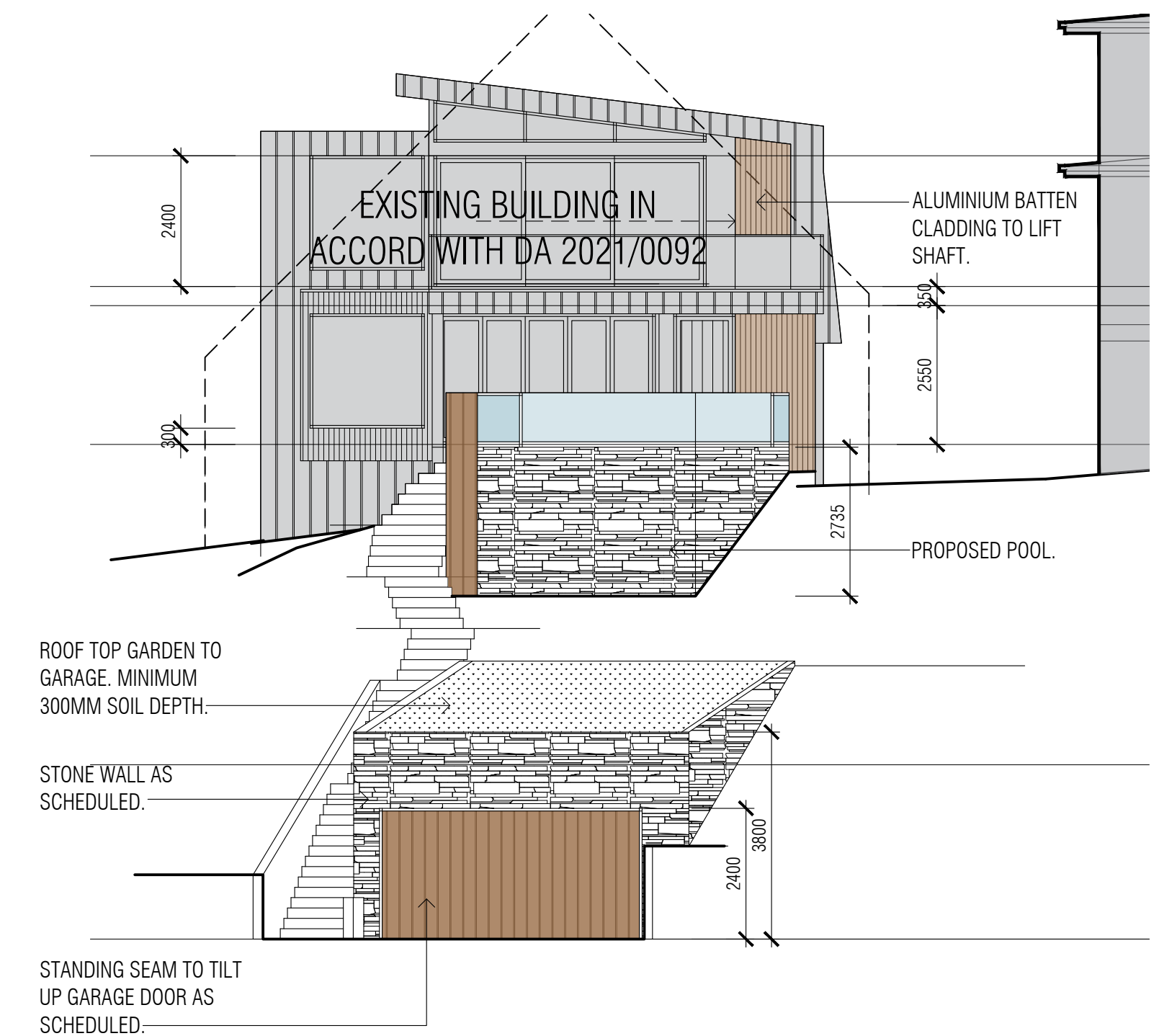


UPPER FLOOR
LOWER FLOOR
BOUNDARY
SITE AREA - 520.66m²
DWELLING FOOTPRINT - 189.86m²
(INC. DECKS/COURTYARD)
GARAGE FOOTPRINT - 45.97m²
(INC. DRIVEWAY)
235.83 / 520.66 = 45.29% SITE COVERAGE
LANDSCAPING - 284.83m²
284.83 / 520.66 = 54.71% LANDSCAPED



