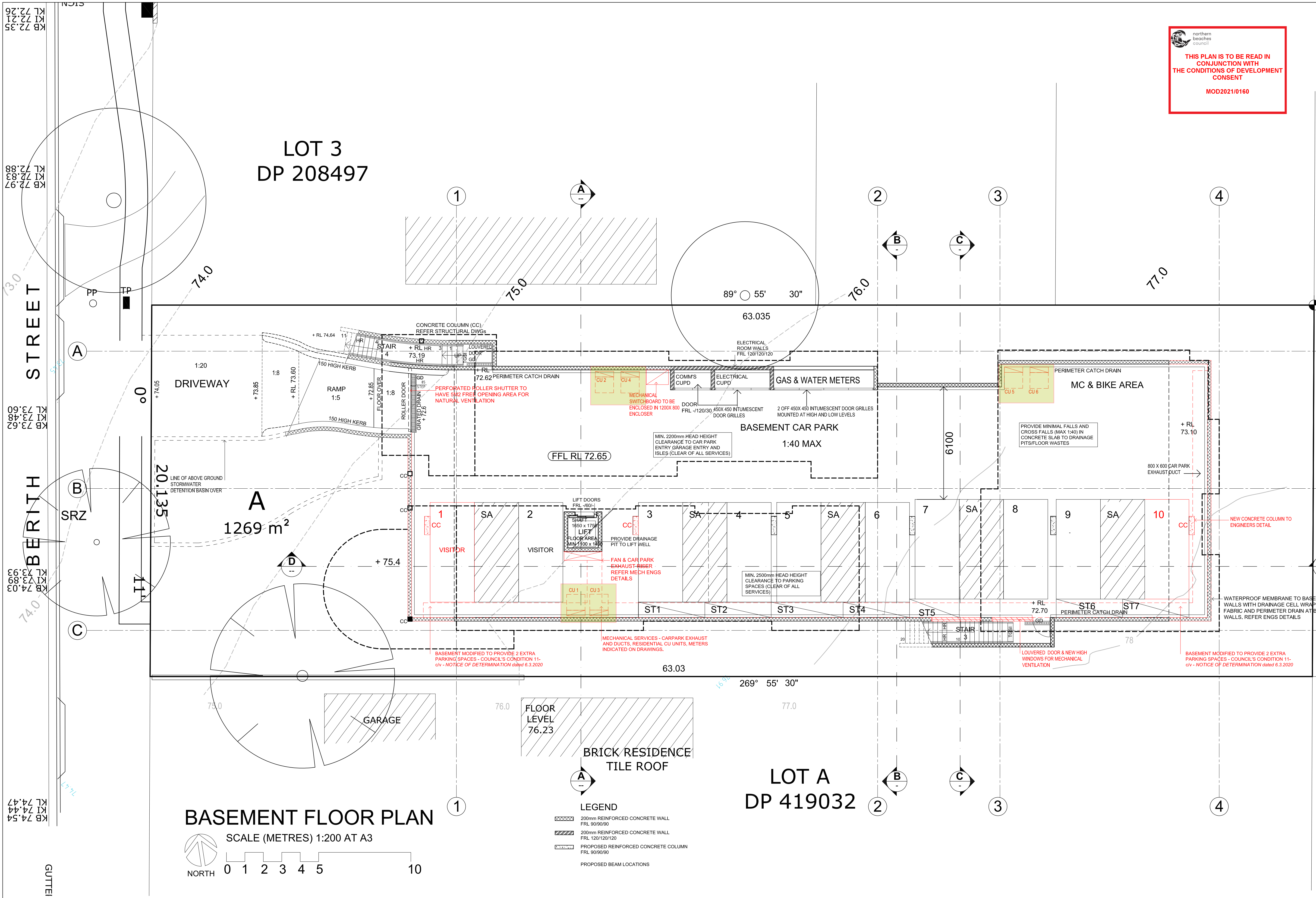




LEGEND	
AFFL	ABOVE FINISHED FLOOR LEVEL
BAL	BALUSTRADE
CC	CONCRETE COLUMN
CU	CONDENSED UNIT
DP	DOWNPIPE
EG	EAVES GUTTER
EX	EXISTING
F1	1800MM HIGH TIMBER FENCE
FB	FACE BRICK
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE
GD	GRADED DRAIN
GBT	GAS BAYONET
HT	HOSE TAP
HWU	HOT WATER UNIT
MA	METAL AWNING
MDR	METAL DECK ROOFING
PD	PLANTER DRAIN
PR	PAINTED RENDER FINISH
FPS	FIXED PRIVACY SCREEN
RL	RELATIVE LEVEL
RWO	ROOF WATER OUTLET
RWT	RAIN WATER TANK
SA	SHARED AREA
SC	STEEL COLUMN
SCW	STONE CLAD WALL
SG	SECURITY GATE
SGD	SLIDING GLASS DOOR
SK	SKY WINDOW
— DA REVISIONS	

