

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

# DEVELOPMENT APPLICATION

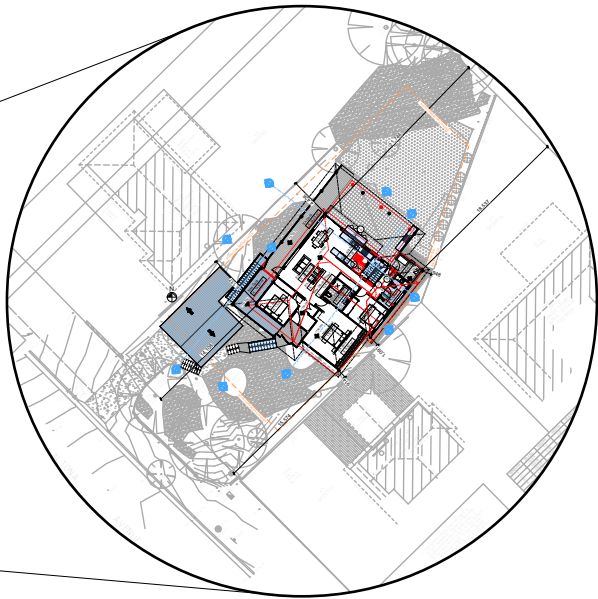
## Alterations & Additions To Existing Residence

### For Christopher and Penelope Willcock

## 7 Altona Avenue, Forestville

## Lot 44 D.P. 29792

## Project Number: RP0921WIL



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 9/12/21
DA1001	A4 NOTIFICATION PLAN	-	- 9/12/21
DA1002	SITE SURVEY	-	- 9/12/21
DA1003	SITE PLAN	-	- 9/12/21
DA1004	Existing Carport Plan	-	- 9/12/21
DA1005	Existing Ground Floor Plan	-	- 9/12/21
DA1006	Existing Roof Plan	-	- 9/12/21
DA1007	Demolition Carport Plan	-	- 9/12/21
DA1008	Demolition Ground Floor Plan	-	- 9/12/21
DA1009	Demolition Roof Plan	-	- 9/12/21
DA1010	Excavation & Fill Plan	-	- 9/12/21
DA1011	Landscape Open Space Plan Existing	-	- 9/12/21
DA1012	Landscape Open Space Plan Proposed	-	- 9/12/21
DA1013	Landscape Plan	-	- 9/12/21
DA1014	Sediment & Erosion Plan	-	- 9/12/21
DA1015	Waste Management Plan	-	- 9/12/21
DA1016	Stormwater Plan	-	- 9/12/21
DA2001	CARPORT	-	- 9/12/21
DA2002	GROUND FLOOR	-	- 9/12/21
DA2003	FIRST FLOOR	-	- 9/12/21
DA2004	ROOF	-	- 9/12/21
DA3000	SECTION 1	-	- 9/12/21
DA3001	SECTION 2	-	- 9/12/21
DA4000	ELEVATIONS 1	-	- 9/12/21
DA4001	ELEVATIONS 2	-	- 9/12/21
DA4002	ELEVATIONS 3	-	- 9/12/21
DA5000	PERSPECTIVE	-	- 9/12/21
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 9/12/21
DA5002	SHADOW PLAN 21st June 9am	-	- 9/12/21
DA5003	SHADOW PLAN 21st June 12pm	-	- 9/12/21
DA5004	SHADOW PLAN 21st June 3pm	-	- 9/12/21
DA5005	WALL ELEVATION SHADOWS	-	- 9/12/21

## **BASIX** Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

### Alterations and Additions

Certificate number: A443352

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Thursday, 09, December 2021  
To be valid, this certificate must be lodged within 3 months of the date of issue.

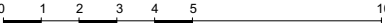


Planning,  
Industry &  
Environment

### Description of project

Project address	
Project name	Willcock
Street address	7 Altona Avenue Forestville 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 29792
Lot number	44
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

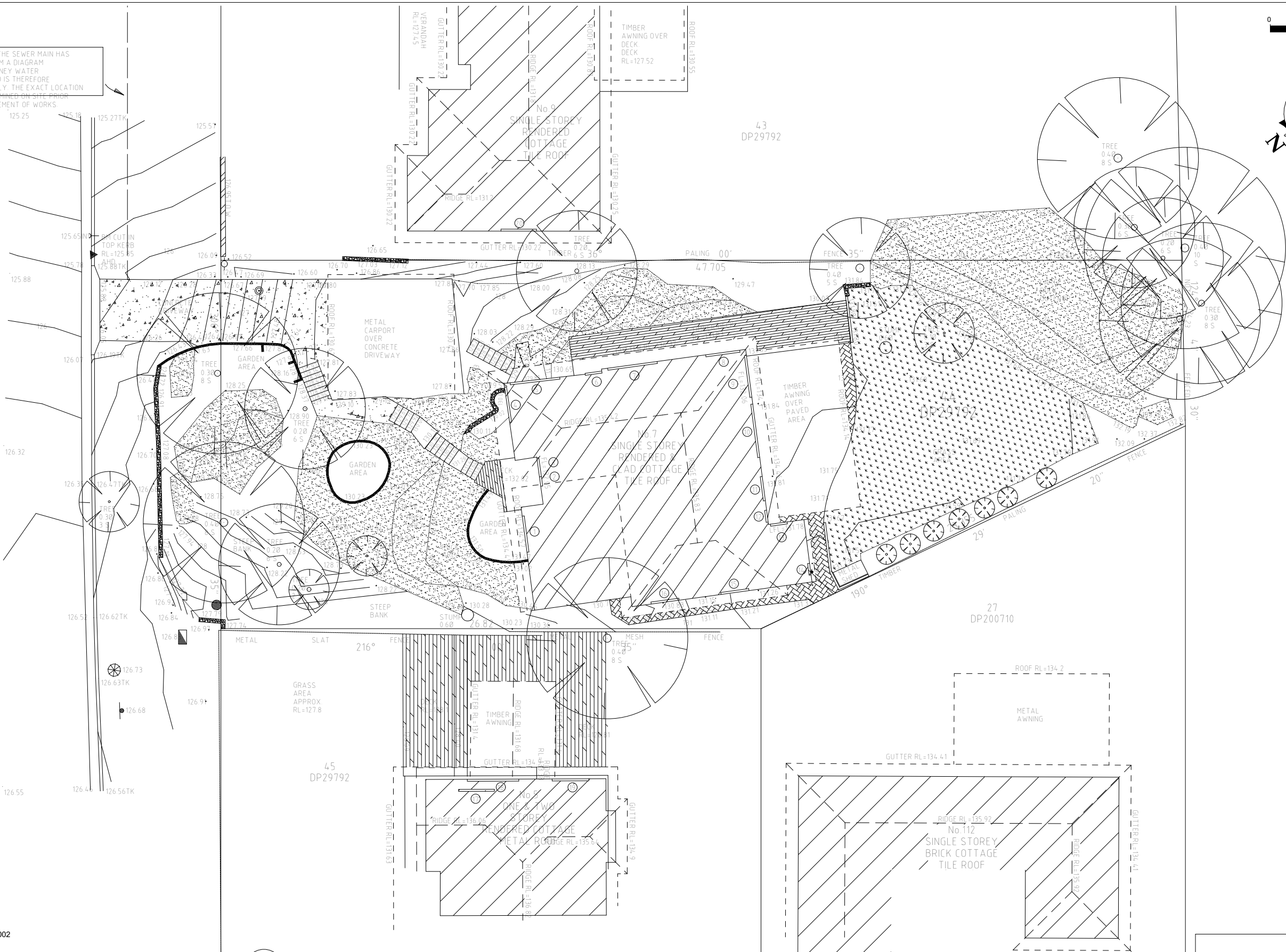
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592



APPROX TN  
M.M

FOR BASIS  
PURPOSES

THE POSITION OF THE SEWER MAIN HAS BEEN SCALED FROM A DIAGRAM SUPPLIED BY SYDNEY WATER CORPORATION AND IS THEREFORE APPROXIMATE ONLY. THE EXACT LOCATION SHOULD BE DETERMINED ON SITE PRIOR TO ANY COMMENCEMENT OF WORKS.






























**DIAL 1100**  
BEFORE YOU DIG  
[www.1100.com.au](http://www.1100.com.au)





AREA LOT 44  
VIDE DP 29792: 796.7 m<sup>2</sup>  
BY CALC : 769.1 m<sup>2</sup>

ORIGIN OF LEVELS:  
SSM 37607 RL=126.24 (AHD) FOUND NEAR  
THE INTERSECTION OF DEAKIN STREET &  
ALTONA AVENUE.  
ACCURACY OF ORIGIN: ± 0.001m

LEGEND

- LEGEND**

	TELSTRA PILLAR		SEWER MANHOLE
	TELSTRA MARKER POST		SEWER VENT
	TELSTRA PIT		SEWER LAMPHOLE
	POWER POLE		STORMWATER PIT
	ELECTRICAL PILLAR		STORMWATER GRATE
	POWER LIGHT POLE		SURFACE INLET PIT
	LIGHT POLE		STORMWATER PIPE INCLUDING PIPE SIZE
	GAS METER		HEADWALL
	GAS DIRECTION MARKER		CLOTHES LINE
	WATER MAIN		OVERHEAD ELECTRICITY LINE
	HYDRANT		OVERHEAD TELECOM LINE
	RECYCLED WATER		SEWER LINE
	WATER METER		
	STOP VALVE		
	WATER TAP		

 STREET SIGN  
 PRAM CROSSING  
 VEHICLE CROSSING  
 TREE:  

O DIAMETER  
 S SPREAD

VAUGHAN WADY  
REGISTERED SURVEYOR #8684  
Surveyor Registered under the  
Surveying and Spatial Information Act 2002

L.G.A. : NORTHERN BEACHES  
PARISH : MANLY COVE  
COUNTY : CUMBERLAND



PLAN SHOWING DETAIL AND LEVEL  
OVER LOT 44 IN DP29792  
BEING No.7 ALTONA AVENUE,  
FORESTVILLE FOR LANDSCAPE  
DESIGN PURPOSES

<b>Rev.</b>	<b>Amendments</b>	<b>Date</b>
A	BOUNDARY INFORMATION UPDATED	18/02/20
JOB No.	YOUR REF:	
1561	WILLCOCK	
DRAWING NO. 1561CO_FSL.dwg	CLIENT: <b>FIFTH SEASON</b>	
SCALE: 1:100 (A1)	SURVEYED M.S. DATE:	CHECKED M.S. DATE:
DATE/A.H.D.	20.11.20	23.11.20
SHEET: 1 OF 1		24.11.20

1 WARNING:  
SURVPLAN OWNS THE RIGHTS TO THIS SURVEY AND  
RELATED DOCUMENTS. THE INFORMATION PROVIDED IN  
THIS DOCUMENT IS FOR THE CLIENT NAMED WITHIN  
USE OF THIS PLAN BY ANY OTHER PERSON/S IS NOT  
PERMITTED UNLESS WRITTEN CONSENT IS PROVIDED BY SURVPLAN.  
2 INFORMATION SHOWN HAS BEEN SURVEYED FOR  
DEVELOPMENT APPLICATION AND IS ACCURATE FOR  
PLANNING PURPOSES.  
3 SERVICES SHOWN ARE THOSE THAT WERE VISIBLE  
AT THE TIME OF SURVEY AND HAVE BEEN LOCATED BY  
FIELD SURVEY. FURTHER SERVICES MAY BE PRESENT  
PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON SITE.  
THE RELEVANT AUTHORITIES SHOULD BE CONTACTED FOR  
POSSIBLE LOCATION OF FURTHER UNDERGROUND  
SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.  
END BEFORE YOU DIG!

## SURVEY PLAN

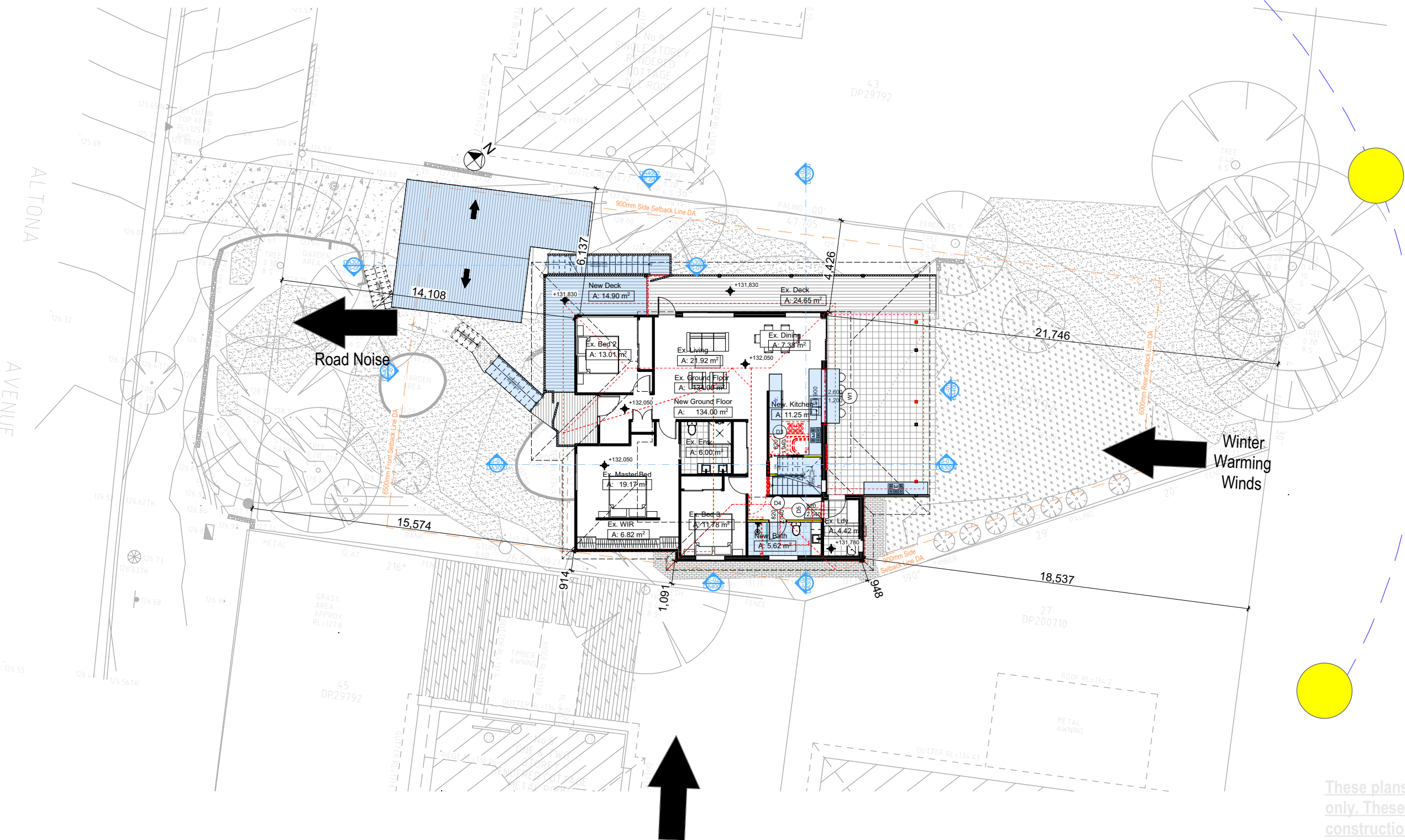
1:200

WINDOW	SILL RL	HEIGHT	WIDTH	GLASS TYPE
1	133.0	1.2	1.8	CLEAR
2	132.05	2.08	0.47	CLEAR
3	132.05	2.08	0.95	DOOR
4	132.05	2.08	1.8	CLEAR
5	132.05	2.08	2.6	CLEAR
6	132.05	2.04	0.84	DOOR
7	132.06	2.2	2.48	CLEAR
8	132.06	2.2	1.7	CLEAR
9	132.06	2.2	2.08	CLEAR DOORS
10	133.18	1.08	2.67	CLEAR

