

NOTE:
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FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.
WHERE RETAINING WALLS ARE REQUIRED TO CONTAIN FILL, THE BUILDER MAY USE DEEPEDED EDGE BEAMS TO SLABS INSTEAD.

LEGEND

- HOT WATER TANK
- WATER METER
- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- SEWER TERMINAL MAINTENANCE SHAFT
- SEWER MAINTENANCE SHAFT
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- KERB OUTLET
- SERVICE CONDUIT
- TREE (DIA/HEIGHT)
- GARDEN BED
- SHRUB
- DENOTES PHOTO POINT
- DENOTES TELEPHONE BOOTH

ALL KERB LEVELS REPRESENT TOP OF KERB.





DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM
ORIGIN OF LEVELS: PM 15783 RL 11.579
SOURCE OF LEVELS: SCIMS

BE1, BE2, BE3: RESTRICTION ON THE USE OF LAND



Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

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		Slab Classification:						LGA: Northern Beaches Council	Date: 27.06.19	
		Wind Speed Class:						Design : Custom Design		
								Job No: 4115N	Sheet Size: A3	Sheet No: 1 of 11

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		<div>Wind Speed Class:</div> <div>TBC</div>	<div>C 20.01.20 BASIX ADDED / DA PLANS - MT</div> <div>B 25.10.19 CONTOURS ADDED - AW</div> <div>A 27.06.19 CONTRACT DRAWINGS - AW</div> <div>Rev Date Amendment</div>	<div></div> <div></div> <div></div> <div></div> <div></div> <div></div>			

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SCALE BAR 1:200



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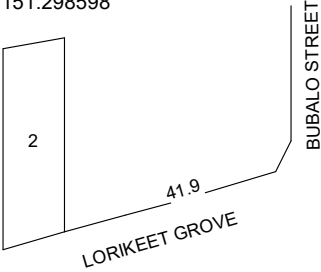
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Proposed Site Analysis Plan

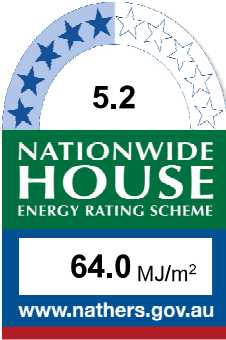
Scale 1:200

LOCATION PLAN

UBD REF: 138, E8
LAT: -33.687471
LONG: 151.298598



CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LPI, NSW AND ARE SUBJECT TO FINAL SURVEY.
BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.
THE RELATIONSHIP OF IMPROVEMENTS & SURVEYED DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY.
SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH ACCURATE POSITION AND DEPTH OF ANY SERVICES.
DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE



Certificate no.: 0004408985
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 02 Dec 2019

Dwelling Address:
Lorikeet Grove
Warriewood, NSW
2102

www.nathers.gov.au



Plot Date: Monday, 20 January 2020

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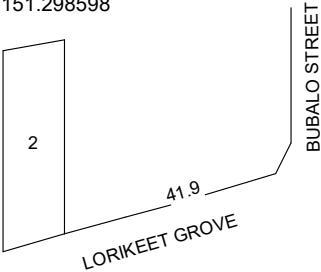
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Excavation & Fill Plan
Scale 1:200

LOCATION PLAN

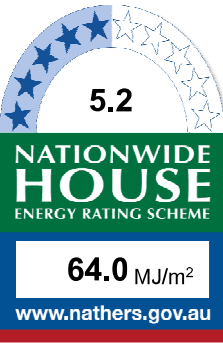
UBD REF: 138, E8
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SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY.
FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.
SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



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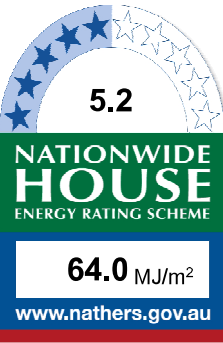


NatHERS - THERMAL COMFORT SUMMARY

Basix Requirements
(MINIMUM REQUIREMENTS)

Address: Lot 2 Lorikeet Grove Warriewood		
Building Elements	Material	Detail
External walls	Brick Veneer– Dark Colour Solar Absorptance > 0.70	R2.2 bulk insulation (<i>excluding garage</i>)
	Light Weight Cladding - Medium	
Internal walls	Plasterboard on studs	R1.5 bulk insulation to walls adjacent to garage
Ceiling	Plasterboard	R4.0 bulk insulation to ceilings with roof above (<i>excluding garage</i>)
Floors	Concrete – ground floor	Waffle Pod
	Timber – first floor	-
Roof	Roof Tiles – Dark Colour Solar Absorptance > 0.70	–
Doors/Windows	<i>Awning windows & Bi-fold windows:</i> Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.57 +/- 10%
	<i>Sliding windows/doors & fixed windows:</i> Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.70 +/- 10%
<i>Lighting:</i> This dwelling has been rated with non-ventilated LED downlights as per NatHERS Certificate.		
<i>Note:</i> Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA.		
<i>Note:</i> In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		
<i>Note:</i> Self-closing damper to all exhaust fans.		

BASIX COMMITMENTS NOTES				
REFER TO APPROVED BASIX REPORT Number:- 1057806S				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star (> 6 but <= 7.5 L/min)	4 star	4 star	5 star
Alternative water source	Individual rainwater tank to collect run off from at least 60 m² of roof area - Tank size min 3000 litres			
	The applicant must connect the rainwater tank to:			
	Landscape connection	Toilet connection	Laundry connection	Pool top up
	Yes	Yes	N/A	N/A
ENERGY	<i>Hot water system:</i> Gas Instantaneous with a performance of 6 stars			
	<i>Bathroom ventilation system:</i> Individual fan, ducted to façade or roof; manual switch on/off			
	<i>Kitchen ventilation system:</i> Individual fan, ducted to façade or roof; manual switch on/off			
	<i>Laundry ventilation system:</i> Natural ventilation only			
	<i>Cooling system:</i> 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
	<i>Heating system:</i> 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
	Natural lighting: As per BASIX Artificial lighting: As per BASIX			
	Must install a gas cooktop and electric oven. Must install a fixed outdoor clothes drying line as part of the development.			



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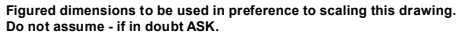
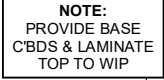
THE BUILDER SHALL NOT BE REQUIRED TO SUPPLY OR PROVIDE ANY ITEMS OR SERVICES OR MATERIALS SHOWN ON THE BUILDING PLANS AS BEING PROVIDED BY THE BUILDER, UNLESS THEY ARE SPECIFICALLY INCLUDED IN THE BUILDERS TENDER AMENDMENTS OR VARIATIONS.