ISSUE	DATE	AMENDMENTS
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Client		
ASTUTE INVEST Pty Ltd ACN 629 772 765		
Project		
3 BERTH STREET WHEELER HEIGHTS LOT A IN DP 411784		
Drawing		
BASEMENT PLAN		
Scale 1:100 Drawn BR		
File DA Berth St A.dwg Checked BR		
Plotted 7/11/2018 4:22 PM		
Job No 1801		
Version S4.55	Drawing No: A02	
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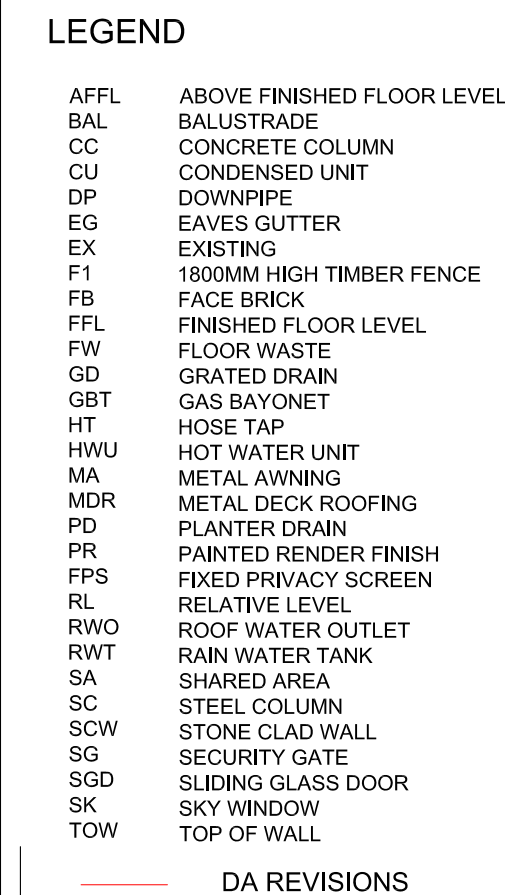


Diagram illustrating a timber palisade fence layout. The fence is shown as a vertical line with two horizontal sections. The top section is labeled "2500" and the bottom section is labeled "7440". A horizontal dimension of "78.0" is indicated across the top section. The fence is labeled "HIGH LAPPED AND TIMBER PALISADE TO BOUNDARY". Two circular markers, labeled "A" and "B", are positioned at the ends of the horizontal sections.