WINDOW	SILL RL	HEIGHT	WIDTH	GLASS TYPE
11	133.68	0.6	1.2	CLEAR
12	133.68	0.6	0.6	CLEAR
13	131.78	2.15	0.84	DOOR
14	132.9	0.7	0.58	CLEAR
15	132.89	1.38	1.4	CLEAR
16	132.89	1.38	1.4	CLEAR
17	133.99	0.61	1.8	CLEAR
18	128.81	2.28	2.56	CLEAR DOORS
19	129.89	1.2	1.82	CLEAR
20	129.28	0.78	1.77	FROSTED



Construction			Fixtures and systems		
Insulation requirements			Lighting		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Construction	Additional insulation required (R-value)	Other specifications	Fixtures		
floor above existing dwelling or building.	nil		The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)	The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		



Denotes New Works

**Wall Legend**

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

Rapid Plans  
Building Design and Architectural Drafting

7 Altona Avenue, Forestville NSW 1585  
Tel: (02) 9350-8845, Mobile: 0414-946-024  
Email: info@rapidplans.com.au

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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

7 Altona Avenue, Forestville is zoned R2-low density residential

7 Altona Avenue, Forestville is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

**Construction**

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber Framing to BCA and AS 1684

Timber Management to BCA and AS 3660.1

Glazing to BCA and AS1728-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A443352

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install new windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m2)	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works.

Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked: GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WIL  
Project Status: DA

Client: Christopher and Penelope Wilcock  
Site: 7 Altona Avenue, Forestville

DRAWING TITLE:  
SITE AND LOCATION  
**SITE PLAN**

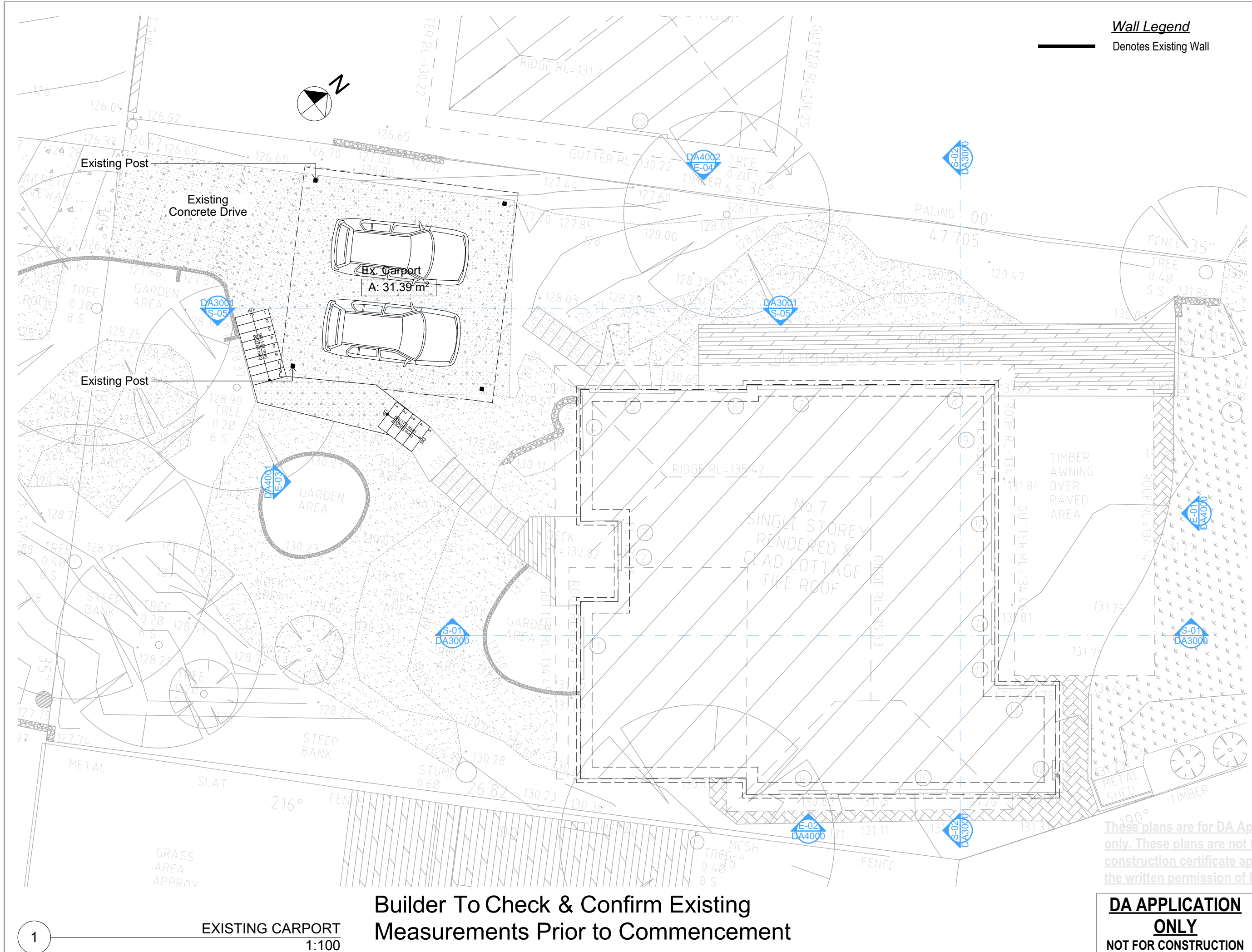
PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
-	9/12/21

DRAWING NO.  
**DA1003**

Plot Date: 14/12/2021  
Sheet Size: A3





Wall Legend  
Denotes Existing Wall

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**NOTES**

7 Altona Avenue, Forestville is zoned R2-low density residential

7 Altona Avenue, Forestville is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue Construction

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Timber Management to BCA and AS 3660.1

Glazing to BCA and AS/NZS 2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Code of Australia

**Certifying**

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**Basic Certificate Number A443352**

The applicant must construct the new or altered construction (floor area, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below

Relevant overhanging specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WVL  
Project Status: DA

Client: Christopher and Penelope Willcock  
Site: 7 Altona Avenue, Forestville

**DRAWING TITLE:**  
SITE AND LOCATION  
**Existing Carport Plan**

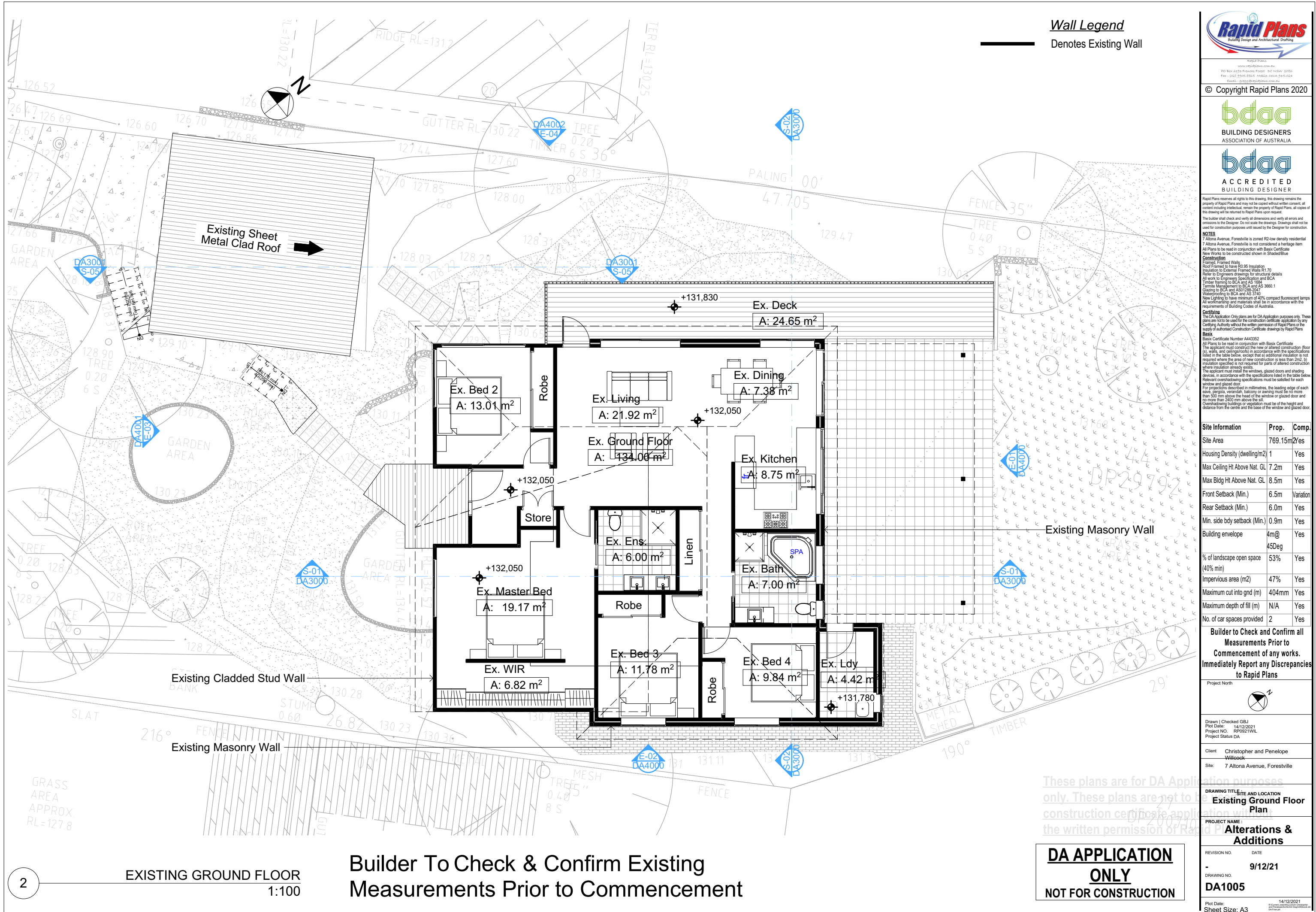
**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO.	DATE
-	9/12/21

DRAWING NO.  
**DA1004**

Plot Date: 14/12/2021  
Sheet Size: A3





Wall Legend  
Denotes Existing Wall

Building Design and Architectural Drafting

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**NOTES**  
7 Altona Avenue, Forestville is zoned R2-low density residential.  
7 Altona Avenue, Forestville is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate.  
New Works to be constructed shown in Shaded/Blue Construction.  
Framed, Framed Walls.  
Roof Framed to have R0.95 Insulation.  
Insulation to be installed in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of allowed construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WVL  
Project Status DA

Client Christopher and Penelope Willcock  
Site: 7 Altona Avenue, Forestville

**DRAWING TITLE SITE AND LOCATION**  
**Existing Ground Floor Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO.	DATE
-	9/12/21