SCHEDULE OF COLOURS AND FINISHES

	COLORBOND CUSTOM ORB ROOFING - WINDSPRAY		STANDING SEAM CLADDING - VESTIS AGED COPPER.
	COVET EVERART WOOD EXPRESS BATTEN ALUMINIUM CLADDING - KURI-MASAME		ECO OUTDOORS DRY STONE WALL CLADDING - BAW BAW
	RENDER FINISH DULUX - WALLABY		



PROPOSED ALTERATIONS AND ADDITIONS

57 HILLSIDE RD, NEWPORT.

J R DESIGN AUSTRALIA pty Ltd

ELEVATIONS

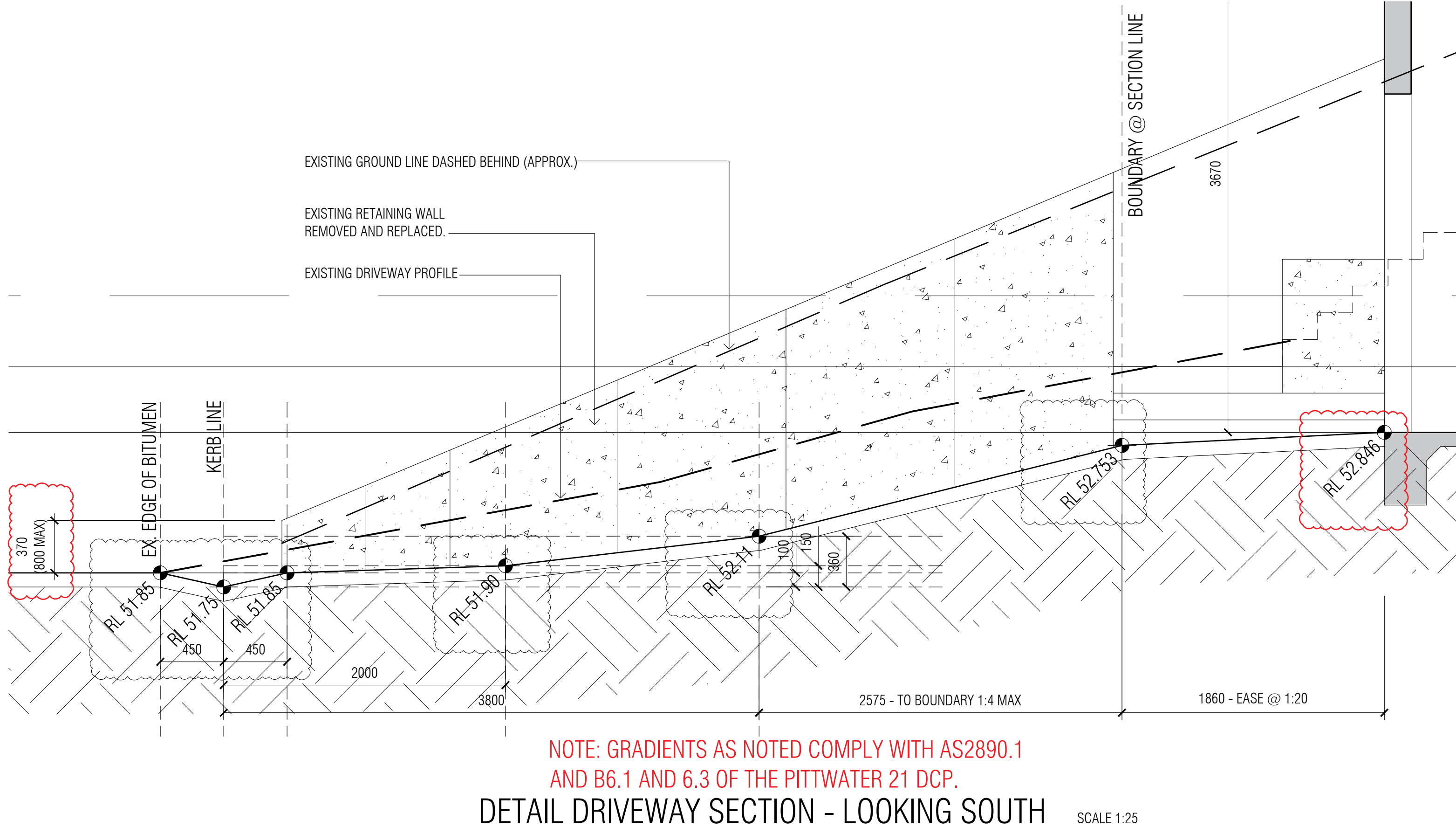