ISSUE	DATE	AMENDMENTS
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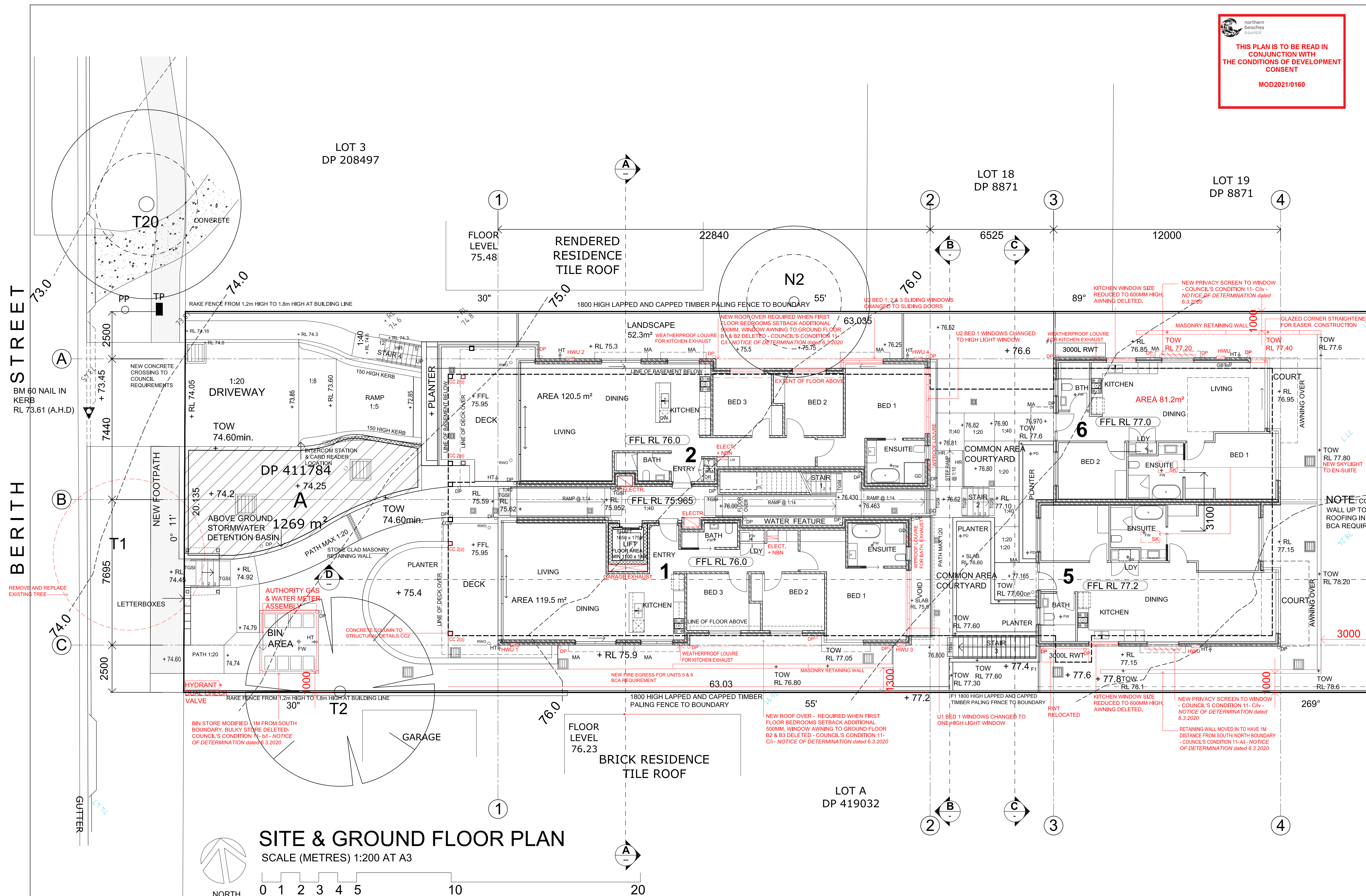
Project
3 BERITH STREET
WHEELER HEIGHTS
LOT A IN DP 411784

Drawing

SITE & GROUND FLOOR PLAN

Scale	1:100	Drawn	BR
File	Berith St A.dwg	Checked	BR
Plotted	31/05/2021		
Job No	1801		
Version	S4.55	Drawing No:	A02