Scale 1:100

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ROOM AREAS NOTE:
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CHAMPION
HOMES

Proposed: Double Storey Dwelling

Lot:2 DP:271139
Lorikeet Grove
Warriewood, NSW 2102

Client :
G. S. N De Fonseka & L. De Fonseka

LGA:	Northern Beaches Council	Date:	27.06.19
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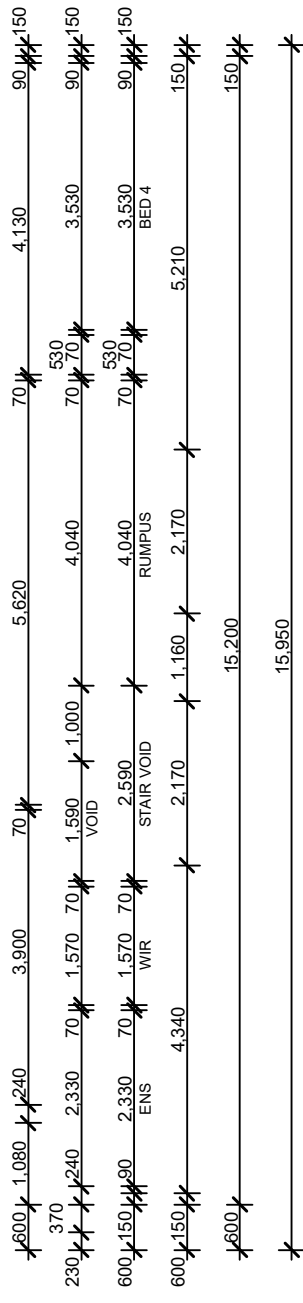
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First Floor Plan

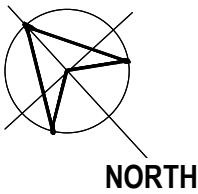
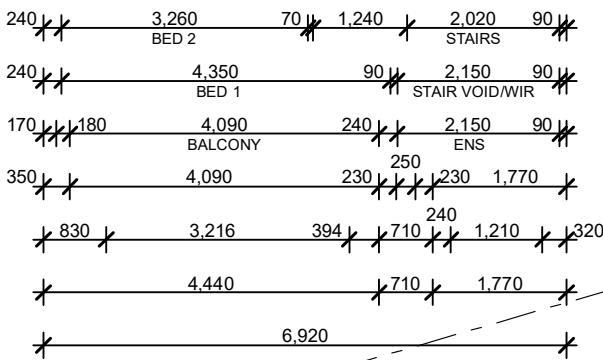
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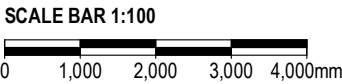


ROOF AREA (m2)	
Pitch	Horizontal Area
22.50°	180.37




Soil Class: TBC	Slab Class: TBC	Wind Class: TBC
NOT FOR CONSTRUCTION		

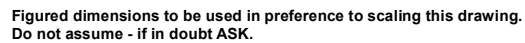
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A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm



Overfashing.

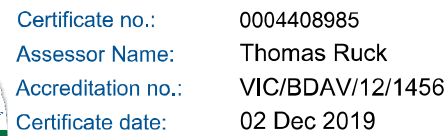
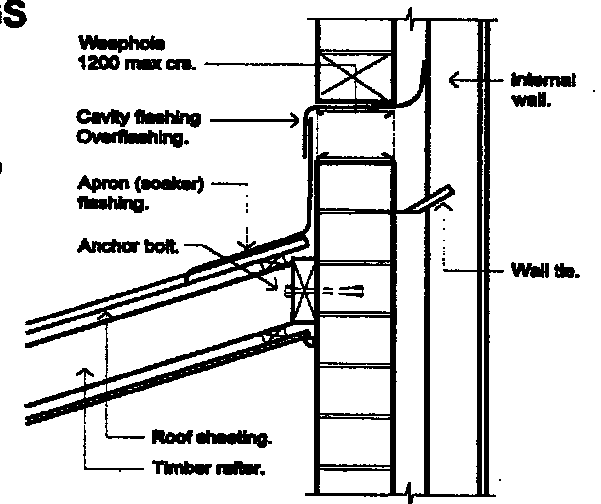
75mm lap

Weephole.

75mm apron flashing turned up behind overfashing.

Roof sheeting.

Internal lining.



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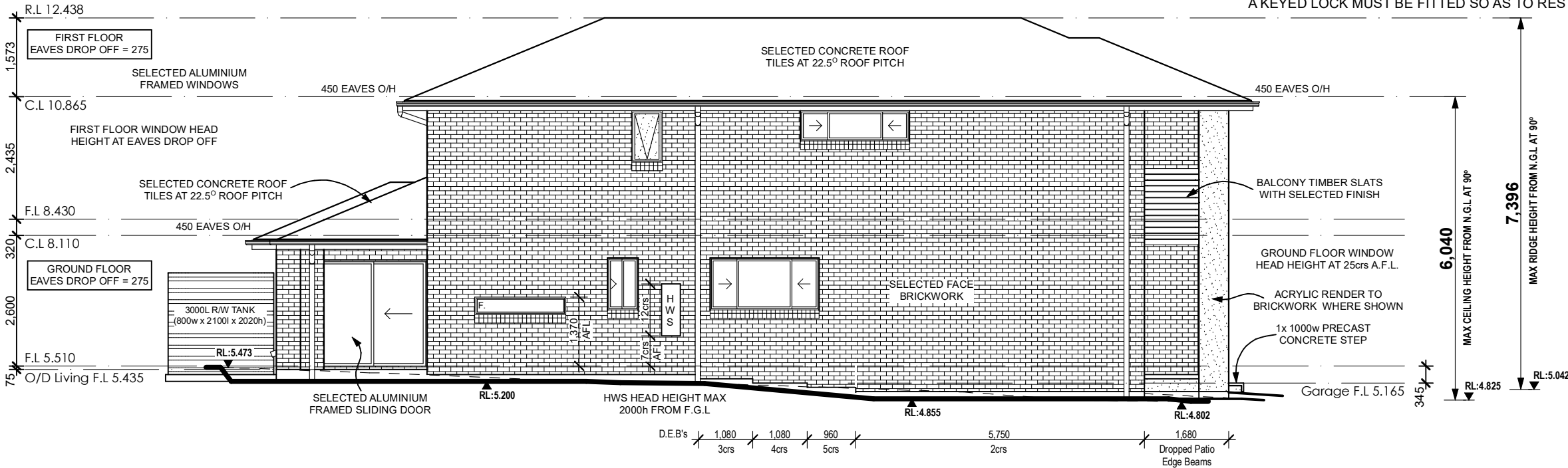
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Job No: 4115N	Sheet Size: A3	Sheet No: 7 of 11
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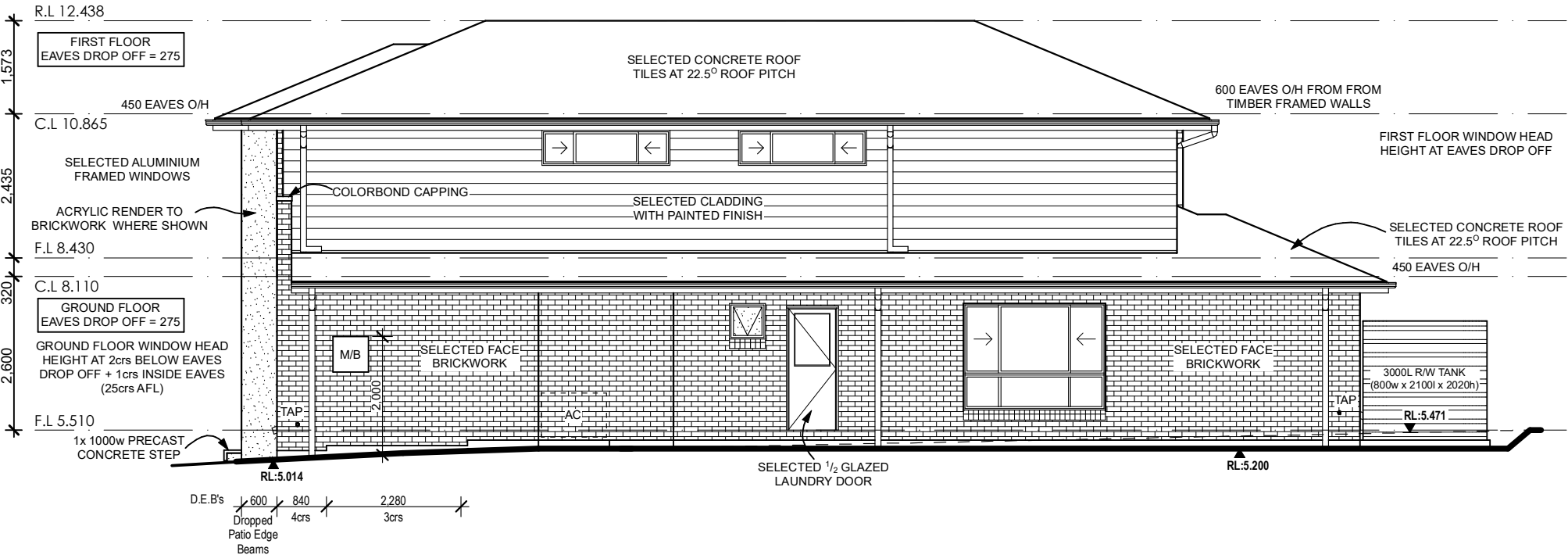
PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