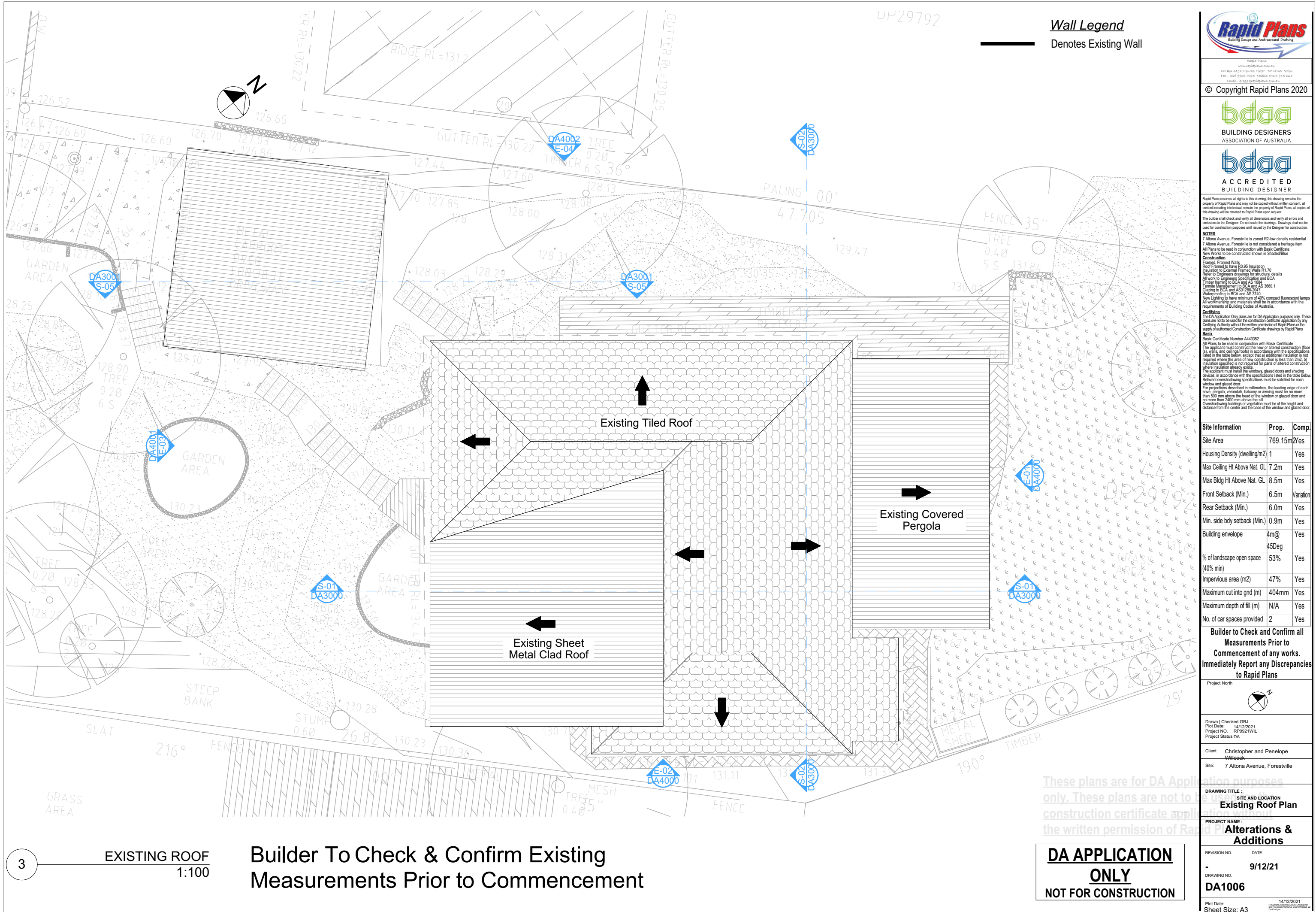
DRAWING NO.  
**DA1005**

Plot Date: 14/12/2021  
Sheet Size: A3

Builder To Check & Confirm Existing Measurements Prior to Commencement

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**





Wall Legend  
Denotes Existing Wall

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Building Design and Architectural Drafting

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ASSOCIATION OF AUSTRALIA

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**NOTES**  
7 Altona Avenue, Forestville is zoned R2-low density residential  
7 Altona Avenue, Forestville is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue Construction  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Relevant Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2007  
Roofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic Certificate Number A44352**  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below  
For windows described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WV  
Project Status DA

Client Christopher and Penelope Wilcock  
Site: 7 Altona Avenue, Forestville

**DRAWING TITLE :**  
SITE AND LOCATION  
**Existing Roof Plan**

**PROJECT NAME :**  
**Alterations & Additions**

REVISION NO.	DATE
-	9/12/21

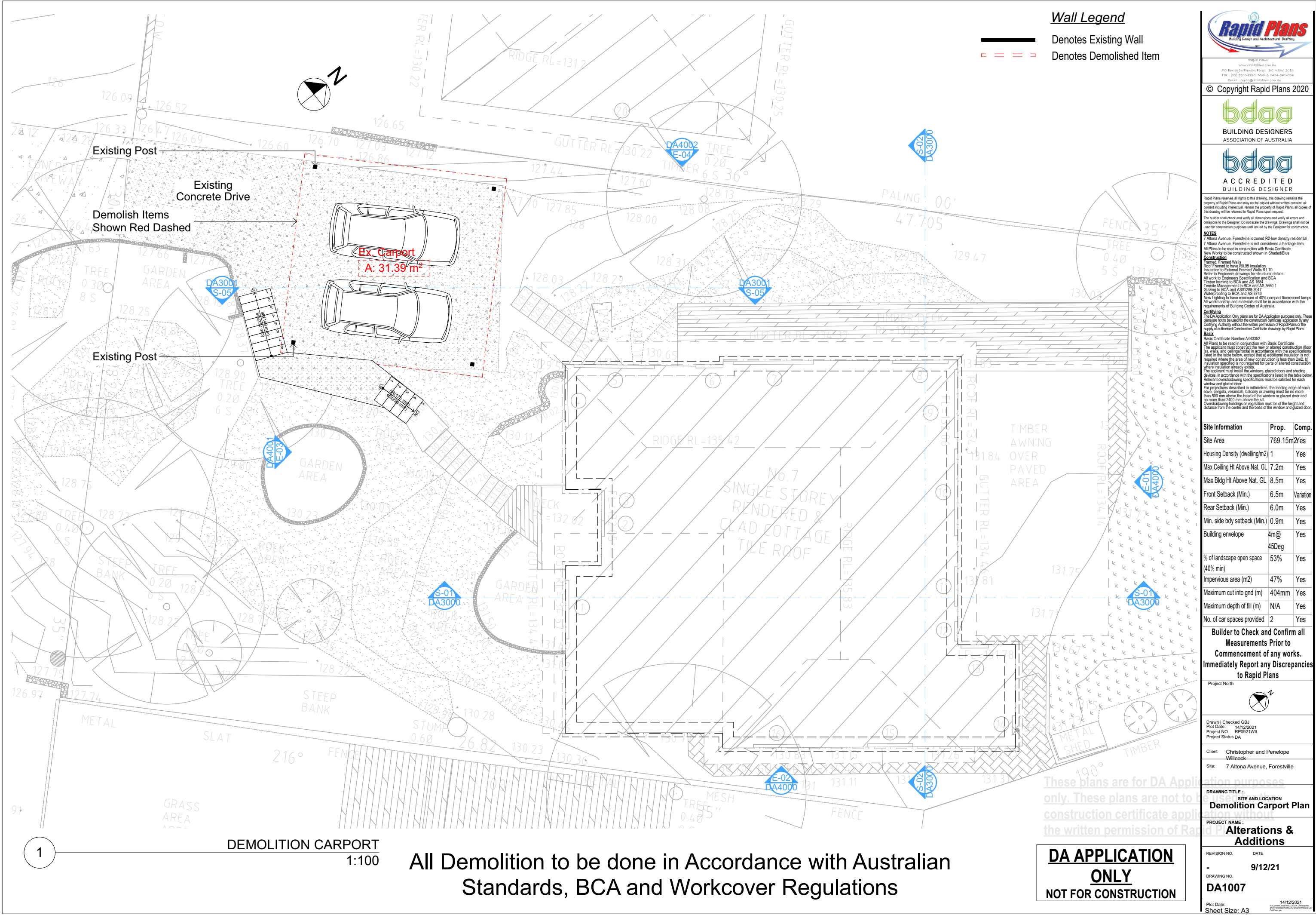
DRAWING NO.  
**DA1006**

Plot Date: 14/12/2021  
Sheet Size: A3

Builder To Check & Confirm Existing Measurements Prior to Commencement

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**





Wall Legend

- Denotes Existing Wall  
- - - Denotes Demolished Item

Building Design and Architectural Drafting

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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdca**  
ACCREDITED  
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

**NOTES**  
7 Altona Avenue, Forestville is zoned R2-low density residential  
7 Altona Avenue, Forestville is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
Construction  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specifications and BCA  
Timber Framing to BCA and AS 1684  
Timber Management to BCA and AS 3660.1  
Glazing to BCA and AS/NZS2845  
Waterproofing to ECA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Code of Australia

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic Certificate Number A44332**  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overheadline specifications must be satisfied for each window and glazed door.  
For properties described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m²)	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO: RP0921WVL  
Project Status DA

Client Christopher and Penelope Willcock  
Site: 7 Altona Avenue, Forestville

**DRAWING TITLE:**  
SITE AND LOCATION  
**Demolition Carport Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO.	DATE
-	9/12/21

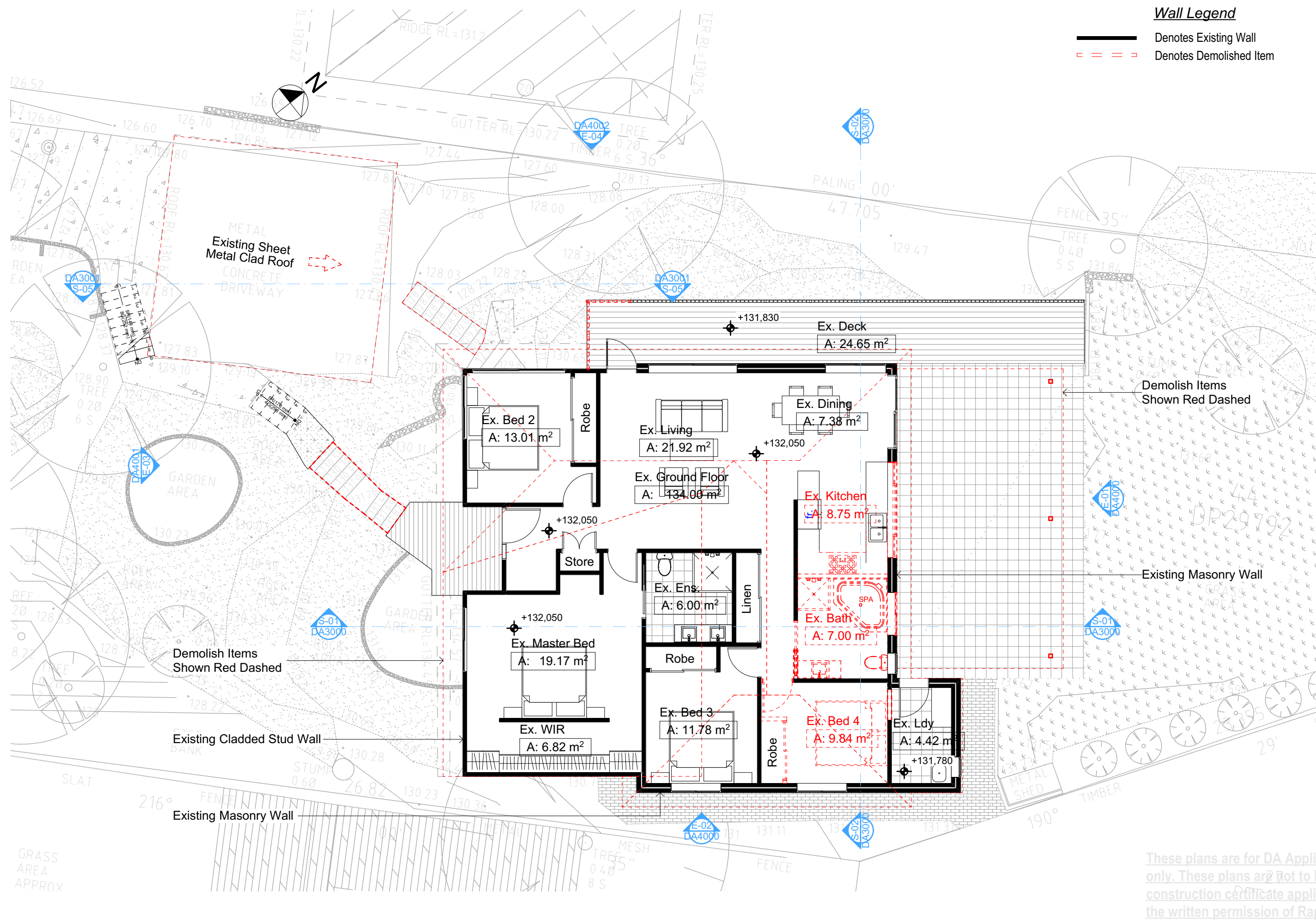
DRAWING NO.  
**DA1007**

Plot Date: 14/12/2021  
Sheet Size: A3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**





### Wall Legend

- Denotes Existing Wall
- - - - - Denotes Demolished Item

Building Design and Architectural Drafting

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**NOTES**  
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All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
Construction  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specifications and BCA  
Timber Framing to BCA and AS 1684  
Timber Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Demolish Items Shown Red Dashed**

**Existing Masonry Wall**

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WIL  
Project Status DA

Client Christopher and Penelope Wilcock  
Site: 7 Altona Avenue, Forestville

**DRAWING TITLE SITE AND LOCATION**  
**Demolition Ground Floor Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO.	DATE
-	9/12/21