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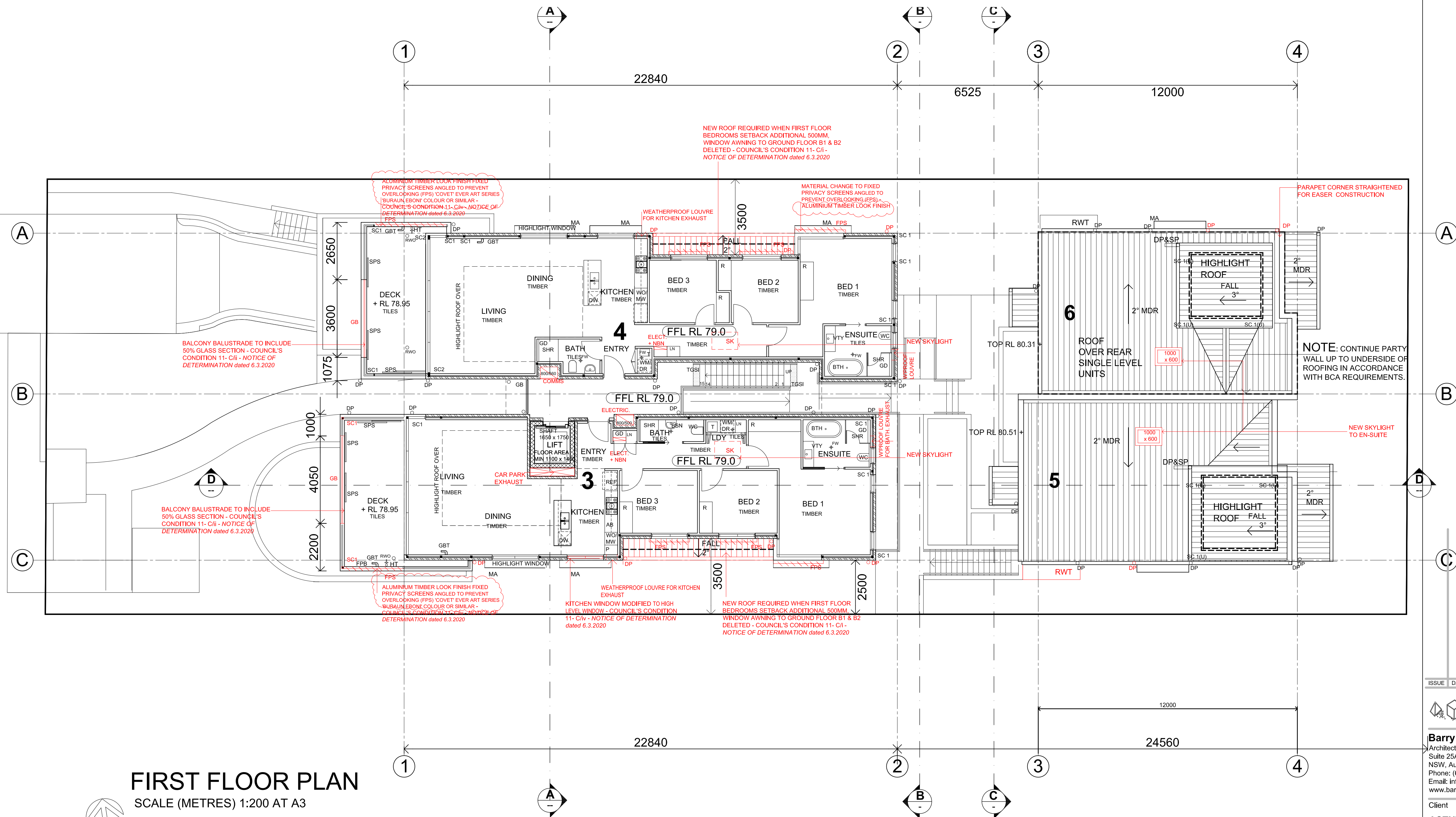


LEGEND

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
MOD2021/0160

BERITH STREET

BERITH STREET



FIRST FLOOR PLAN

SCALE (METRES) 1:200 AT A3



0 1 2 3 4 5 10

LEGEND

- 250mm BRICK VENEER WALL WITH 50mm CAVITY
- 90mm TIMBER FRAMED WALL
- 200mm REINFORCED CONCRETE WALL FRL 90/90/90
- DISCONTINUOUS CONSTRUCTION AT LIFT 90mm TIMBER FRAMED WALL 200mm REINFORCED CONCRETE WALL FRL 90/90/90
- SC 1 PROPOSED STEEL COLUMN

ISSUE DATE AMENDMENTS



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Client

ASTUTE INVEST Pty Ltd
ACN 629 772 765

Project

3 BERITH STREET
WHEELER HEIGHTS

LOT A IN DP 411784

Drawing

FIRST FLOOR PLAN

Scale 1:100 Drawn BR
File Berith St A.dwg Checked BR
Plotted 31/05/2021
Job No 1801
Version S4.55 Drawing No: A03

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LEGEND

SET OUT POINT

180°

11'

20.135

30"

269°

30"

55'

63.03

55'