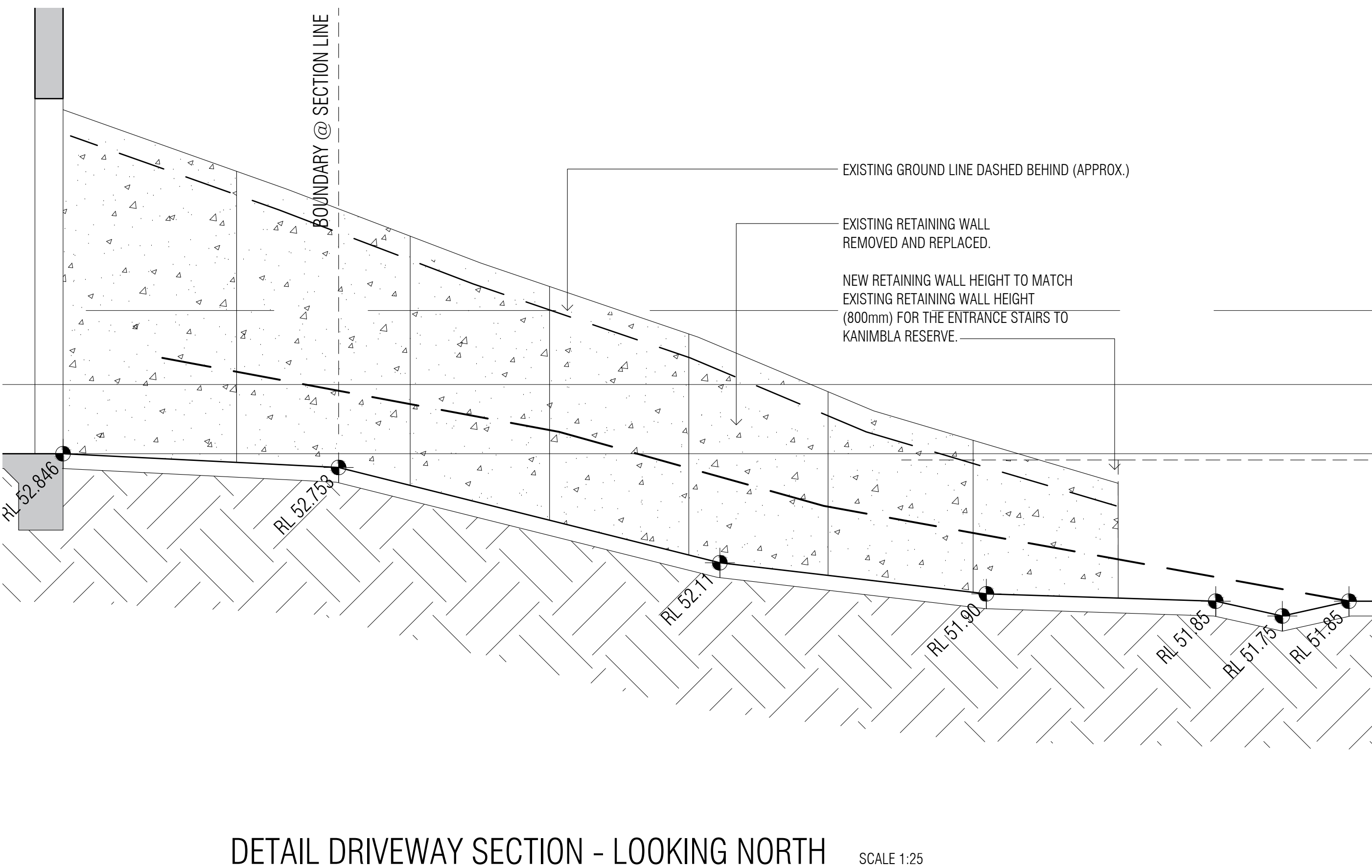
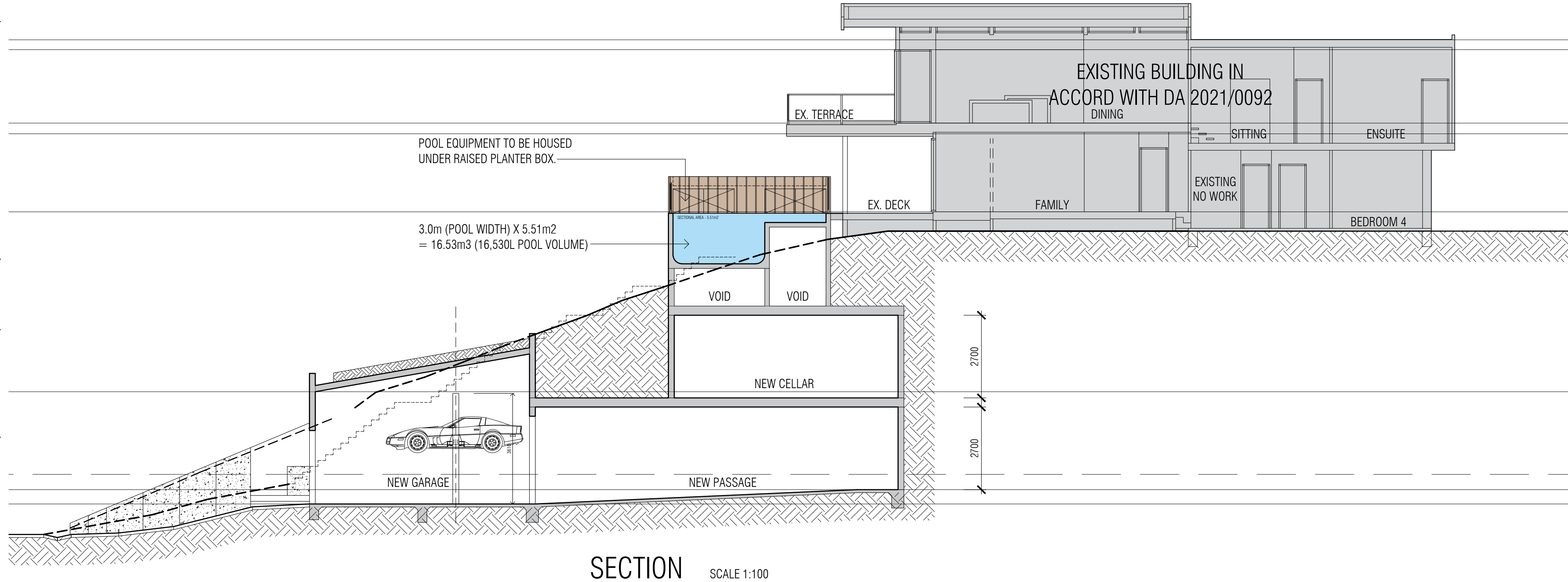
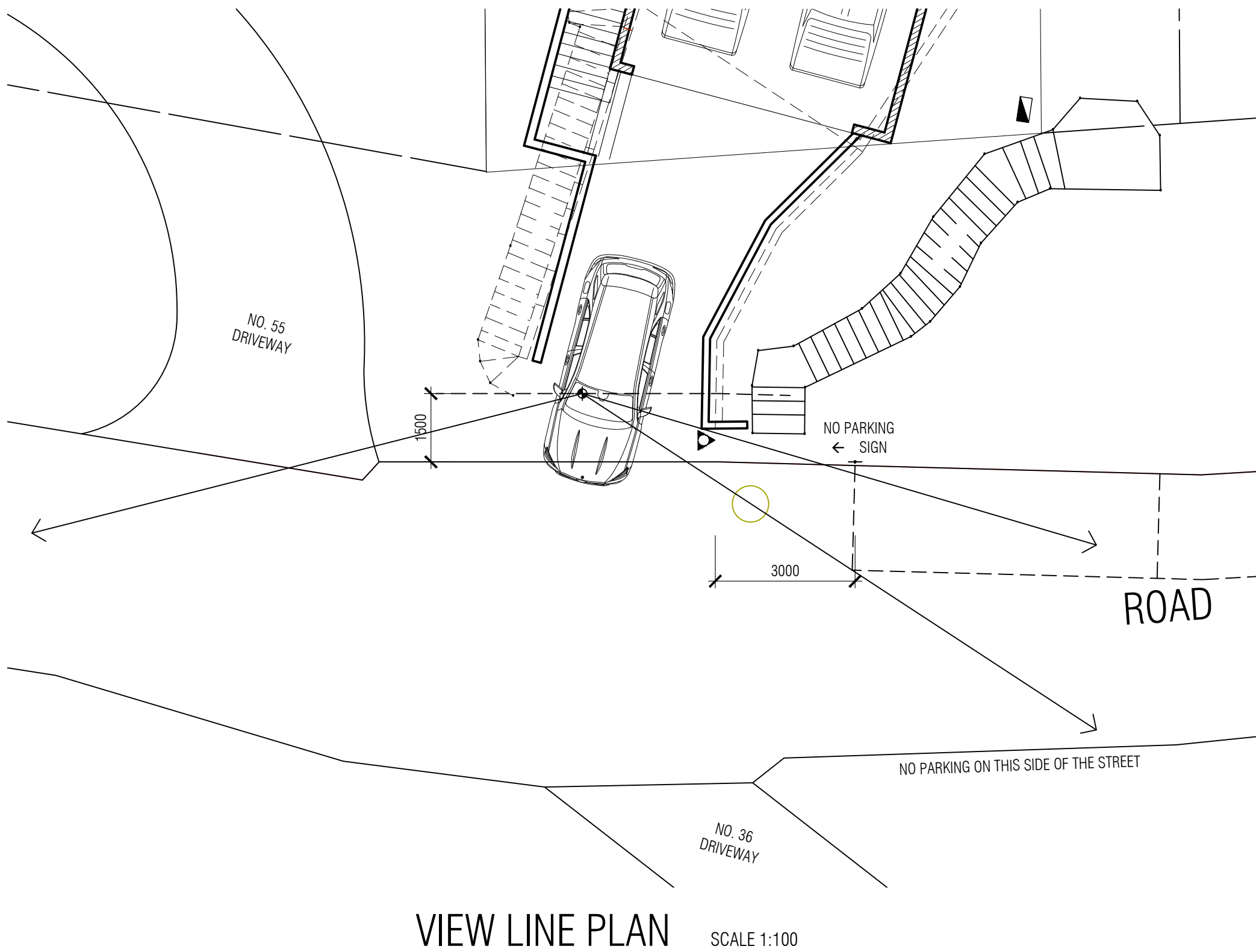
DA.03D