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North Western Elevation

Scale 1:100

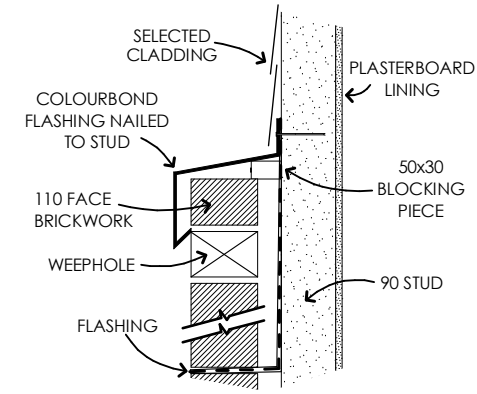


South Eastern Elevation

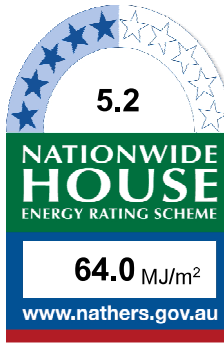
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DETAIL 1




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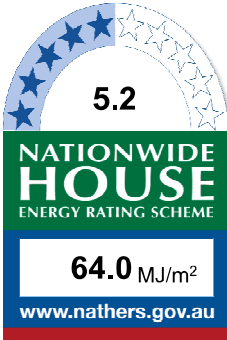
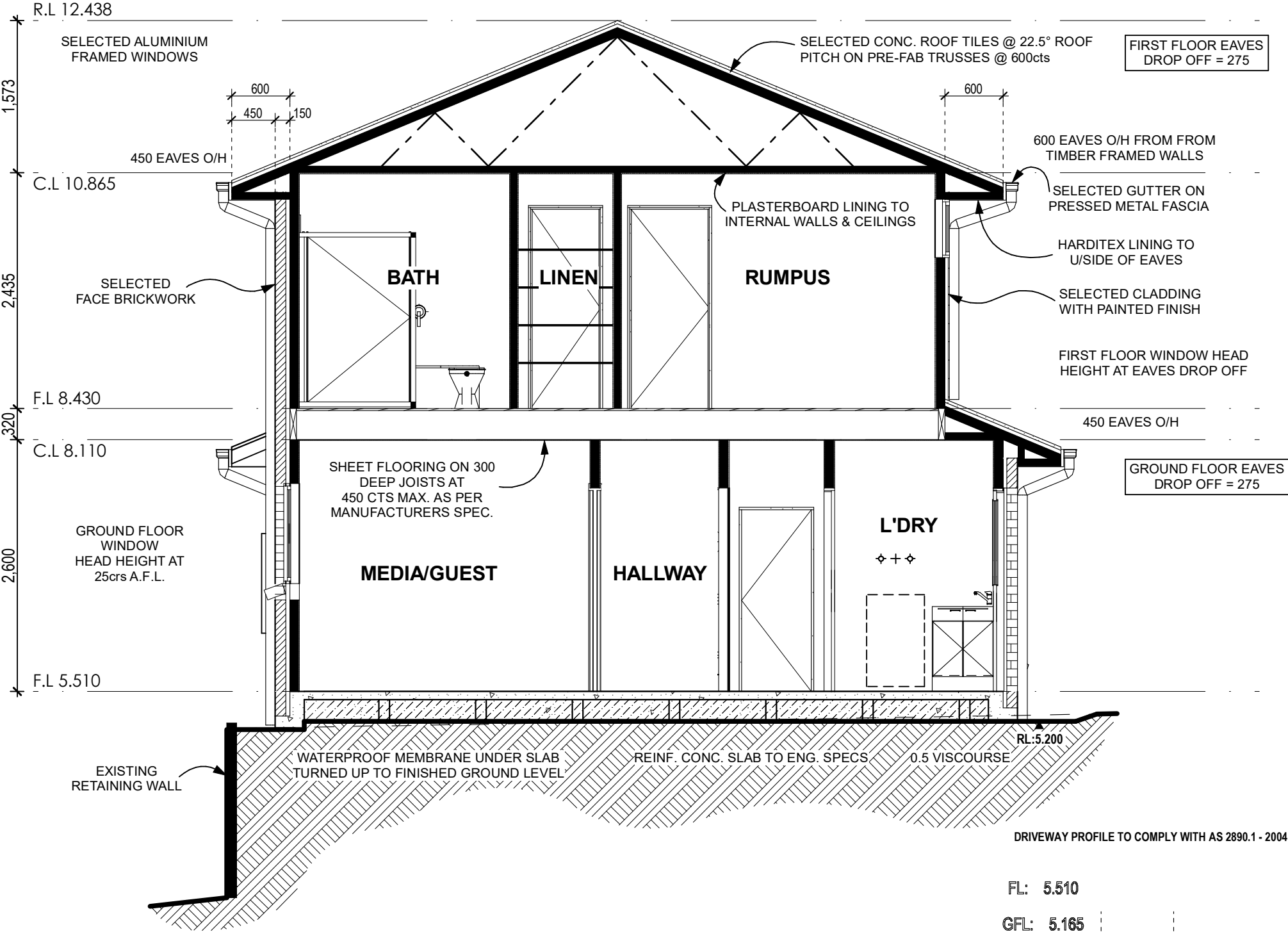


<div><div><div>CHAMPION</div><div>HOMES</div></div><div>Suite 1, Level 1 600 Hoxton Park Road, Hoxton Park NSW 2171</div><div>Telephone: (02) 9825 8000 Fax: (02) 9825 8110</div><div>www.championhomes.com.au</div><div>Builders Licence No.92732C</div></div>		<div>NOT FOR CONSTRUCTION</div>		Soil Classification:				<div>Copyright. ©</div> <div>This plan is the property of Champion Homes and may not be used in whole or part.</div> <div>Legal action will be taken against any person who infringes the copyright.</div>		<div>Proposed: Double Storey Dwelling</div> <div>Lot:2 DP:271139</div> <div>Lorikeet Grove</div> <div>Warriewood, NSW 2102</div>		Client : G. S. N De Fonseka & L. De Fonseka		
				Slab Classification:								LGA: Northern Beaches Council		Date: 27.06.19
				Wind Speed Class:								Design : Custom Design		
				C		20.01.20		BASIX ADDED / DA PLANS - MT						
				B		25.10.19		CONTOURS ADDED - AW						
				A		27.06.19		CONTRACT DRAWINGS - AW						
				Rev		Date		Amendment						

Plot Date: Monday, 20 January 2020

R4.0 INSULATION TO THE ROOF CEILING EXCEPT OVER GARAGE
R2.2HD INSULATION TO EXTERNAL WALLS EXCEPT IN GARAGE
R1.5 INSULATION TO INTERNAL WALLS ADJACENT TO GARAGE