63.035

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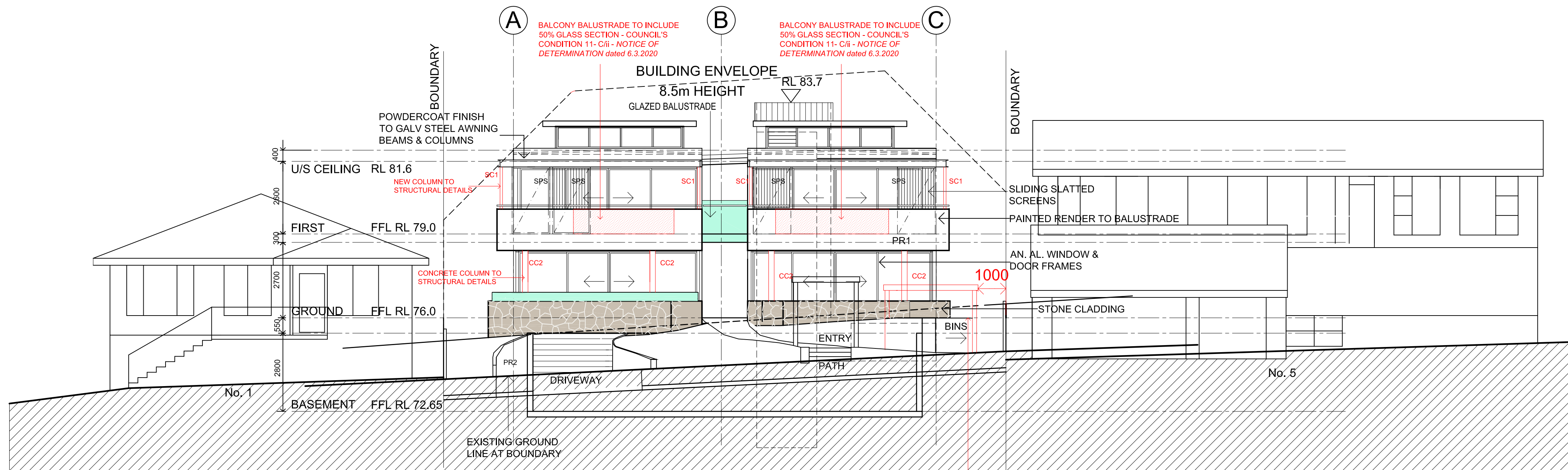
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20.135

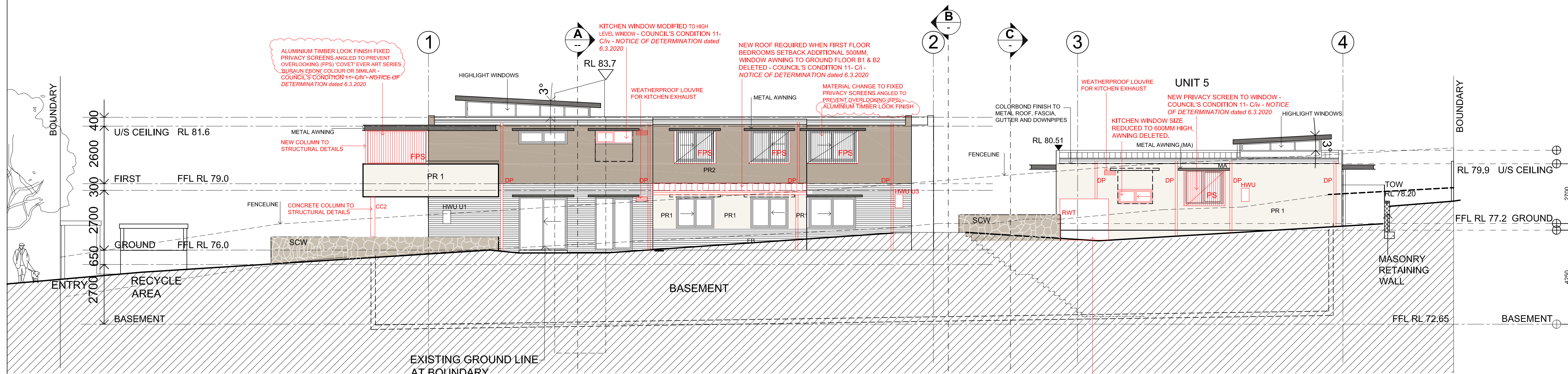
180°

30"