1:100@A1

26.11.2021

REV D - ADDITIONAL DRIVEWAY INFORMATION - 22.08.2022
REV C - SURVEY & AREA NOTATIONS UPDATED - 26.05.2022
REV B - LANDSCAPING AREA ADDED - 30.03.2022
REV A - ISSUED FOR DESIGN APPROVAL - 12.01.2022

DRIVEWAY / CROSSING HAS BEEN GENERALLY DESIGNED IN ACCORD WITH PITTWATER COUNCIL PLAN 'DRIVEWAY PROFILE EXTRA HIGH' NO. DP-02 AS A FUNCTIONAL LAYOUT. PRIOR TO CONSTRUCTION A COMPREHENSIVE CIVIL DESIGN SHALL BE SUBMITTED FOR APPROVAL LOCAL AUTHORITY.



NOTE: GRADIENTS AS NOTED COMPLY WITH AS2890.1 AND B6.1 AND 6.3 OF THE PITTWATER 21 DCP.

PROPOSED ALTERATIONS AND ADDITIONS

57 HILLSIDE RD, NEWPORT.

J R DESIGN AUSTRALIA pty Ltd

REV D - ADDITIONAL DRIVEWAY INFORMATION - 22.08.2022
REV C - SURVEY & AREA NOTATIONS UPDATED - 26.05.2022
REV B - FIGURED DRIVEWAY RL'S ADDED - 30.03.2022
REV A - ISSUED FOR DESIGN APPROVAL - 12.01.2022

SECTIONS

DA.04D

1:100@A1

26.11.2021

- LEGEND
- BL BALCONY
 - CL CENTERLINE
 - CON CONCRETE
 - DK DECK
 - DS DOOR SILL LEVEL
 - EB EDGE OF BITUMEN
 - GM GAS METER
 - HL HOOD LEVEL
 - IL INVERT LEVEL
 - NS NATURAL SURFACE
 - PAV PAVING
 - PIT PIT
 - RF ROOF
 - RR ROOF RIDGE
 - SIP SEWER INSPECTION PIT
 - SL SILL LEVEL
 - SMH SEWER MAN HOLE
 - STR STAIRS
 - TEL TELSTRA
 - TER TERRACE
 - TG TOP OF GUTTER
 - TR TREE-DIA,SPREAD,HEIGHT
 - TRW TOP OF RETAINING WALL



TITLE INDICATES THAT LOT 50 IN D.P.9224 IS SUBJECT TO:

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S).
- A966891 COVENANT (NOT INVESTIGATED)

D	NEW WORKS LOCATED	05/05/22
C	NOTES AMENDED TO COUNCILS REQUIREMENTS. BOUNDARY OFFSETS ADDED	18/02/21
B	BUILDING DETAIL & BOUNDARY DEFINITION UPDATED	28/06/19
A	FIRST ISSUE	19/08/18

A FIELD SURVEY OF THE BOUNDARIES HAS BEEN UNDERTAKEN. WALL TO BOUNDARY DIMENSIONS SHOWN SHOULD NOT BE USED FOR CONSTRUCTION SETOUT

IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED.

- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ANDREW ROGERS.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED DIAL BEFORE YOU DIG SERVICES (BY 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN, THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.
- COPYRIGHT WATERVIEW SURVEYING SERVICES
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.


REGISTERED SURVEYOR
ID No. 8268


Waterview
SURVEYING SERVICES

1A Mona Street Mona Vale NSW 2103
ACN 610 583 572
michael@wvsurveying.com.au
0474 843 180

Vertical Datum

DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. PM 61113
R.L. 47.5
SOURCE: S.C.I.M.S. 15/8/2018

Client Details

ANDREW ROGERS
57 HILLSIDE ROAD
NEWPORT NSW 2106

Drawing Title

DETAIL AND LEVELS OVER
57 HILLSIDE ROAD
NEWPORT NSW 2106
BEING LOT 50 IN DP.9224

PROJECT: 860	PAGE 1 OF 1
Date of survey 15/08/2018, 26/06/19 & 05/05/22	Drawing No. 860detail 1
Scale 1:100 @ A1	Rev. D