DRAWING NO.  
**DA1008**

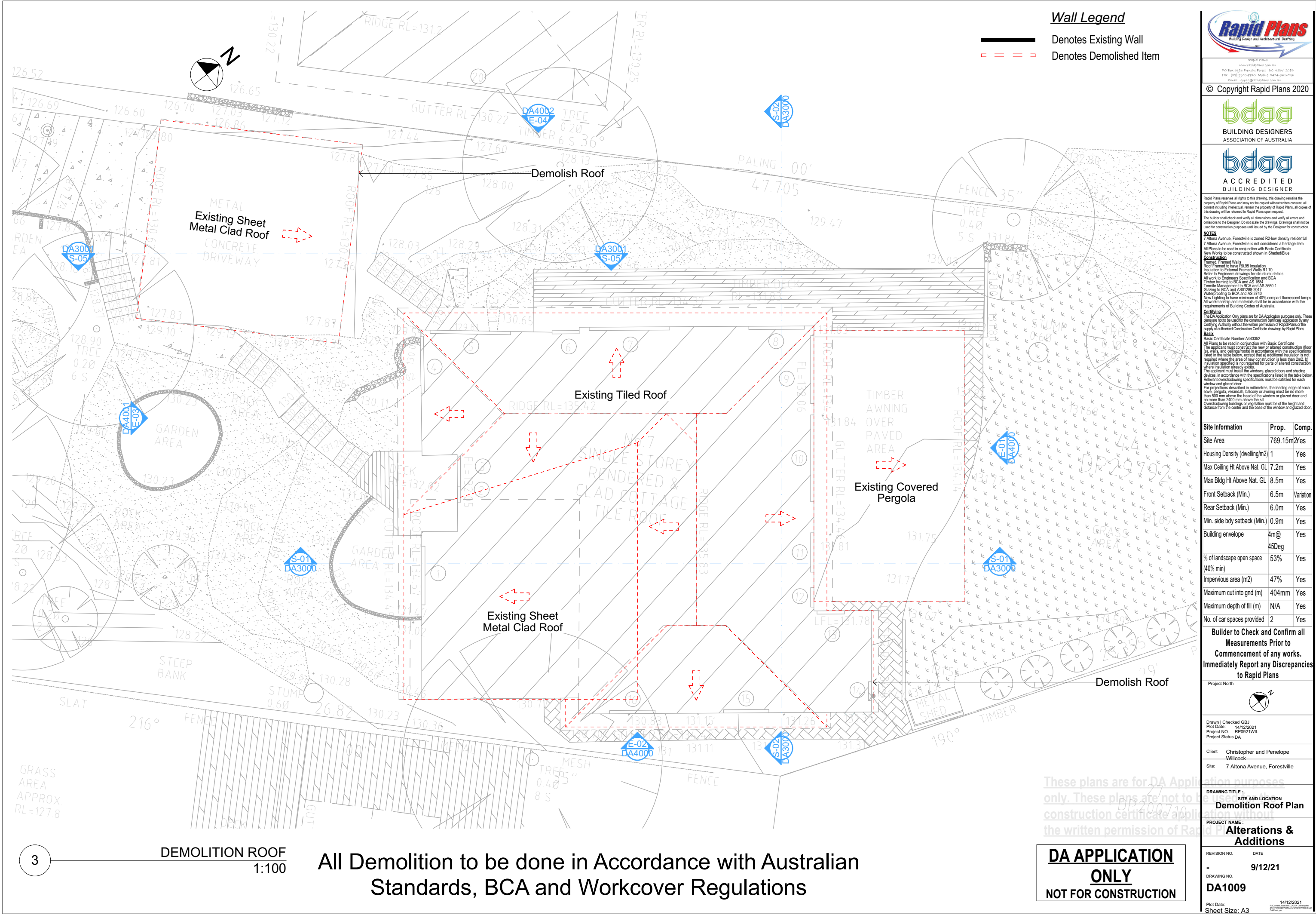
Plot Date: 14/12/2021  
Sheet Size: A3

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations





**Wall Legend**

— Denotes Existing Wall

- - - - - Denotes Demolished Item

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**ACCREDITED BUILDING DESIGNER**

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**NOTES**

7 Altona Avenue, Forestville is zoned R2-low density residential

7 Altona Avenue, Forestville is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

**Construction**

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Standards and BCA

Timber Framing to BCA and AS 1684

Timber Management to BCA and AS 3660.1

Glazing to BCA and AS 1728-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A443352

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below

Relevant overhanging specifications must be satisfied for each window and glazed door

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WIL  
Project Status DA

Client Christopher and Penelope Wilcock  
Site: 7 Altona Avenue, Forestville

**DRAWING TITLE :**  
**SITE AND LOCATION**  
**Demolition Roof Plan**

**PROJECT NAME :**  
**Alterations & Additions**

REVISION NO.	DATE
-	9/12/21

DRAWING NO.  
**DA1009**

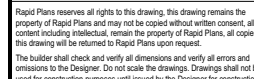
Plot Date: 14/12/2021  
Sheet Size: A3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



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**Construction**  
 Insulated, Framed Walls  
 Roof Framed to have R0.95 insulation  
 Installation to External Framed Walls R1.70  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
 Water to BCA and AS01288-2047  
 Glazing to BCA and AS 3740  
 New Lighting to have minimum of 40% compact fluorescent lam  
 All work to be in accordance with the requirements of Building Codes of Australia.

**Basix**  
 Basix Certificate Number A443352  
 All Plans to be read in conjunction with Basix Certificate  
 The applicant must construct the new or altered construction (i.e. walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required for the new or altered construction, and b) the insulation specified is not required for parts of altered construction where insulation already exists.  
 The applicant must install the new windows, glazed doors and shading devices in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
 For projections described in millimetres, the leading edge of each window or balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
 The height of the window or glazed door must be of the height and distance from the centre and side of the window and glazed door

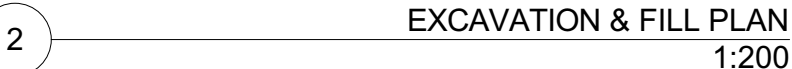
**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancy  
to Rapid Plans**

A circle with a shaded sector. The arc length of the shaded sector is labeled  $z$ .

Client	Christopher and Penelope Willcock
Site:	7 Altona Avenue, Forestville

PROJECT NAME : **Alterations & Additions**

Plot Date: 14/12/2021  
Sheet Size: A3  
R:\Cymest Jobs\BILLCOOK Chrisop and Penelope\ArchCAD Design\WSSA Final.dgn



<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapid Response.</p>	<p>DRAWING TITLE :</p> <p>SITE AND LOCATION</p> <p><b>Excavation &amp; Fill Plan</b></p>
	<p>PROJECT NAME :</p> <p><b>Alterations &amp;</b></p>
	<p>DATE :</p> <p>11/11/2024</p>

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**



Denotes Impervious Area

Denotes Pervious Area

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**NOTES**  
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7 Altona Avenue, Forestville is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue Construction  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Furniture Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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**Basic**  
Basic Certificate Number A443352  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overhanging specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2500 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WIL  
Project Status DA

Client Christopher and Penelope Willcock  
Site: 7 Altona Avenue, Forestville

**DRAWING TITLE SITE AND LOCATION**  
**Landscape Open Space Plan Existing**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO. DATE  
- 9/12/21  
DRAWING NO.  
**DA1011**

Plot Date: 14/12/2021  
Sheet Size: A3

Description	Area (m2)	Percentage
Site Area	769.15m2	100%
Exist. Open Landscape Area	423.46m2	55%
Exist. Impervious Area	345.69m2	45%
Proposed Open Landscape Area	405.73m2	53%
Proposed Impervious Area	363.42m2	47%

Note:  
Total Open Landscape Area for the property will be decreased by 2%

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**NOT FOR CONSTRUCTION**

Denotes Impervious Area

Denotes Pervious Area

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WVL  
Project Status DA

Client Christopher and Penelope Wilcock  
Site: 7 Altona Avenue, Forestville

DRAWING TITLE SITE AND LOCATION  
**Landscape Open Space Plan Proposed**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO. DATE  
- 9/12/21  
DRAWING NO.  
**DA1012**

Plot Date: 14/12/2021  
Sheet Size: A3

Description	Area (m2)	Percentage
Site Area	769.15m <sup>2</sup>	100%
Exist. Open Landscape Area	423.46m <sup>2</sup>	55%
Exist. Impervious Area	345.69m <sup>2</sup>	45%
Proposed Open Landscape Area	405.73m <sup>2</sup>	53%
Proposed Impervious Area	363.42m <sup>2</sup>	47%

Note:  
Total Open Landscape Area for the property will be decreased by 2%

LANDSCAPE OPEN SPACE PROPOSED  
1:200

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



LANDSCAPE PLAN  
1:200**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION****NOTES**

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New Works to be constructed shown in Shaded/Blue  
7 Altona Avenue, Forestville is not considered a heritage item

**Certifying**

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**Construction**

Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A443352

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>  
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**Landscape Legend**

Ground Covers Schedule	
Symbol	Common Name
	Existing Paved Area
	Existing Rock
	Existing Garden Area
	Existing Paved Area
	Existing Concrete
	Existing Retaining Wall
	Existing Timber Deck
	New Timber Deck
	Existing Tree & Shrub To Remain
	Existing Grass To Remain



Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au  
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all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status  
Client  
Site:  
Sheet Size: A3

GBJ  
14/12/2021  
RP0921WIL  
DA  
Christopher and Penelope  
7 Altona Avenue, Forestville

DRAWING TITLE :

SITE AND LOCATION  
**Landscape Plan**

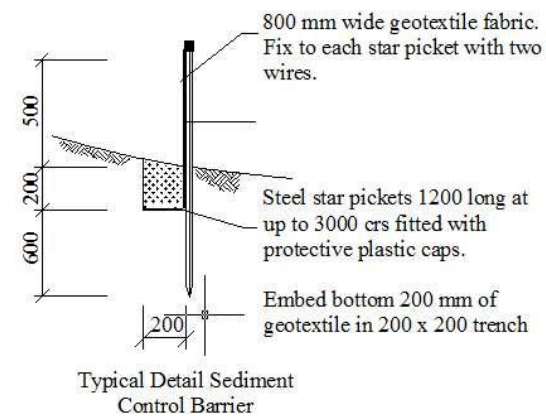
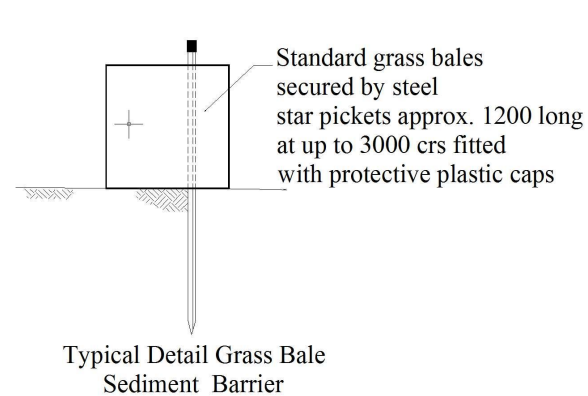
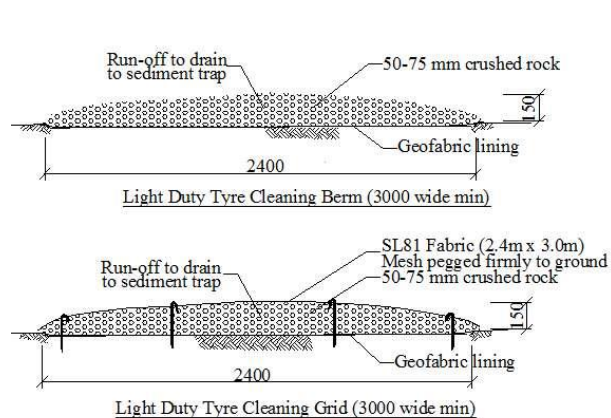
PROJECT NAME :

**Alterations & Additions**

REVISION NO.  
DATE:  
9/12/21  
DRAWING NO.  
**DA1013**

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (40% min)	53%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	47%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	404mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			





 Denotes New Works

Wall Legend

 Denotes New Timber Framed Wall  
 Denotes Existing Wall  
 Denotes Demolished Item



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

Altona Avenue, Forestville is zoned R2-low density residential

Altona Avenue, Forestville is not considered a heritage item

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

ramed, Framed Walls  
 roof Framed to have R0.95 Insulation  
 nsulation to External Framed Walls R1.70  
 refer to Engineers drawings for structural details  
 all work to Engineers Specification and BCA  
 timber framing to BCA and AS 1684  
 ermite Management to BCA and AS 3660.1  
 glazing to BCA and AS01288-2047  
 Waterproofing to BCA and AS 3740  
 new Lighting to have minimum of 40% compact fluorescent lamps  
 workmanship and materials shall be in accordance with the  
 requirements of Building Codes of Australia.

**Certifying**  
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Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO. RP0921WIL  
Project Status DA

Client:	Christopher and Penelope <del>Willcock</del>
Site:	7 Altona Avenue, Forestville

DRAWING TITLE :  
SITE AND LOCATION  
**Sediment & Erosion Plan**

PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
-	9/12/21

DRAWING NO.