Section 01
Scale 1:50



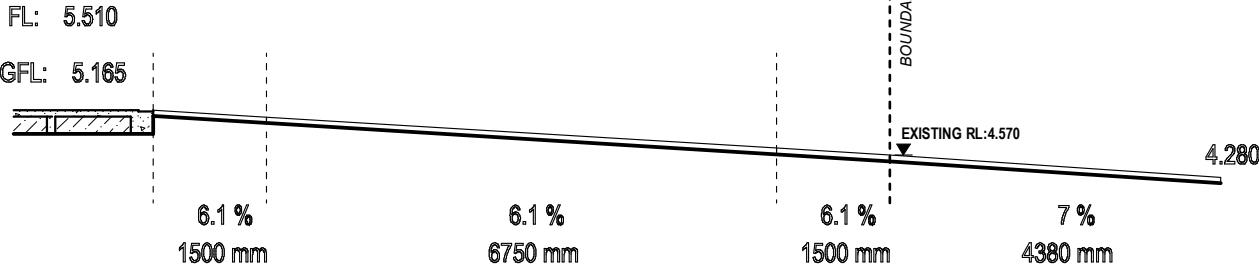
Certificate no.: 0004408985
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDAV/12/1456
Certificate date: 02 Dec 2019

Dwelling Address:
Lorikeet Grove
Warriewood, NSW
2102

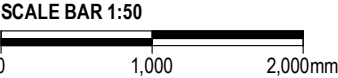


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DRIVEWAY PROFILE TO COMPLY WITH AS 2890.1 - 2004




Driveway Profile
Scale 1:100



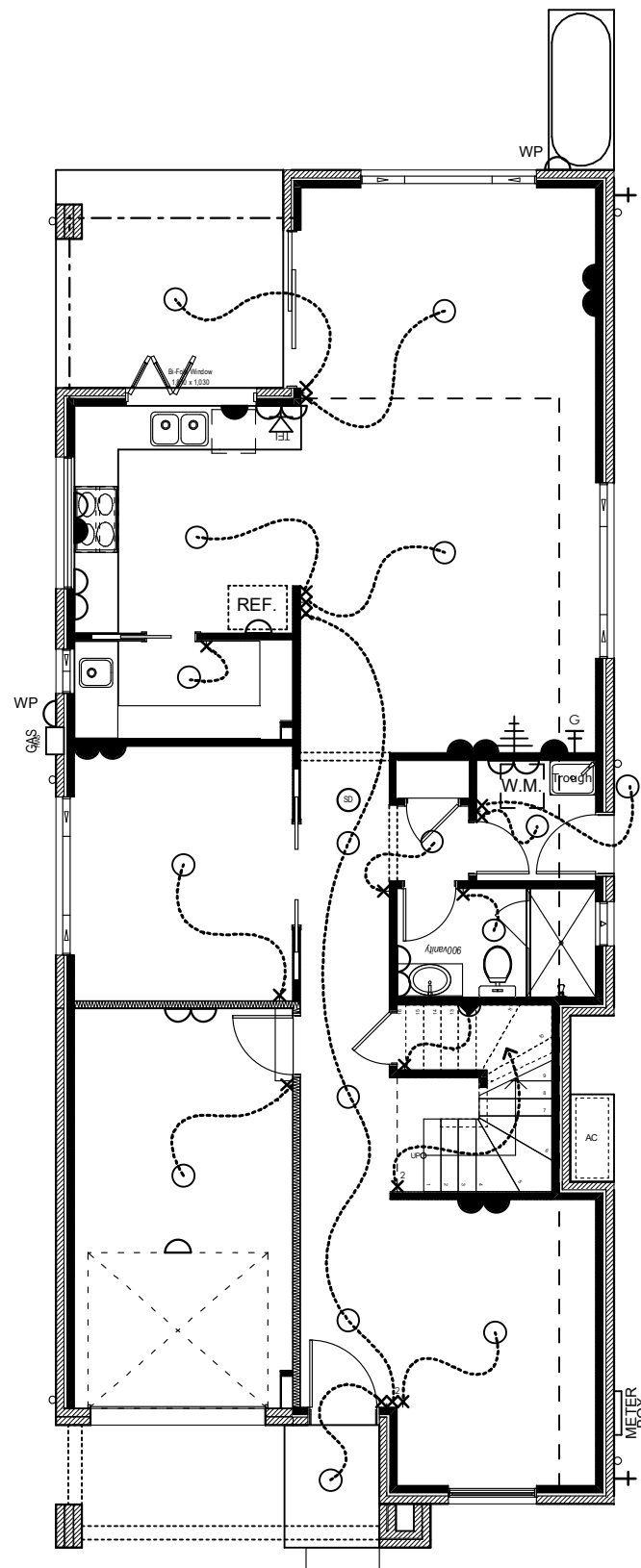
Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

Plot Date: Monday, 20 January 2020

<div></div> <div>CHAMPION HOMES</div> <div>Suite 1, Level 1 600 Hoxton Park Road, Hoxton Park NSW 2171</div> <div>Telephone: (02) 9825 8000 Fax: (02) 9825 8110</div> <div>www.championhomes.com.au</div> <div>Builders Licence No.92732C</div>	NOT FOR CONSTRUCTION	Soil Classification:				<div>Copyright. ©</div> <div>This plan is the property of Champion Homes and may not be used in whole or part.</div> <div>Legal action will be taken against any person who infringes the copyright.</div>	Proposed: Double Storey Dwelling	Client : G. S. N De Fonseca & L. De Fonseca		
		Slab Classification:						LGA: Northern Beaches Council	Date: 27.06.19	
		Wind Speed Class:						Design : Custom Design		
								Job No: 4115N	Sheet Size: A3	Sheet No: 9 of 11

Standard Electrical Plan

Scale 1:100



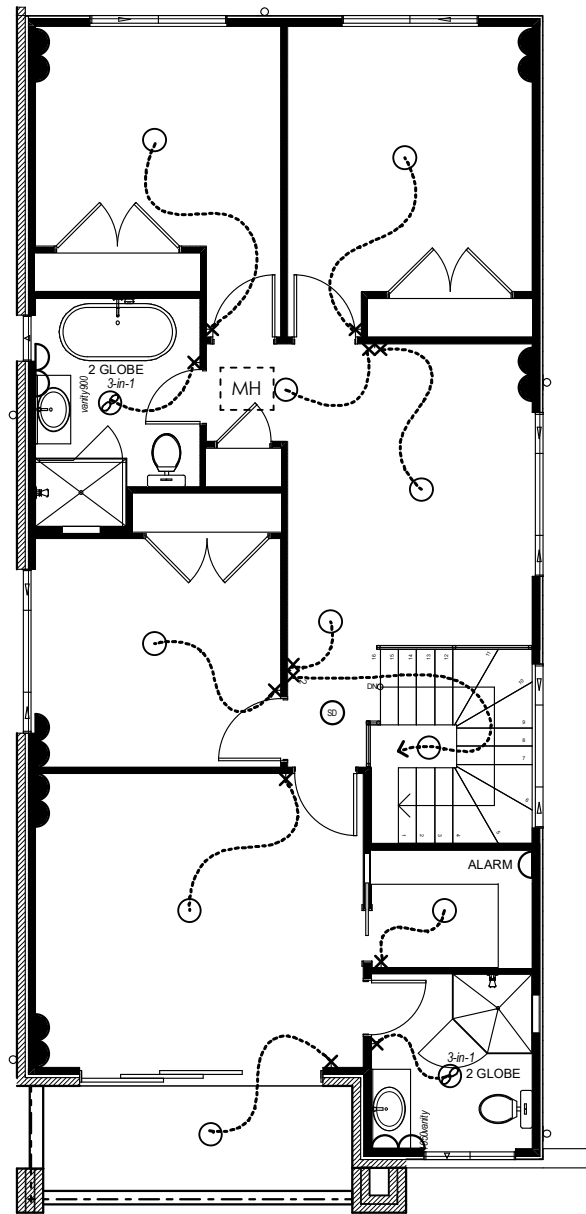
GROUND FLOOR PLAN

PROVIDE THE FOLLOWING ADDITIONAL POINTS WITH THEIR LOCATIONS TO BE NOMINATED AT ELECTRICAL APPOINTMENT:

- 20 LED DOWNLIGHTS
- 2 ADDITIONAL DATA POINTS
- 2 ADDITIONAL TV POINTS
- 2 ADDITIONAL PHONE POINTS

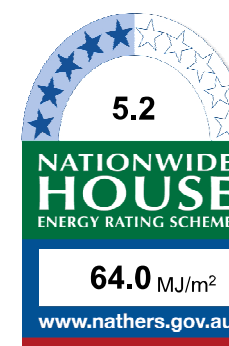
NOTES:

- ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR
- DUCT KITCHEN RANGEHOOD TO OUTSIDE AIR
- PROVIDE ALARM SYSTEM
- PROVIDE REMOTE CONTROL TO GARAGE DOORS (2 HANDSETS)
- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING WITH INVERTER (TWO ZONES)
- SMOKE ALARMS TO BE INTERLOCKED AS PER BCA 2017 (3.7.2)
- PROVIDE SELF-CLOSING DAMPER TO EXHAUST FANS



FIRST FLOOR PLAN

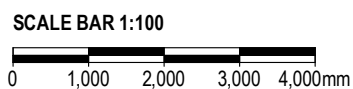
ELECTRICAL SCHEDULE					
Floor Level	Symbol	ITEM	Q'ty	MULTI SWITCH FACE PLATES (1-4)	Height (1=300, 2=1100, 3=1600)
Ground Floor Level					
		Gas Bayonet	1	---	---
		GPO	4	---	1
		GPO	3	---	1
		GPO	5	---	2
		GPO	5	---	2
		Phone	1	---	---
		Smoke Detector	1	---	---
		Standard light	16	---	---
		Switch	7	1	---
		Switch	1	1	---
		Switch	1	2	---
		Switch	2	2	---
		Switch	1	3	---
		Television point	1	---	---
		Wall light	1	---	---
First Floor Level					
		Exhaust fan	2	---	---
		GPO	6	---	1
		GPO	1	---	2
		GPO	2	---	2
		Smoke Detector	1	---	---
		Standard light	10	---	---
		Switch	8	1	---
		Switch	1	2	---
		Switch	1	2	---



Certificate no.: 0004408985
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 02 Dec 2019

Dwelling Address:
Lorikeet Grove
Warriewood, NSW
2102

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Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.



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NOT FOR CONSTRUCTION

Soil Classification:
TBC

Slab Classification:
TBC

Wind Speed Class:
TBC

C	20.01.20	BASIX ADDED / DA PLANS - MT
B	25.10.19	CONTOURS ADDED - AW
A	27.06.19	CONTRACT DRAWINGS - AW
Rev	Date	Amendment

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Proposed: Double Storey Dwelling

Lot:2 DP:271139
Lorikeet Grove
Warriewood, NSW 2102

Client :

G. S. N De Fonseca & L. De Fonseca

LGA: Northern Beaches Council Date: 27.06.19

Design : Custom Design

Job No: 4115N Sheet Size: A3 Sheet No: 10 of 11

Plot Date: Monday, 20 January 2020

1. SITE PREPARATION
Any minor levelling, either cutting or filling, shall be undertaken by the Landscape Contractor so that areas are left ready for final finishes. Adequate watering points shall be provided to enable the Landscape Contractor to maintain planted area throughout construction and the maintenance period. Weeds are to be sprayed with 'Roundup' or equal, to manufacturer's directions and must be dead before being disturbed.

2. WORKS BY OTHERS
The following works shall be undertaken by others prior to the commencement of the landscape works:

- All trees to be removed
- Tree protection fencing
- Stripping & stockpiling site topsoil
- Erosion control measures and siltation fences / devices

In general the mass planted areas are to be built atop existing levels to improve drainage and to deflect water runoff around the site.

If the contractor considers that certain other areas require drainage then the superintendent should be immediately notified for an inspection. Set out below are the requirements for any drainage works.

Agricultural drains to be 100mm flexible coil & filter sock.
Aggregate to be 10-20mm blue metal.
Connections to be 100mm black polyethylene stormwater pipe.

Install agricultural drains with a maximum 1:60 gradient and backfill trenches with a minimum 200mm layer of aggregate. Connect into the stormwater system for the buildings.

4.1 Materials

Edging to be 100 x 38mm F7 rougher header H4 treated pine.

Tanalith® E treatment - chromium and arsenic free timber treatment that uses copper and an organic azole co-biocide as active ingredients.

Pegs to be 25 x 25 x 450mm long hardwood.

Nails to be galvanised timberlock twist nails - 50mm x 3.75mm

4.2 Installation

Install edging to finish flush with adjoining grass levels and secure with pegs spaced at maximum 1.2 metre intervals placed on the garden side of the edging. Pegs to be fixed to edging with 2 off nails. Top of pegs to be 25mm below top of edging. All exposed edges of timber to be bevelled to prevent future splinters.

5.1 Materials:
Pebbles for the access paths to be 10-20mm Nepean river pebbles.

Following earthworks rake all path areas and tamp lightly to give an even graded surface. Care shall be taken not to mix soil and pebble together. Pebbles to be laid to a depth of 100mm. Refer elsewhere for brick and timber garden edging.

6.1 Materials:

Soil mix to be suitable for improving depleted soils such as Botany Humus Mix from Australian Native Landscapes or equal. Samples to be shown to Principals and Representative for approval before installation. Also provide written breakdown of contents, pH and trace elements and suitability for improving existing soil. Soil mix to comply with AS 3743-2003: Potting mixes, AS 4419-2003: Soils for landscaping and garden use & AS 4544-2003: Composts, soil conditioners and mulches.

Water crystals to be Garden King Wettasoil Granular deep watering agent form Amgrow or equal product.

Trees and plants shall be true to name and variety. Substitutes in size or variety shall not be made without the approval of the Principals Representative. Also refer to Plant Schedule.

All plants shall be true to size in well developed healthy condition, free from insects and diseases, with well established root systems. Sample of each species to be shown to Principals Representative for approval before installation.

6.2 Installation:

- Preparation of base levels by builder
- After construction of the buildings apply additional gypsum at 200g/m² to the lower section of the site (if clay encountered)
- Deep rip area below mass planted areas to a depth of 300mm
- Place 300mm layer of imported soil mix to all garden areas
- Apply 100g/m² of a complete native plant food to all gardens areas
- Work fertiliser in with a rake and leave for one week prior to planting

Planting shall not be carried out in dry soil or in extreme weather conditions. The root systems must be moist before planting to ensure turgidity. The plants shall be removed from their containers with as little disturbance as possible to the root system. Plants should be planted at the same depth as the plants were in the containers and allow for a shallow saucer of soil to be formed around the plant to aid penetration of water.

Avoid hilling up of top soil around young plant stems. Firm soil around the root ball and thoroughly soak the areas after planting. On completion, cultivate, rake and leave all garden areas in a neat and tidy condition. Remove old containers and plant labels from the site.

Fertilise with an approved nine months formulation general purpose slow release fertiliser such as 'Nutricote' or 'Osmocote' that is mixed into the prepared planting space just prior to planting. Fertiliser is to be applied at the rate as specified by the manufacturer for the plant size and type. Maintain all plants and ties and provide adequate watering for the duration of the contract.

Staking - Trees as indicated in the Schedule are to be staked with four 50 x 50mm x 1800mm long hardwood stakes secured in each corner of a 1000 x 1000mm square.

7.1 Materials
Mulch to be comprised of maximum 25mm fresh hardwood chips such as Eucalyptus Mulch from Australian Native Landscapes or equal. Samples to be shown to Superintendent for approval before installation. Mulch to comply with AS 4454-2003: Composts, soil conditioners and mulches.