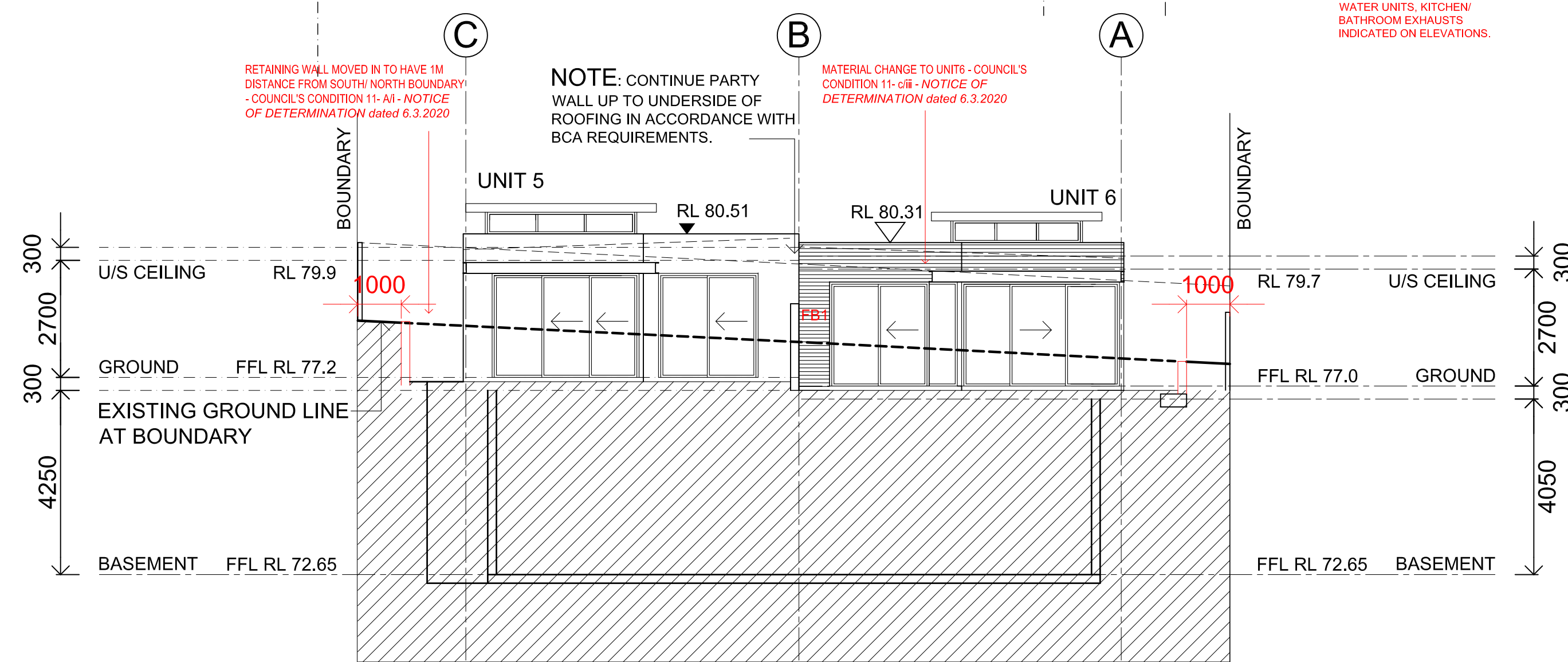
11'



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION UNITS 5 & 6

LEGEND

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2021/0160

ISSUE DATE AMENDMENTS



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Client
ASTUTE INVEST Pty Ltd
ACN 629 772 765

Project
**3 BERTH STREET
WHEELER HEIGHTS**
LOT A IN DP 411784

Drawing
ELEVATIONS

Scale 1:100 Drawn BR
File CC Berith St A.dwg Checked BR
Plotted 31/05/2021
Job No 1801
Version S4.55 Drawing No: **A06**

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Architectural section drawing of a two-story house with a basement. The drawing shows the internal structure, including walls, floors, and roof. Key features and labels include:

- Roof:** Dashed line indicating the 8.5m height line - AT SECTION. Labels include "GLAZED BALUSTRADE", "WEATHERPROOF LOUVER FOR BATH EXHAUST (WL)", and "METAL AWNING".
- Floors:** "PR2" (Second Floor), "FIRST", and "BASEMENT".
- Windows and Doors:** "AN. AL. WINDOW & DOOR FRAMES", "GLAZED BALUSTRADE", "WPL" (Window Panel), "FB" (Front Bay), and "U2 BED 1 WINDOWS RESHAPED".
- Ground and Elevation:** "BOUNDARY", "FFL RL 79.0", "FFL RL 76.0", "EXISTING GROUND LINE", "FFL RL 72.65 BASEMENT", and "U1 BED 1 TIGHT LIGHT WINDOWS ENLARGED".
- Other Labels:** "RL 83.7", "RL 81.7 U/S CEILING", "No. 1", and "GLAZED BALUSTRADE".

UNIT 6

UNIT 5

NOTE: CONTINUE PARTY WALL UP TO UNDERSIDE OF ROOFING IN ACCORDANCE WITH BCA REQUIREMENTS.