**DA1014**

---

Plot Date: 14/12/2021

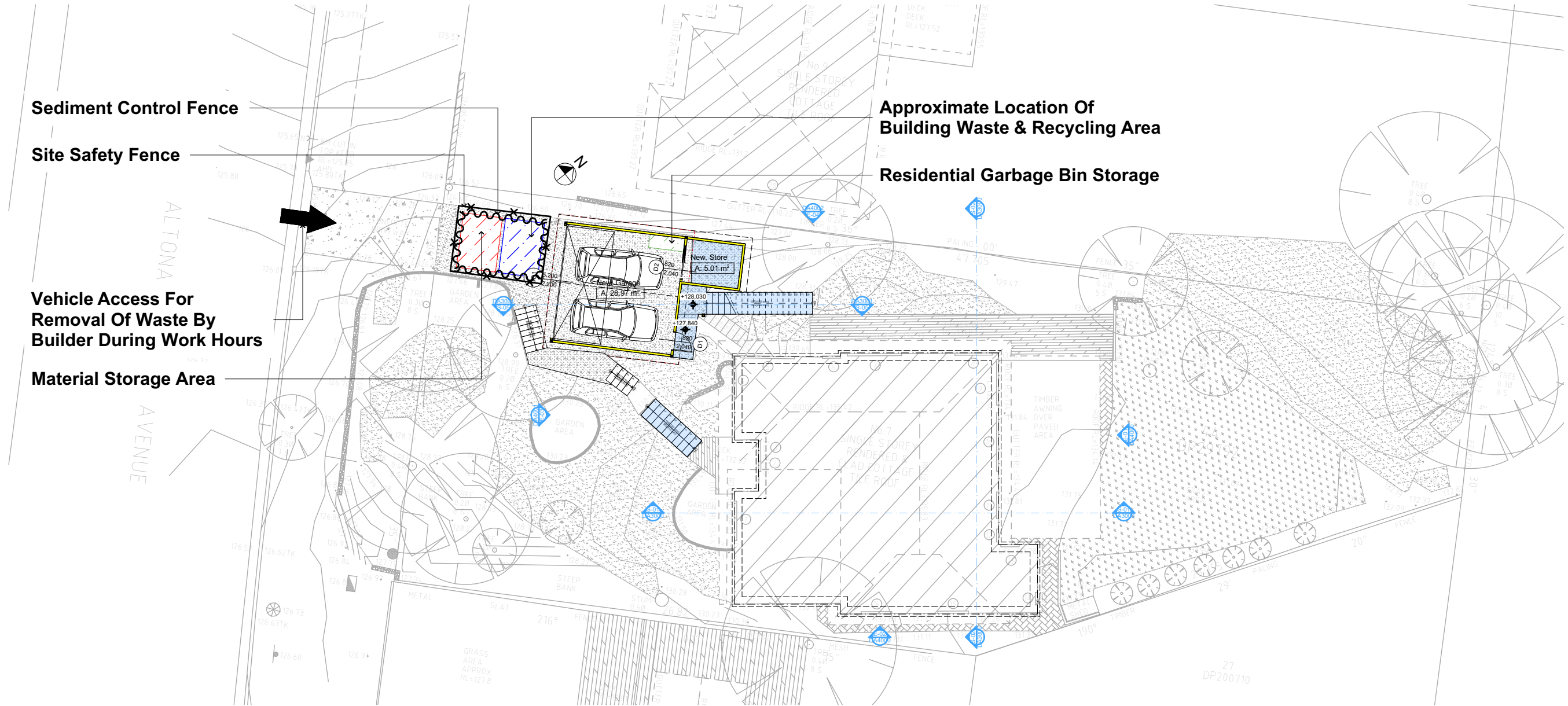
Sheet Size: A3

R:\Current User\WILLOCK, Christopher and Penelope\ArchCAD Design\WILLOCK-01  
DA Final.dgn

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of RAA.</p>	DRAWING TITLE :
	SITE AND LOCATION
	<b>Sediment &amp; Erosion Plan</b>
	PROJECT NAME :
	<b>Alterations &amp;</b>





1  
-  
WASTE MANAGEMENT PLAN  
1:200

Denotes New Works

### Wall Legend

Denotes New Timber Framed Wall  
Denotes Existing Post  
Denotes Demolished Item

Rapid Plans  
Building Design and Architectural Drafting

World Plans  
PO Box 6239 Foresters Forest, QLD 4080  
Tel: (07) 5505-8545, Mobile: 0414-545-024  
Email: info@rapidplans.com.au

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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
7 Altona Avenue, Forestville is zoned R2-low density residential  
7 Altona Avenue, Forestville is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue Construction  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specifications and BCA  
Timber framing to BCA and AS 1684  
Timber Management to BCA and AS 3660.1  
Glazing to BCA and AS 1728-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic Certificate Number A443352**  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 250 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WIL  
Project Status DA

Client Christopher and Penelope  
Willcock  
Site: 7 Altona Avenue, Forestville

DRAWING TITLE :  
SITE AND LOCATION  
**Waste Management Plan**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.	DATE
-	9/12/21

DRAWING NO.  
**DA1015**

Plot Date: 14/12/2021  
Sheet Size: A3

Denotes New Works



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**NOTES**  
7 Altona Avenue, Forestville is zoned R2-low density residential. Forestville is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.

Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Furniture Management to BCA and AS 3660.1  
Glazing to BCA and AS/NZS 2885:2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
The applicant must ensure windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

**Relevant overhanging specifications must be satisfied for each window and glazed door.**  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**Relevant overhanging specifications must be satisfied for each window and glazed door.**

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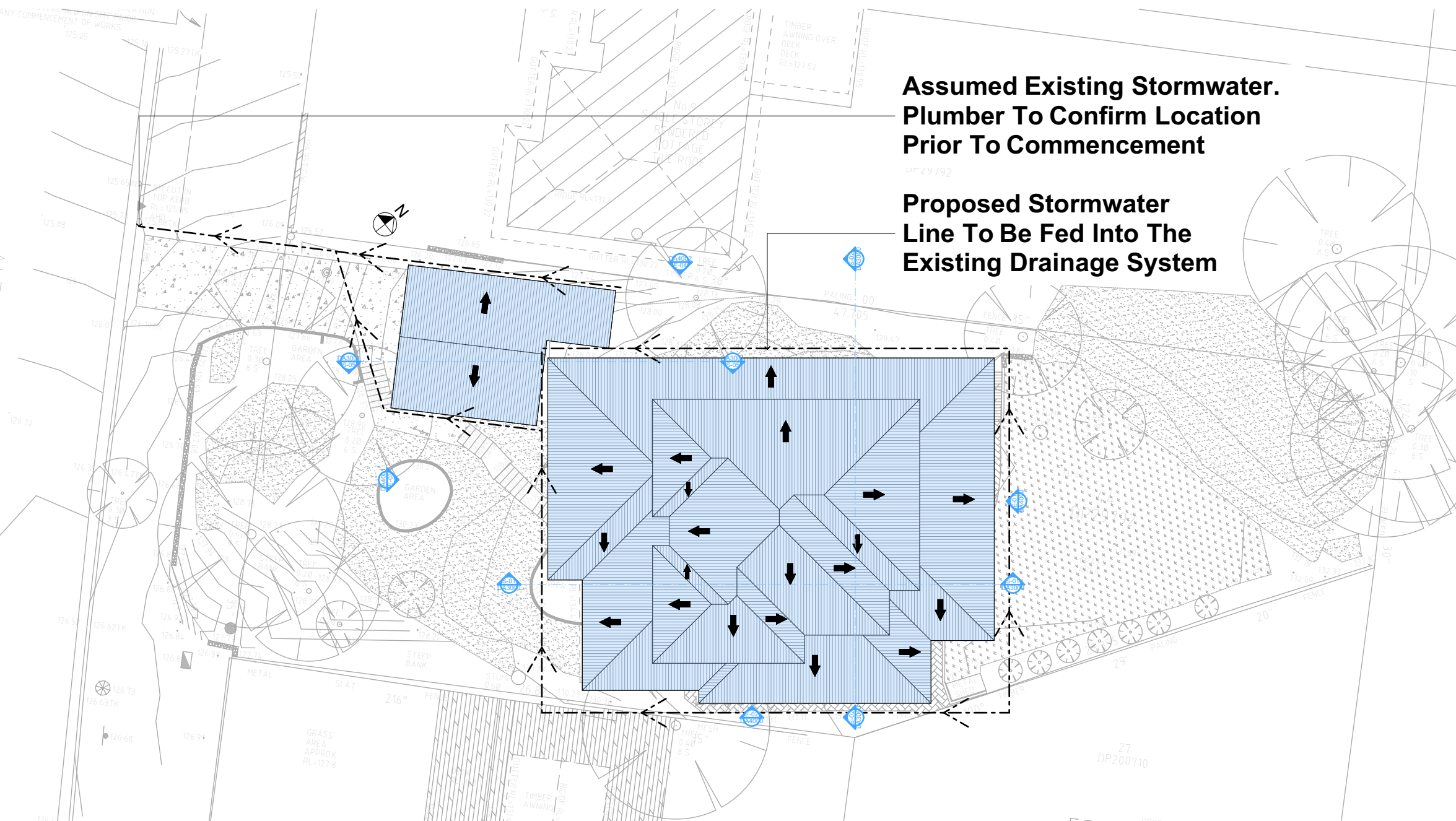
**Relevant overhanging specifications must be satisfied for each window and glazed door.**

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**Relevant overhanging specifications must be satisfied for each window and glazed door.**

Assumed Existing Stormwater.  
Plumber To Confirm Location  
Prior To Commencement

Proposed Stormwater  
Line To Be Fed Into The  
Existing Drainage System



STORMWATER PLAN  
1:200

4

Plumber To Confirm Location Of Existing  
Stormwater/Sewer Prior To Commencement

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WIL  
Project Status DA

Client Christopher and Penelope  
Willcock  
Site: 7 Altona Avenue, Forestville

DRAWING TITLE:  
SITE AND LOCATION  
Stormwater Plan

PROJECT NAME:  
Alterations & Additions

REVISION NO. DATE  
- 9/12/21

DRAWING NO.  
DA1016

Plot Date: 14/12/2021  
Sheet Size: A3



Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Denotes New Works

**Wall Legend**

Denotes New Timber Framed Wall

Denotes Existing Post

Denotes Demolished Item



Rapid Plans  
Building Design and Architectural Drafting

7 Altona Avenue, Forestville NSW 1505  
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Email: info@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA



**bdaa**  
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BUILDING DESIGNER

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**NOTES**

7 Altona Avenue, Forestville is zoned R2-low density residential. 7 Altona Avenue, Forestville is not considered a heritage item.

All Plans to be used in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.

Framed Walls:  
Roof Framed to have R0.95 Insulation.  
Insulation to External Framed Walls R1.70.  
Refer to Engineers drawings for structural details.  
All work to Engineers Specifications and BCA.  
Timber Framing to BCA and AS 1684.  
Termite Management to AS 3660 and AS 3660.1.  
Glazing to BCA and AS1728-2007.  
Waterproofing to BCA and AS 3740.  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of the Building Code of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the approval of authorised Construction Certificate drawings by Rapid Plans.

**Basic Certificate Number A443352**

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overhanging specifications must be satisfied for each window and glazed door.


For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m2)	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WVL  
Project Status DA

Client Christopher and Penelope Willcock  
Site: 7 Altona Avenue, Forestville

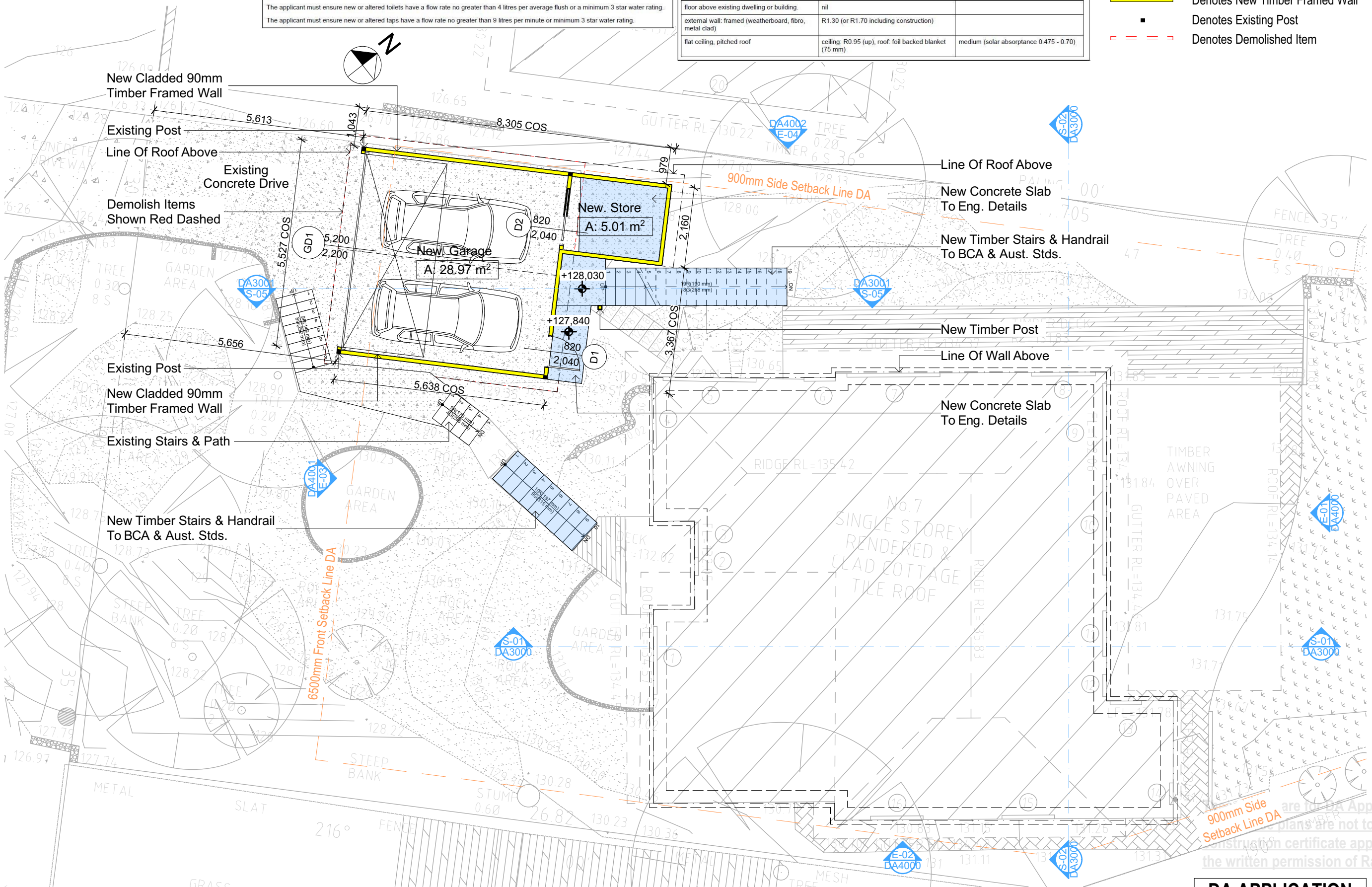
DRAWING TITLE: **PLANS CARPORT**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE  
- 9/12/21

DRAWING NO. **DA2001**

Plot Date: 14/12/2021  
Sheet Size: A3



1 BASEMENT/LOWER GROUND  
1:100

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Denotes New Works

**Wall Legend**

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



Building Design and Architectural Drafting

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**NOTES**

7 Altona Avenue, Forestville is zoned R2-low density residential

7 Altona Avenue, Forestville is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

**Construction**

Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specifications and BCA

Timber Framing to BCA and AS 1684

Timber Framing to BCA and AS 1684

Glazing to BCA and AS 1288-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic Certificate Number A443352**