7.2 Installation
Following planting, rake all garden areas and tamp lightly to give an even graded surface. Spread 75mm layer of mulch over the surface of all garden beds and cove down to finish flush with tops of pavements and garden edging. Care shall be taken not to mix soil and mulch together.

8.1 Materials

Turf shall be cultivated 'Greenlees Park' Couch obtained from an approved commercial grower. It shall be weed and disease free.

Topsoil to be a turf topdressing with a high performance turf top-dressing such as Nitro-Top from Australian Native Landscapes or equal. Samples to be shown to Superintendent for approval before installation. Also provide written breakdown of contents, pH and trace elements and suitability for improving existing soil.

Topsoil to comply with AS 4419-2003: Soils for landscaping and garden use.

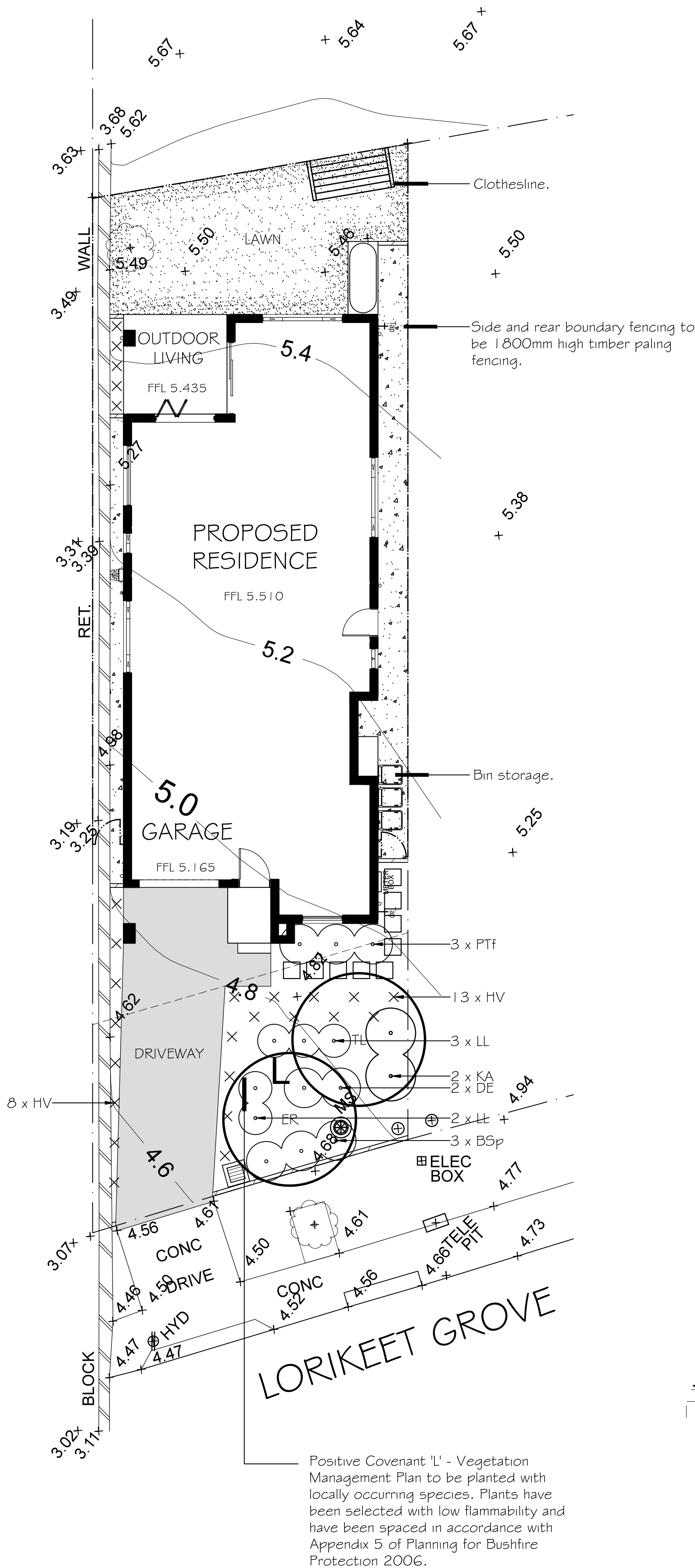
8.2 Installation:

- Preparation of base levels by builder
- After construction of the buildings apply additional gypsum at 200g/m² to the lower section of the site
- Deep rip area below lawn areas to a depth of 300mm
- Place 100mm layer of imported topsoil mix to all garden areas

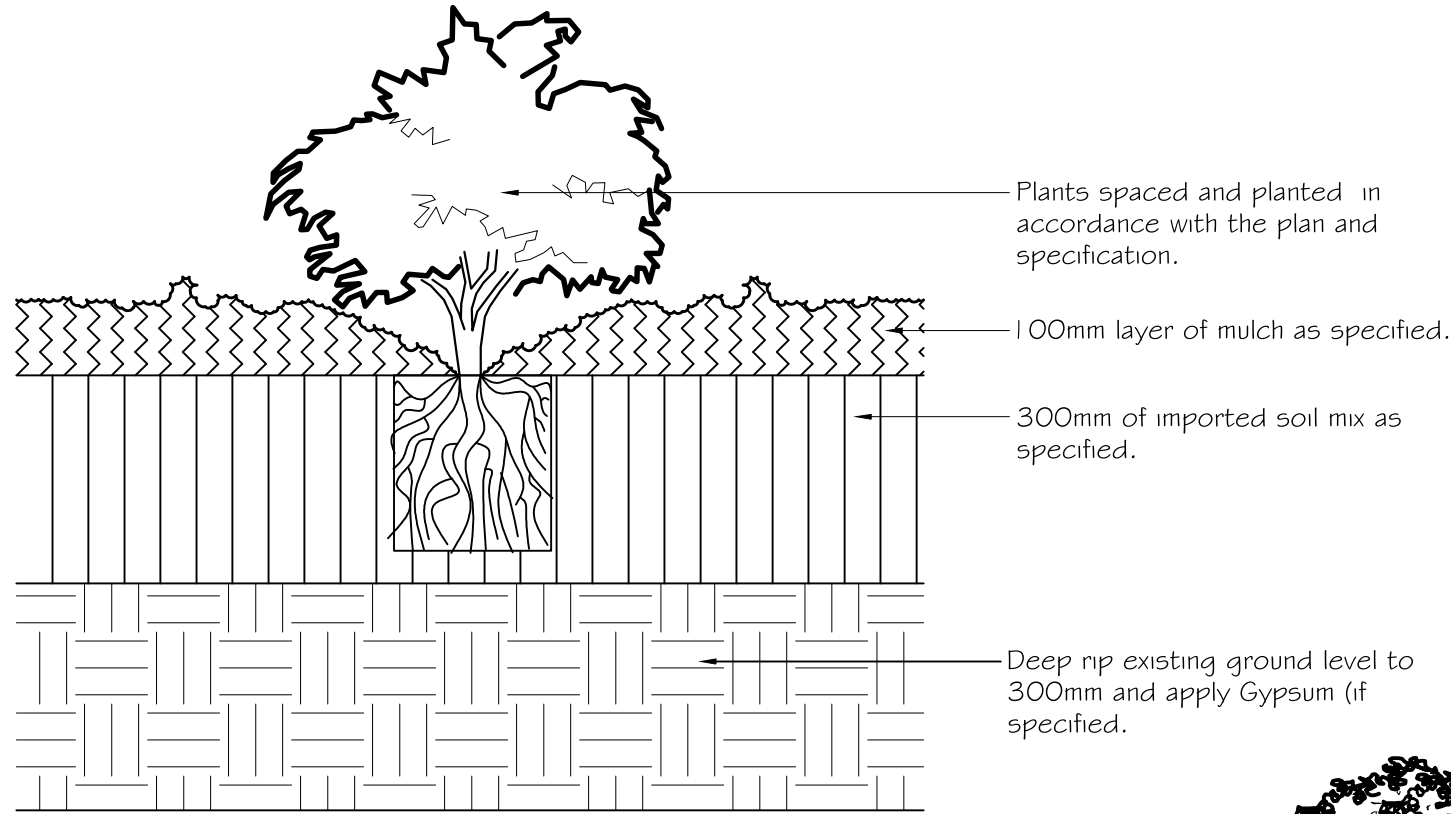
Level and lightly compact topsoil to ensure a smooth surface. Prior to final raking add fertiliser such as Dynamic Liquid to manufacturer's directions. Turf to finish flush with adjoining pavements and edgings. Topdress edges or low areas to ensure even surface.

CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	MATURE HEIGHT	CONTAINER SIZE	STAKES
BSp	<i>Banksia spinulosa</i>	Hairpin Banksia	3	1.5m	200mm	-
DE	<i>Doryanthes excelsa</i>	Gymea Lily	2	1.5m	200mm	-
ER	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	1	7m	45 litre	2
HV	<i>Hardenbergia violacea</i>	Native Sarsparilla	21	prostrate	140mm	-
KA	<i>Kunzea ambigua</i>	Tick Bush	2	3m	200mm	-
LL	<i>Lomandra longifolia</i>	Mat Rush	5	1m	140mm	-
PTf	<i>Phormium tenax</i> 'Flamin'	Red NZ Flax	3	1m	200mm	-
TL	<i>Tristaniopsis laurina</i>	Water Gum	1	7m	45 litre	2

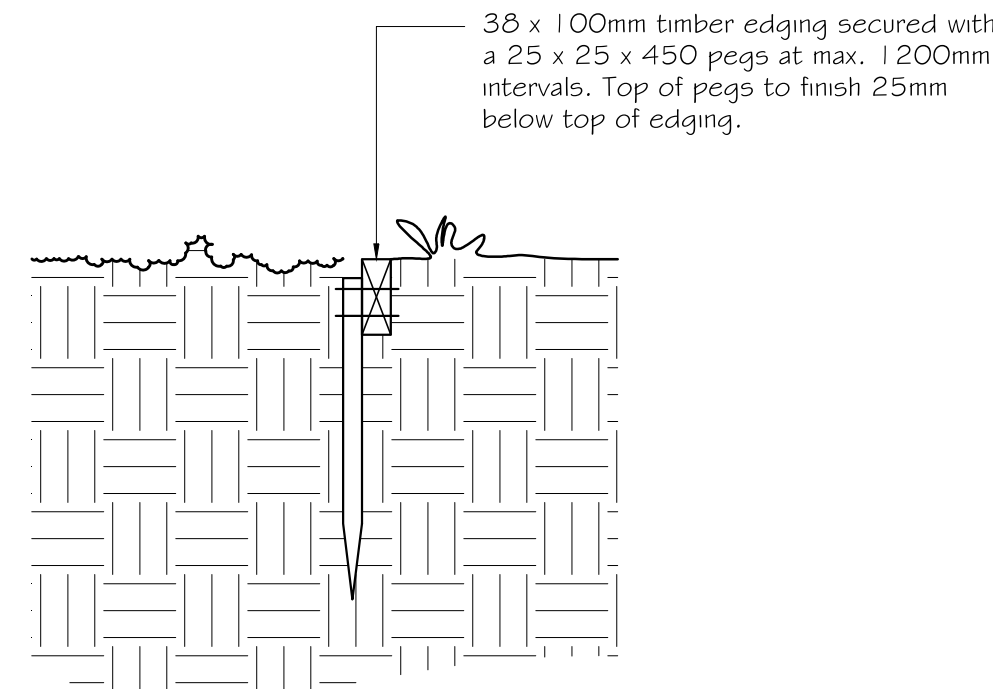
The majority of the plants in this schedule have been selected from a list of Plant Species for Landscape Development within the Warriewood Valley Urban Release Area Masterplan and Design Guidelines.



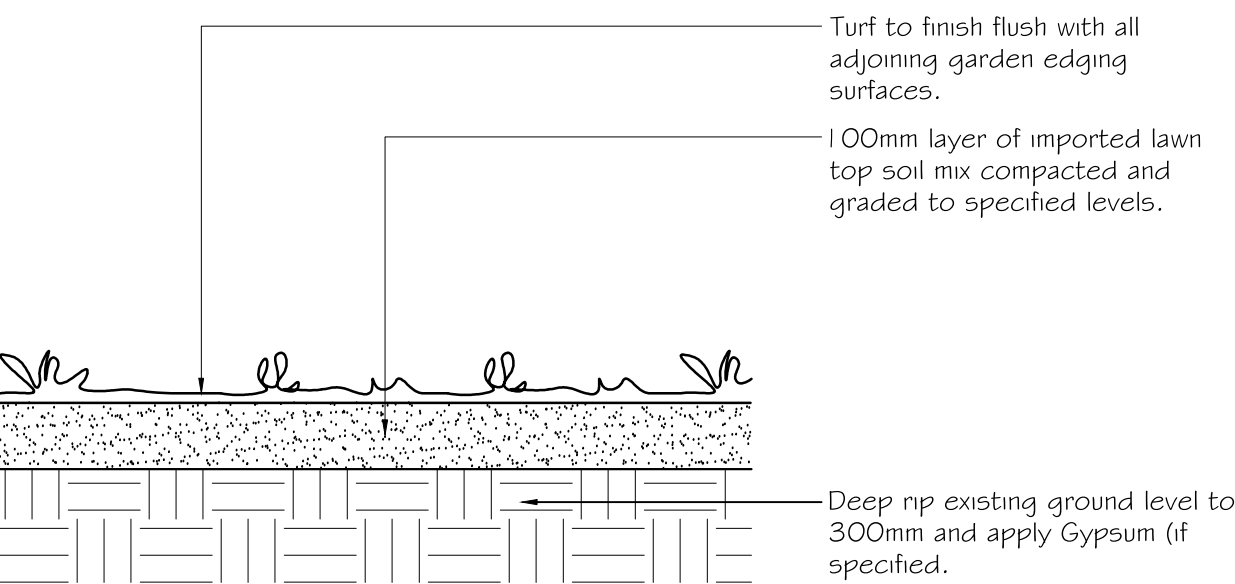
GARDEN AREAS	AREA
Lawn	35.19m ²
Low Water Use Planting	42.33m ²
Lawn/LWUP Total	77.52m² (min 80m² from BASIX)
Permeable pebble mulch	22.98m ²
Total	100.50m² (=34.57%)