MATERIAL CHANGE TO UNITS - COUNCIL'S CONDITION 11 - c8 - NOTICE OF DETERMINATION dated 6.3.2020

BOUNDARY

U/S CEILING RL 79.7

GROUND FFL RL 77.0

BASEMENT FFL RL 72.65

RL 80.31

RL 80.51

PAINTED RENDER

PLANTER

TOW RL 77.6

U/S CEILING RL 79.9

GROUND FFL RL 77.2

EXISTING GROUND LINE AT SECTION

BASEMENT FFL RL 72.65

FB1

SCW

PR 1

PR 1

U/S

U/S

300

2700

4050

500

4050

ISSUE	DATE	AMENDMENTS
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Client
ASTUTE INVEST Pty Ltd
ACN 629 772 765

Project
3 BERITH STREET
WHEELER HEIGHTS
LOT A IN DP 411784

Drawing
**NORTH ELEVATION &
INTERNAL ELEVATIONS**

Scale	1:100	Drawn	BR
File	CC Berith St A.dwg	Checked	BR
Plotted	3/08/2020		
Job No	1801		
Version	CC	Drawing No:	A07

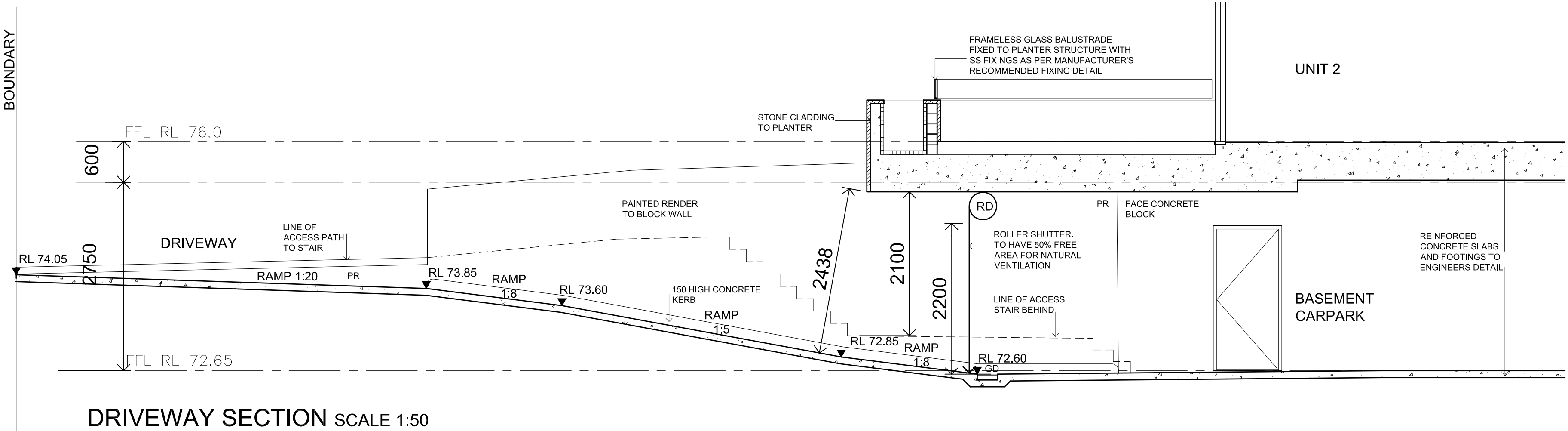
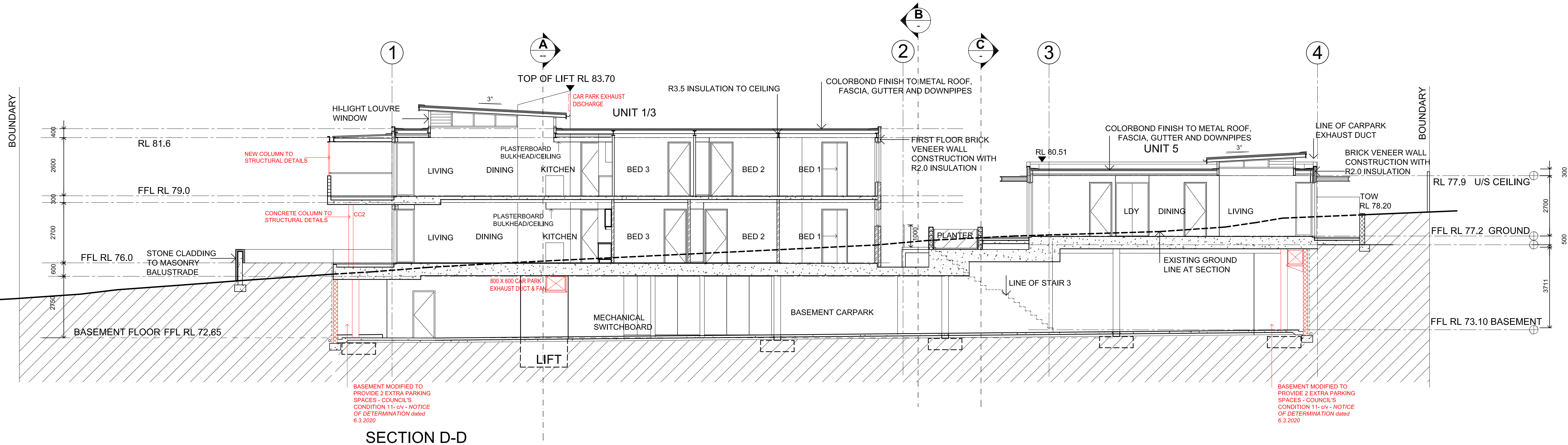
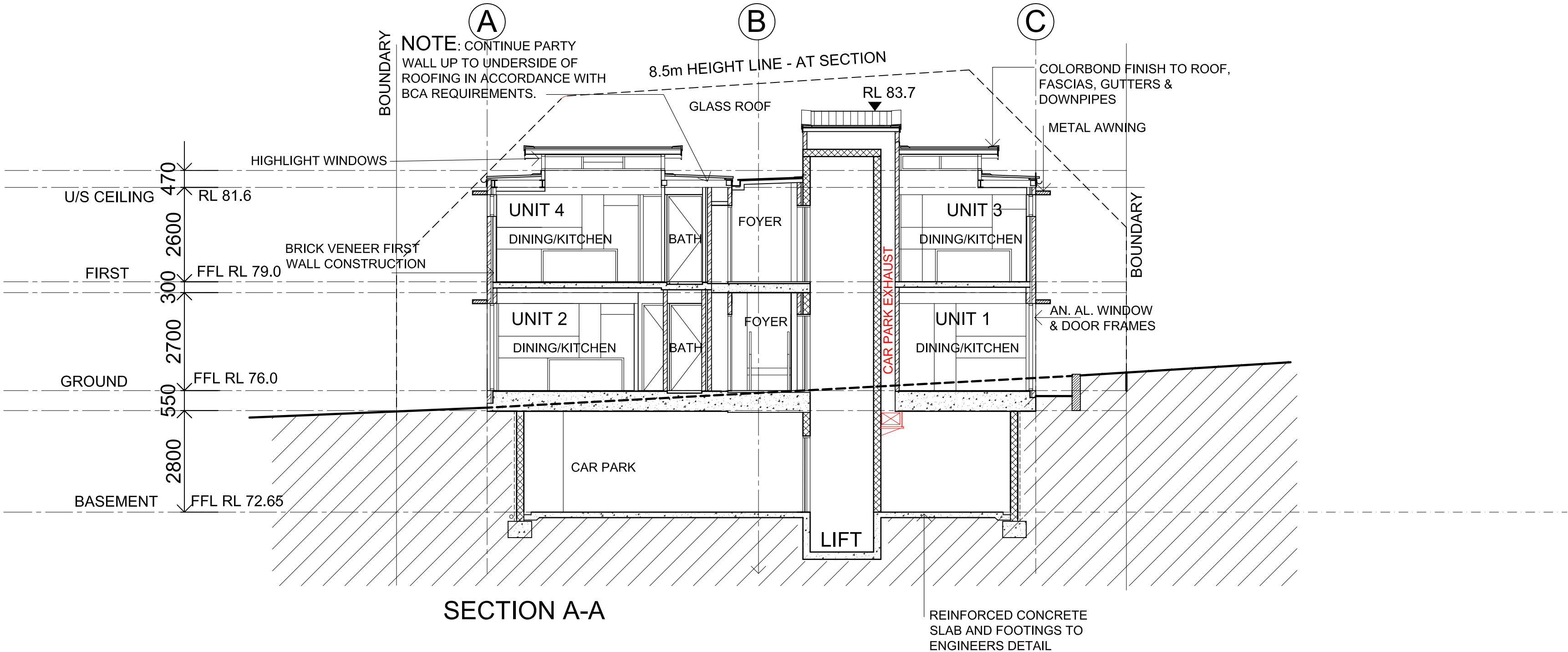
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LEGEND



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0160



ISSUE	DATE	AMENDMENTS
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Client
ASTUTE INVEST Pty Ltd
ACN 629 772 765

Project
**3 BERTH STREET
WHEELER HEIGHTS**
LOT A IN DP 411784

Drawing
SECTIONS

Scale 1:100; 1:50 Drawn MB
File S4.55 Berith St A.dwg Checked BR
Plotted 16/02/2021
Job No 1801
Version S4.55 Drawing No: **A08**

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