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below

For properties described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 250 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921VILL  
Project Status DA

Client Christopher and Penelope Willcock  
Site: 7 Altona Avenue, Forestville

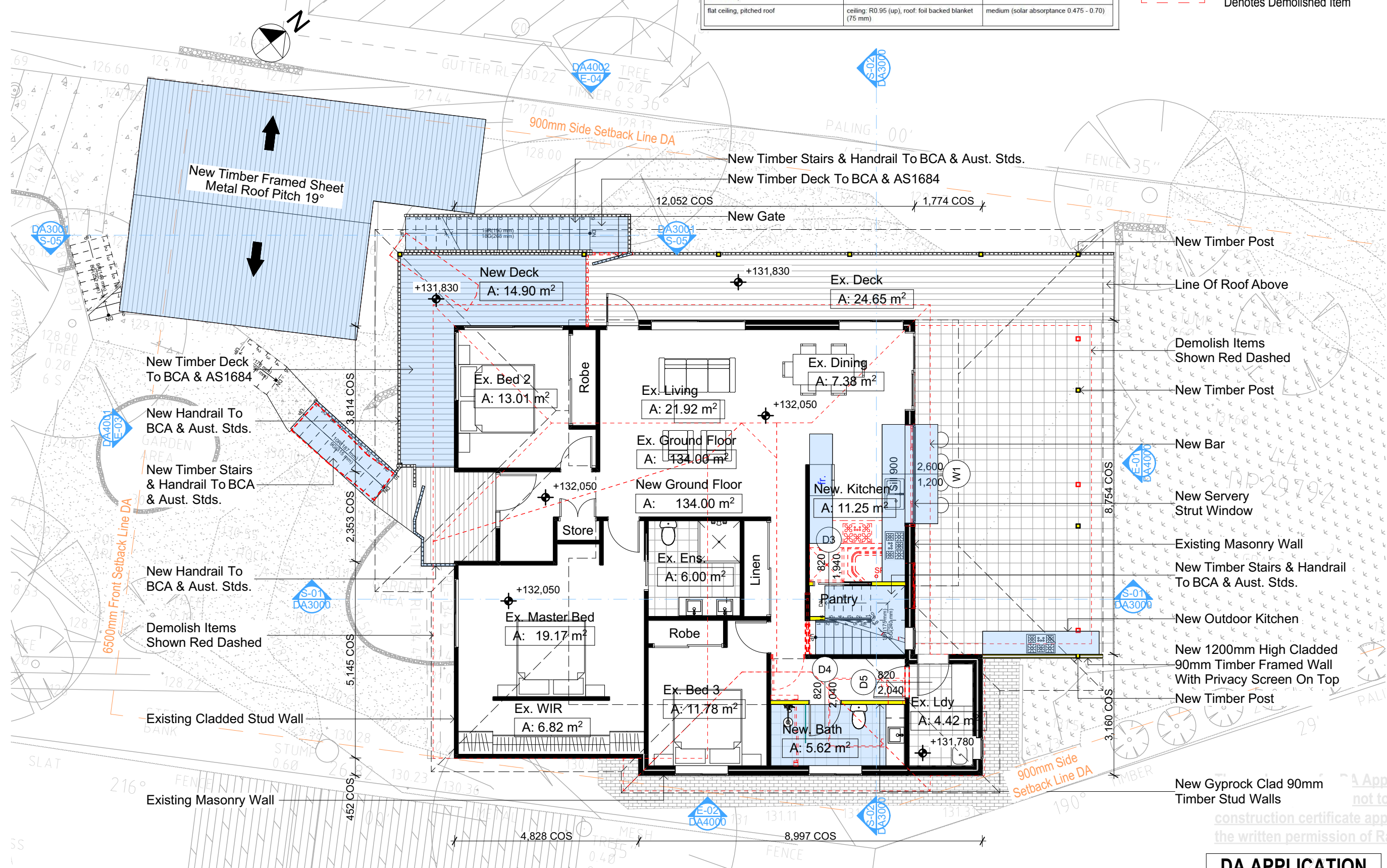
**DRAWING TITLE:** PLANS  
**GROUND FLOOR**

**PROJECT NAME:** Alterations & Additions

REVISION NO.	DATE
-	9/12/21

DRAWING NO. **DA2002**

Plot Date: 14/12/2021  
Sheet Size: A3





Fixtures and systems	
<b>Lighting</b>	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
<b>Fixtures</b>	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

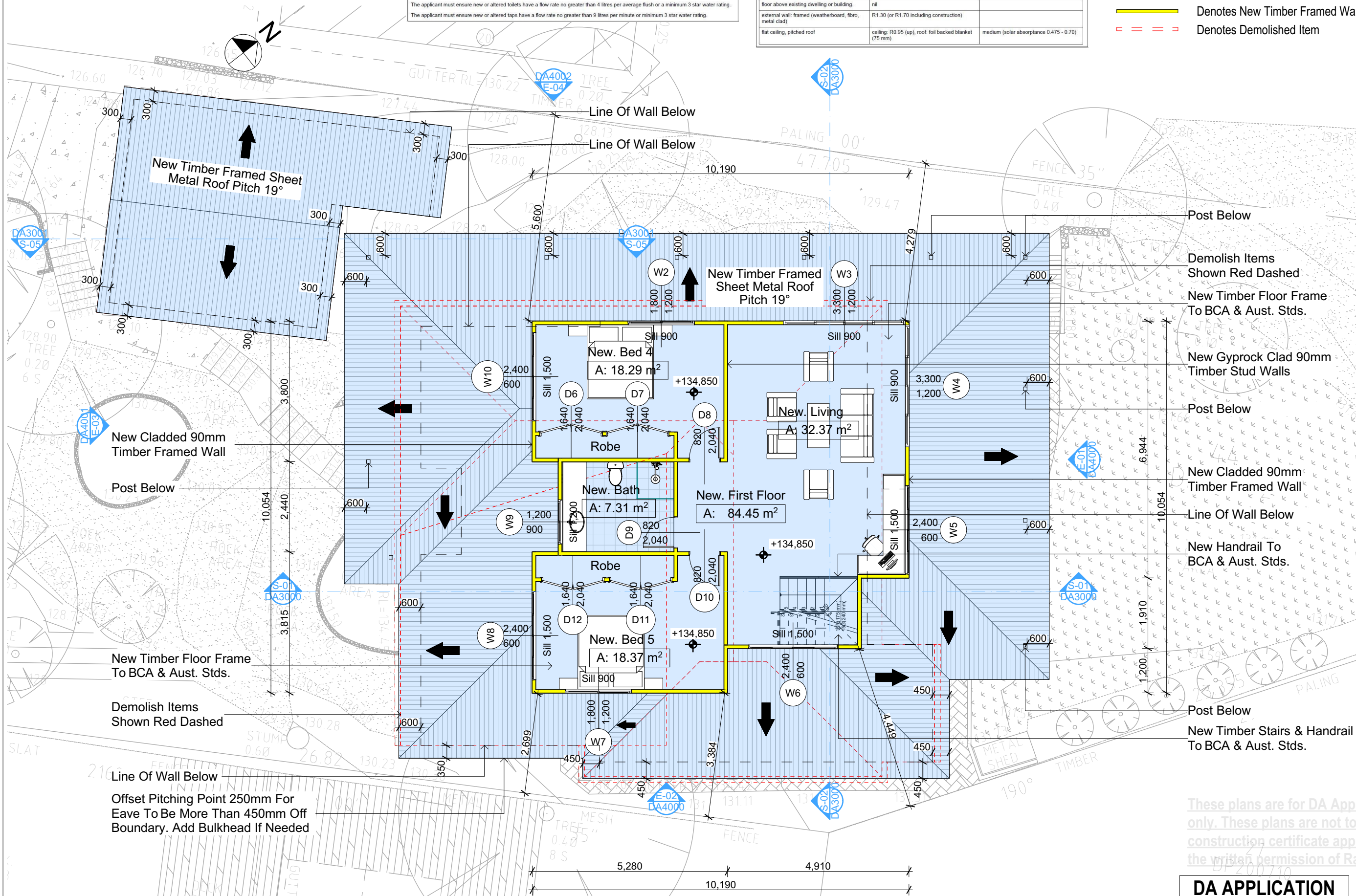
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Denotes New Works

**Wall Legend**

Denotes New Timber Framed Wall

Denotes Demolished Item



7 Altona Avenue, Forestville NSW 1585  
Tel: (02) 9550-8845, Mobile: 0414-546-024  
Email: info@rapidplans.com.au

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**bdca**  
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

**bdca**  
ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

**NOTES**

7 Altona Avenue, Forestville is zoned R2-low density residential

7 Altona Avenue, Forestville is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must ensure new windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overhanging specifications must be satisfied for each window and glazed door.

Properties described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 250 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Blgd Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WIL  
Project Status DA

Client Christopher and Penelope Wilcock  
Site: 7 Altona Avenue, Forestville

**DRAWING TITLE: PLANS FIRST FLOOR**

**PROJECT NAME: Alterations & Additions**

REVISION NO. DATE  
- 9/12/21  
DRAWING NO. DA2003

Plot Date: 14/12/2021  
Sheet Size: A3

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**



## Fixtures and systems

## Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

## Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

## Construction

## Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Denotes New Works

## Wall Legend

Denotes Demolished Item

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
7 Altona Avenue, Forestville is zoned R2-low density residential  
7 Altona Avenue, Forestville is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue

**Construction**  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Timber cladding to BCA and AS 3740  
Glazing to BCA and AS 1728-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Code of Australia

**Basic Certificate**  
Basic Certificate Number A44352  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For properties described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 250 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**Site Information**

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO: RP0921WVL  
Project Status DA

Client Christopher and Penelope  
Willcock  
Site: 7 Altona Avenue, Forestville

**DRAWING TITLE:**  
PLANS  
ROOF

**PROJECT NAME:**  
Alterations & Additions

REVISION NO. DATE  
- 9/12/21  
DRAWING NO.  
DA2004

Plot Date: 14/12/2021  
Sheet Size: A3

**DA APPLICATION  
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### Glazing requirements

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGC must be calculated in accordance with Australian Frenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections designed in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2450 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.


Pergolas with fixed battens have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

### Windows and glazed doors glazing requirements

Window / door	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	NE	3.12	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W3	NW	3.96	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W4	NE	3.96	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	NE	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)




<p>These plans are for DA Application only. These plans are not to be used for construction certificate applications without the written permission of Rapid Construction Pty Ltd.</p>	<p>DRAWING TITLE : <b>ELEVATIONS</b></p>
	<p>PROJECT NAME : <b>Alterations</b></p>




**Rapid Plans**  
Building Design and Architectural Drafting

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ASSOCIATION OF AUSTRALIA**



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purpose until issued by the Designer for construction.

**NOTES**  
 1. Allona Avenue, Fossilville is zoned R2-low density residential  
 7 Allona Avenue, Fossilville is not considered a heritage item  
 All Plans to be read in conjunction with Basic Certificate  
 New Works to be constructed shown in Shaded/Blue Construction  
 Framed, 1 Framed Walls  
 Roof Framed to have 90.95 insulation  
 Insulation to External Frame Walls R1.70  
 Refer to Engineers drawings for structural details  
 Termite Management to BCA and AS 1684  
 All termite Management to BCA and AS 3660  
 Glazing to BCA and AS2058:2007  
 Waterproofing to BCA and AS 3740  
 New Lighting to have minimum of 40% compact fluorescent lamps  
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certification**  
 The DA Application Only Plans are DA Application purposes only. These plans are not to be used for the construction certificate application or any Certifying Authority without the written permission of Rapid Plans or the supply of authorised construction certificate drawings by Rapid Plans  
**Basic**  
 Basic Certificate Number DA443352  
 All Plans to be read in conjunction with Basic Certificate  
 The applicant must construct the new or altered construction floor area and the new or altered construction area with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of different construction where insulation already exists.  
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below  
 Note: Overlaid construction specifications must be satisfied for each window and glazed door.  
 The applicant must install in millimetres, the leading edge of each new area, pergola, verandah, balcony or awning must be no more than 75mm from the head of the window or glazed door and no more than 2400 mm above the sill.  
 Overlaid/balcony doors or vegetation must be at the height and distance from the corner and the base of the window or glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1.1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes


**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**

Project North

Drawn / I Checked GBJ  
 Plot Dates: 14/12/2011  
 Project No. RP0921W/L  
 Project Status DA

Client Christopher and Penelope  
 Willcock

Site: 7 Allona Avenue, Fossilville



**DRAWING TITLE**

**ELEVATIONS  
ELEVATIONS 1**

**PROJECT NAME :**

**Alterations & Additions**

**REVISION NO.**

**DATE**

**- 9/12/21**

**DRAWING NO.**

**DA4000**

**Plot Date:**

**Sheet Size: A3**

14/12/2021

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**DA APPLICATION**  
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Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W6	SE	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	SE	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	SW	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	SW	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SW	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