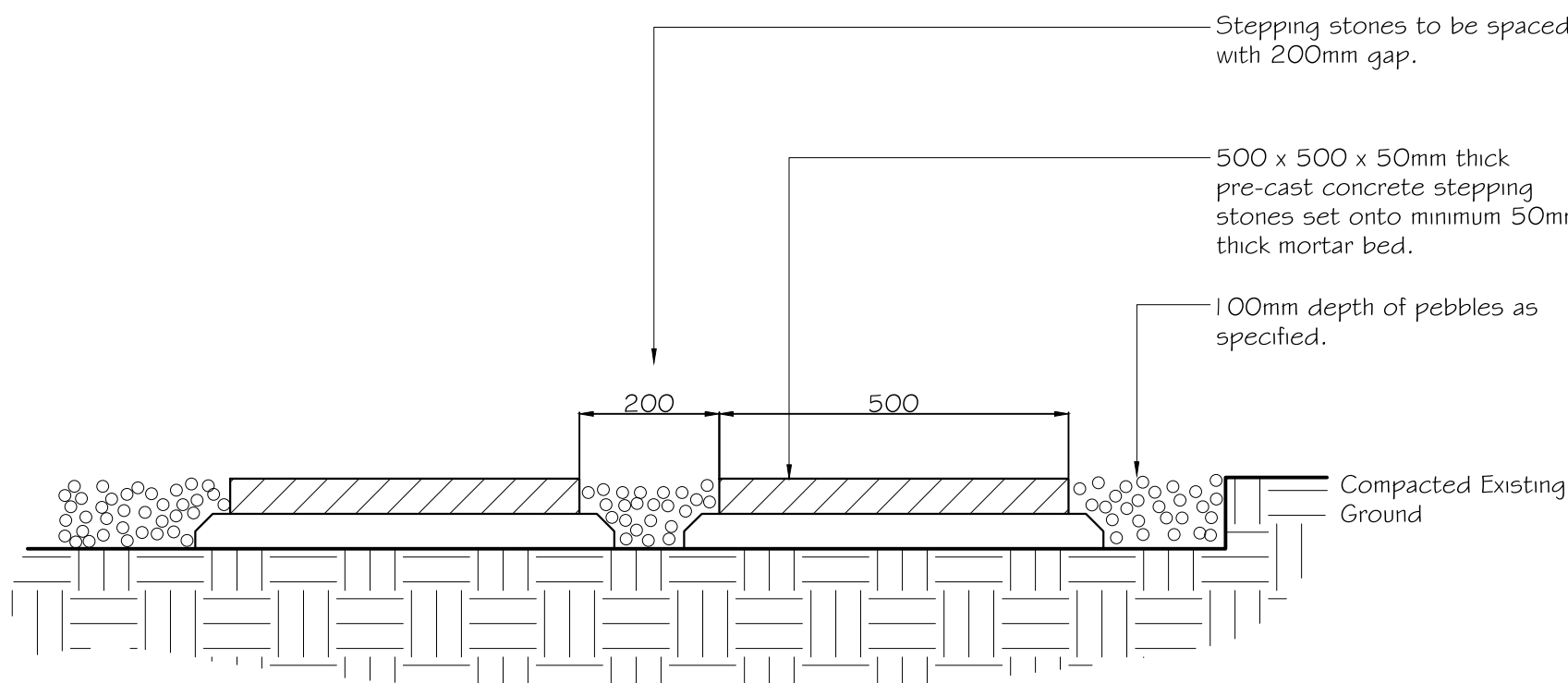
SCALE 1:10
TYPICAL SECTION.



SCALE 1:10
TYPICAL SECTION



SCALE 1:10
TYPICAL SECTION



SCALE 1:10
TYPICAL SECTION

13.4

CONTOURS

+ 55.28

EXISTING & ARCHITECTS LEVELS

EXISTING TREES TO BE RETAINED

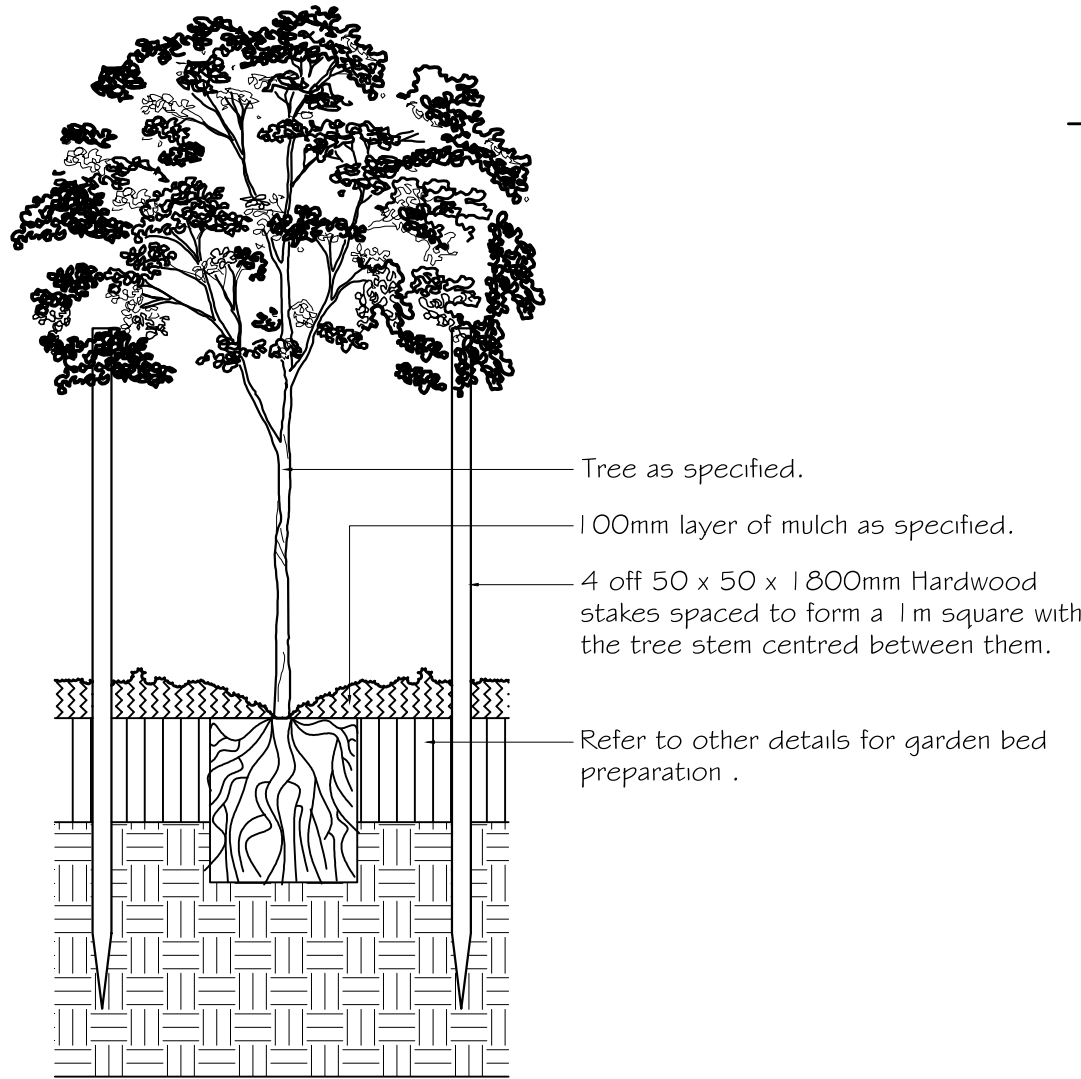
NEW TURF AREAS

GRAVEL PATHS

TIMBER GARDEN EDGING

STEPPING STONES

1800mm HIGH TIMBER PALING FENCE



SCALE 1:20
TYPICAL SECTION.

NORTHERN BEACH COUNCIL
WARWICKWOOD VALLEY
REQUIREMENTS:

SITE AREA: 290.7m²
LANDSCAPE AREA:(MIN 4m WIDE)
REQUIRED: 35% (101.75m²)
ACHIEVED: 21% (57.51m²)
(Non-Compliance)

PRIVATE OPEN SPACE:(MIN 4m WIDE)
REQUIRED: 20m²
ACHIEVED: 44.20m²

CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES

This plan is to be read in conjunction with all documentation prepared by **Champion Homes**.

Job no. 4115N



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A.C.N 097 328 580
email ijla@netspace.net.au

Proposed Residence

Lot 2, Lorikeet Grove,
Warriewood

Landscape Plan

client

G. S. N. De Fonseka & L. De Fonseka

date
November 2019

scale
1:100 @ A
1:200 @ A

job.dwg no.
169.19/368

no. in set
ONE/ONE

designed by
IJ

drawn by
AM