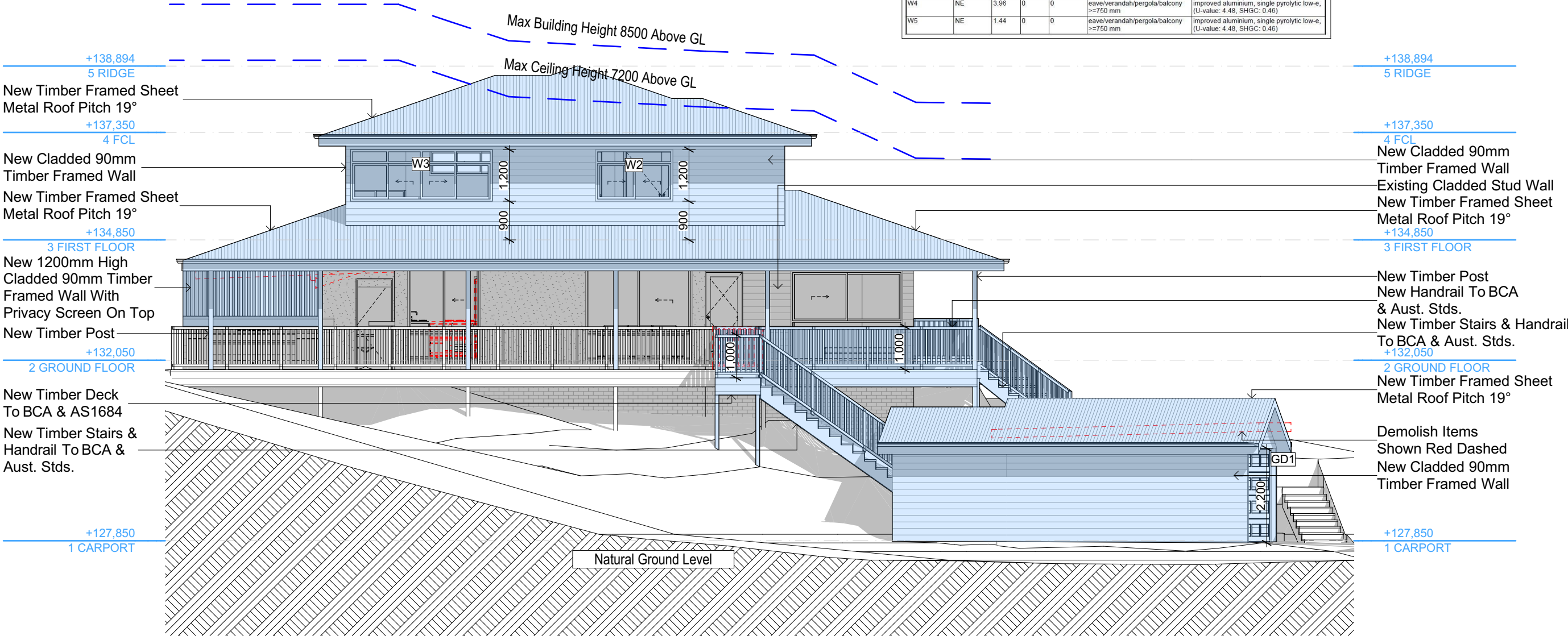
Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	NE	3.12	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	NW	3.96	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W4	NE	3.96	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	NE	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Denotes New Works

**Wall Legend**

Denotes Demolished Item



E-04  
West  
1:100

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

**NOTES**  
7 Altona Avenue, Forestville is zoned R2-low density residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
7 Altona Avenue, Forestville is not considered a heritage item

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A443352  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2.  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	769.15m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	53%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	47%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	404mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans

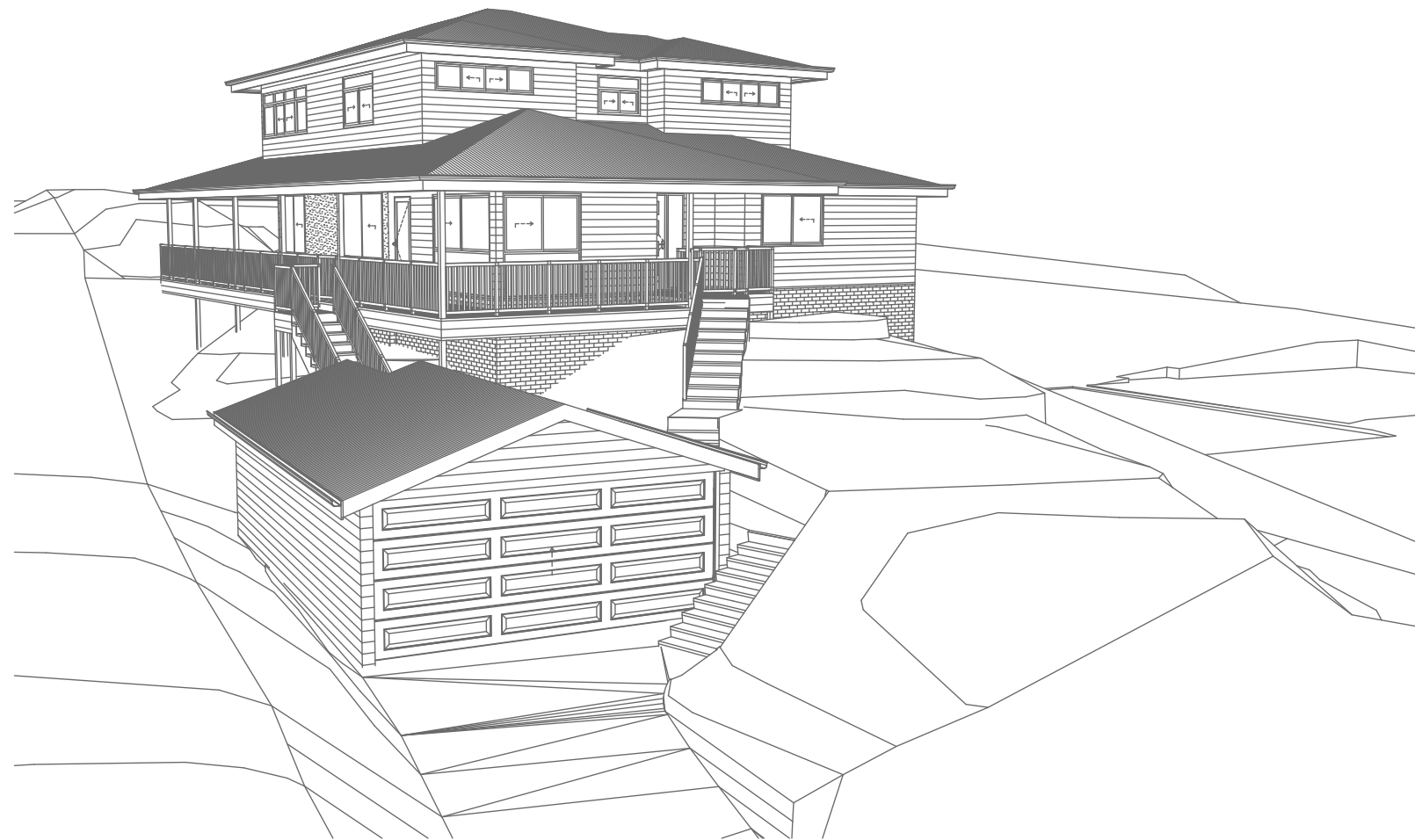


Project North  
Checked: GBJ  
Plot Date: 14/12/2021  
Project NO: RP0921WIL  
Project Status: DA  
Client: Christopher and Penelope  
Site: 7 Altona Avenue, Forestville  
Sheet Size: A3

DRAWING TITLE :  
**ELEVATIONS 3**  
PROJECT NAME :  
**Alterations & Additions**

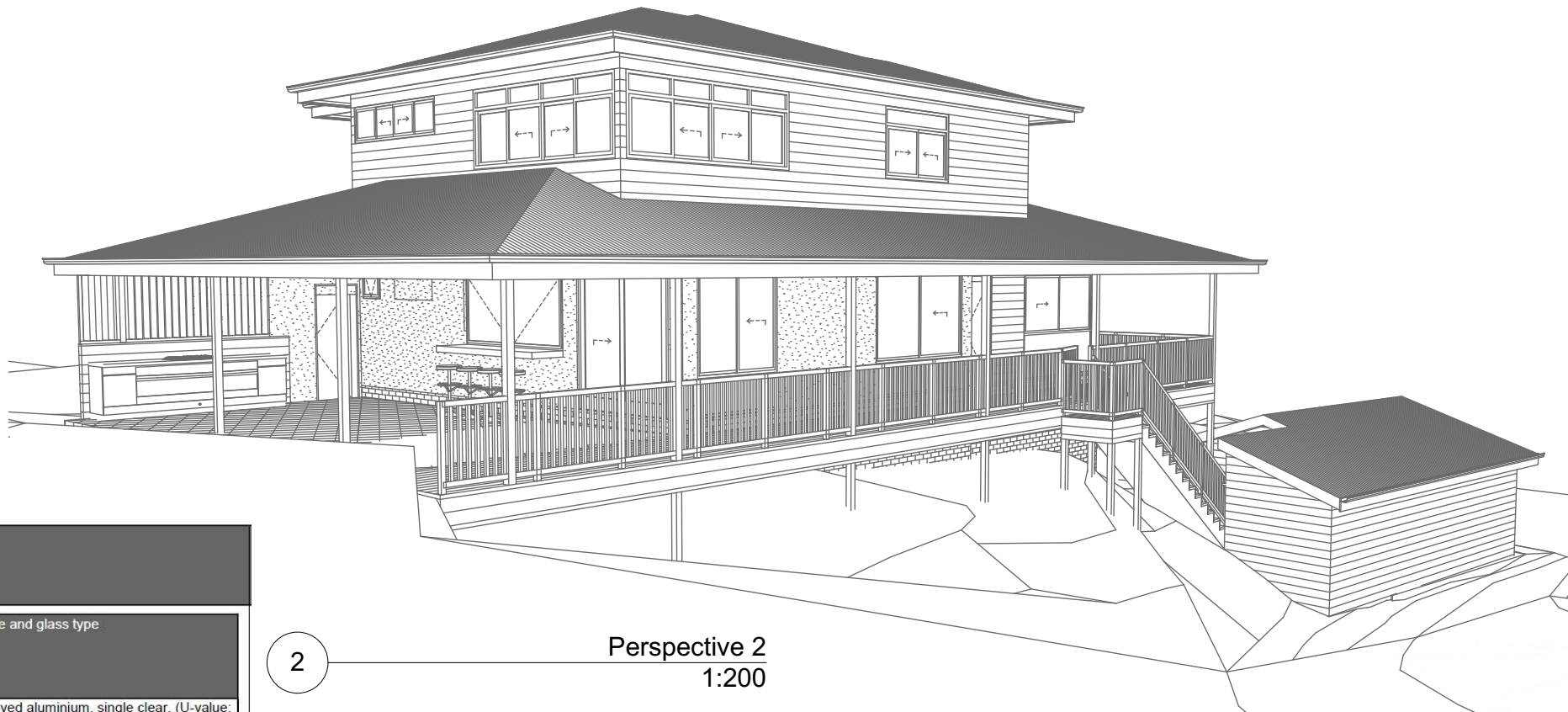
REVISION NO.  
-  
DATE:  
**9/12/21**  
DRAWING NO.  
**DA4002**





1

Perspective 1  
1:200



2

Perspective 2  
1:200

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W6	SE	1.44	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	SE	2.16	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	SW	1.44	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	SW	1.08	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SW	1.44	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

## Glazing requirements

### Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.


For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

### Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	NE	3.12	0	0	eave/verandah/ pergola/ balcony ≥900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	2.16	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	NW	3.96	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W4	NE	3.96	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	NE	1.44	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)



Rapid Plans  
Building Design and Architectural Drafting

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ASSOCIATION OF AUSTRALIA

**bdaa**  
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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

**NOTES**  
7 Altona Avenue, Forestville is zoned R2-low density residential  
7 Altona Avenue, Forestville is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1  
Refer to Engineers drawings for structural details  
All work to Engineers Specifications and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**  
Basic Certificate Number A443352  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m2)	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WIL  
Project Status DA

Client Christopher and Penelope Wilcock  
Site: 7 Altona Avenue, Forestville

DRAWING TITLE: SHADOW PLANS  
**PERSPECTIVE**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE  
- 9/12/21  
DRAWING NO. **DA5000**

Plot Date: 14/12/2021  
Sheet Size: A3





## Glazing requirements

### Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

### Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	NE	3.12	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	2.16	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	NW	3.96	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W4	NE	3.96	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	NE	1.44	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

## Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W6	SE	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	SE	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	SW	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	SW	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SW	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

## Construction

### Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

## Fixtures and systems

## Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

## Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
Allona Avenue, Forestville is zoned R2-low density residential  
Allona Avenue, Forestville is not considered a heritage item  
Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**

Framed, Framed Walls  
 Roof Framed to have R0.95 Insulation  
 Insulation to External Framed Walls R1.70  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Permit Management to BCA and AS 3680.1  
 Cladding to BCA and AS01288-2047  
 Waterproofing to BCA and AS 3740  
 Low Lighting to have minimum of 40% compact fluorescent lamps  
 Workmanship and materials shall be in accordance with the  
 requirements of Building Codes of Australia.

**Verifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A443352

Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/groves) in accordance with the specifications in the permit. The applicant must ensure that the new or altered construction is not located where the area of new construction is less than 2m<sup>2</sup>. b) The required specification is not required for parts of altered construction where insulation already exists.

The applicant must install windows, glazed doors and shading devices, in accordance with the specifications listed in the table below:

Any relevant overshadowing specifications must be satisfied for each relevant glazed door.

Any relevant specifications must be satisfied for each of the following: pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

The overhang must be the minimum to be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	769.15m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (10% min)	53%	Yes
Impermeable area (m <sup>2</sup> )	47%	Yes
Maximum cut into gnd (m)	404mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**

Project North



A circular diagram with a shaded sector. A handwritten 'Z' is next to it.

Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO. RP0921WIL  
Project Status DA

Client	Christopher and Penelope Willcock
Site:	7 Altona Avenue, Forestville

DRAWING TITLE : SHADOW PLANS  
**MATERIAL & COLOUR  
SAMPLE BOARD**

PROJECT NAME : **Alterations & Additions**

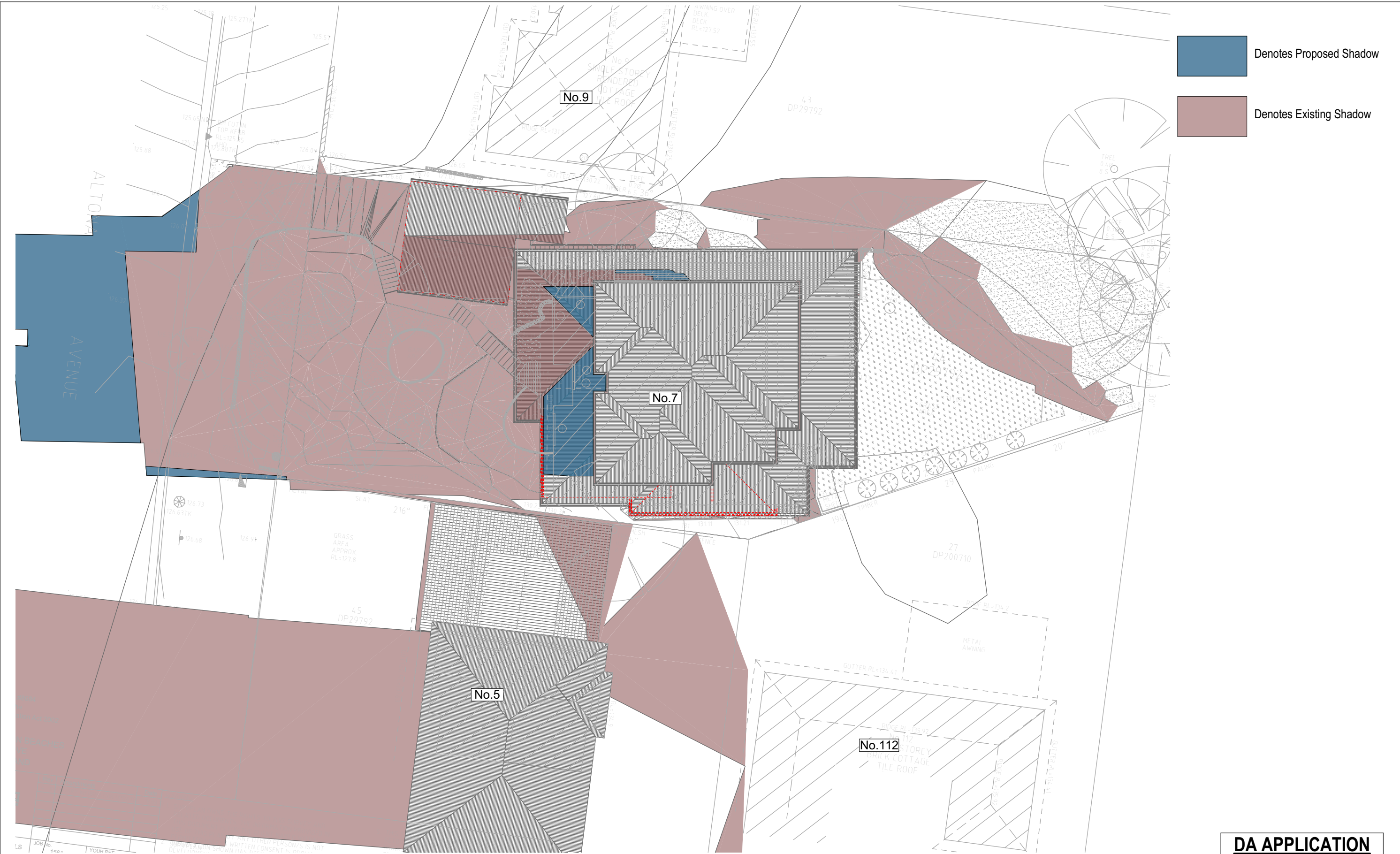
REVISION NO. DATE  
- 9/12/21  
DRAWING NO.  
**DA5001**

Plot Date: 14/12/2021  
Sheet Size: A3  
R:\Cymant Job\BILCOCK, Christopher and Penelope\ArchCAD DWG\14122021-22-DA Final.dgn

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Raval Engineering &amp; Design.</p>	<p>DRAWING TITLE : SHADOW PLANS</p>
	<p><b>MATERIAL &amp; COLOUR SAMPLE BOARD</b></p>
	<p>PROJECT NAME : <b>Alterations &amp;</b></p>

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**









Denotes Proposed Shadow

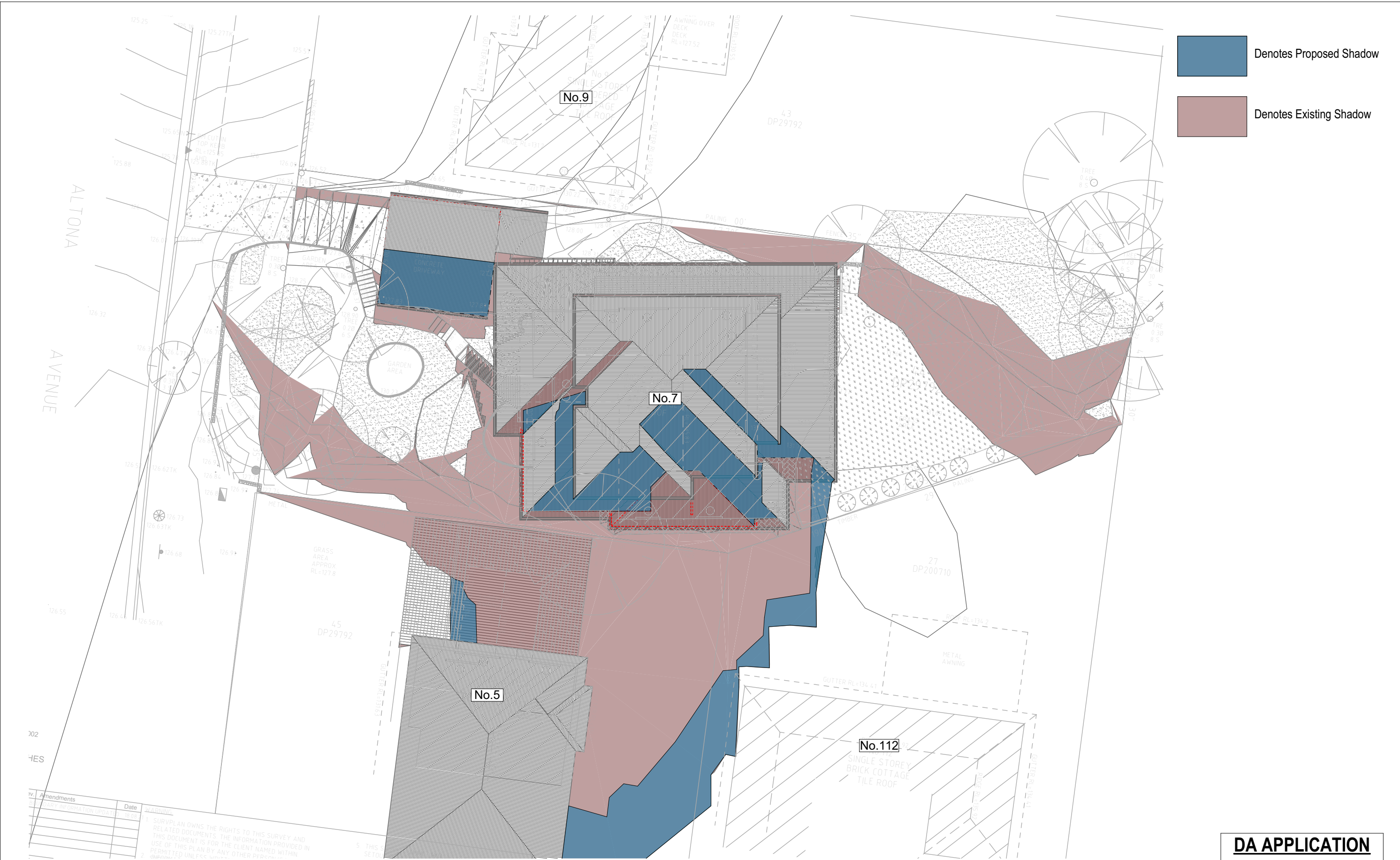
Denotes Existing Shadow

Rev.	Amendments	Date
1	ISSUED FOR INFORMATION	18.08.2021
2	ISSUED FOR INFORMATION	18.08.2021
3	ISSUED FOR INFORMATION	18.08.2021
4	ISSUED FOR INFORMATION	18.08.2021
5	ISSUED FOR INFORMATION	18.08.2021
6	ISSUED FOR INFORMATION	18.08.2021
7	ISSUED FOR INFORMATION	18.08.2021
8	ISSUED FOR INFORMATION	18.08.2021
9	ISSUED FOR INFORMATION	18.08.2021
10	ISSUED FOR INFORMATION	18.08.2021

SHADOW PLAN 21 JUN at 1200h  
1:200

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**



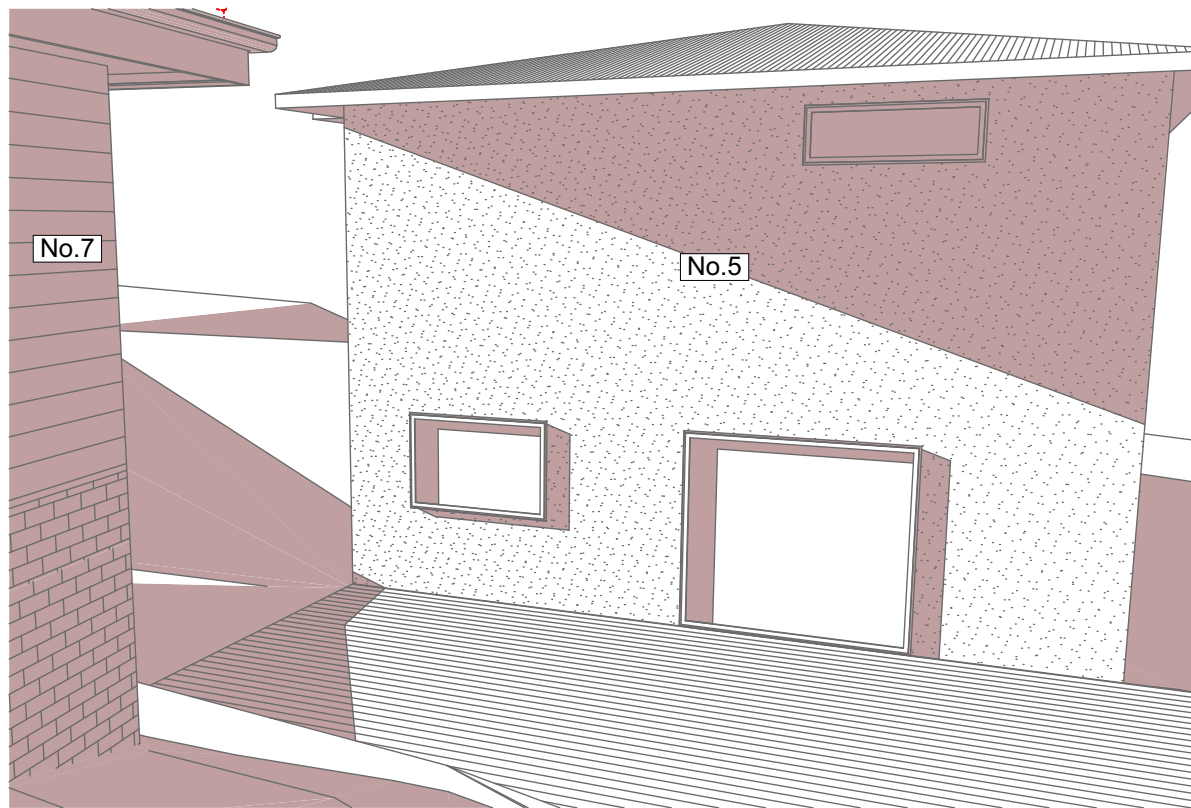
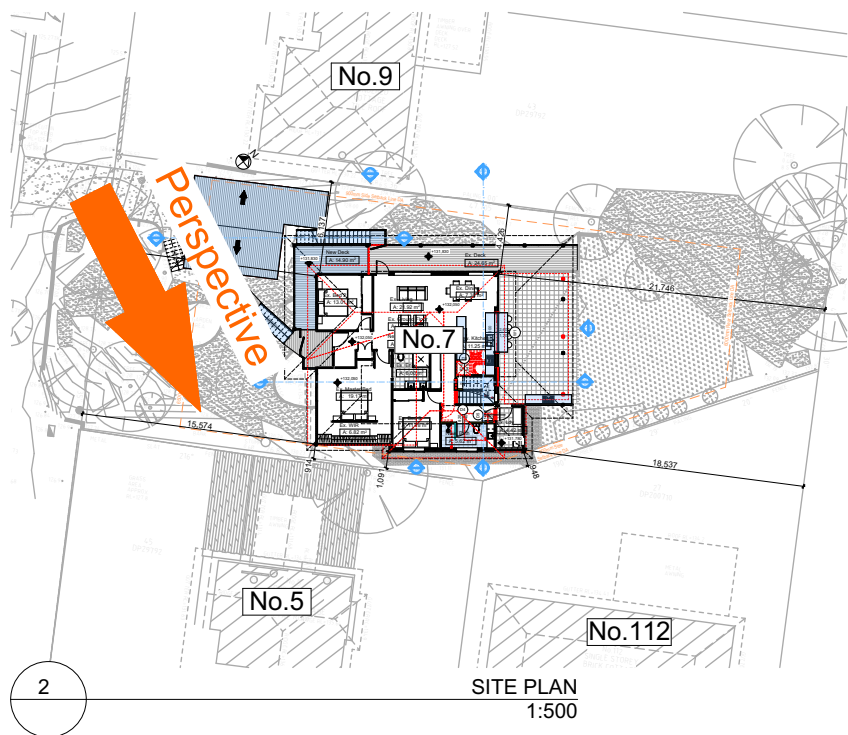


iv. Amendments	Date	WARNING
1. SURVEY PLAN OWNS THE RIGHTS TO THIS SURVEY AND RELATED DOCUMENTS. THE INFORMATION PROVIDED IN THIS DOCUMENT IS FOR THE CLIENT NAMED WITHIN PERMITTED UNLESS OTHERWISE STATED.	18.08.21	
2. INFORMATION		
3. THIS SET		

03 SHADOW PLAN 21 JUN at 1500h 1:200

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

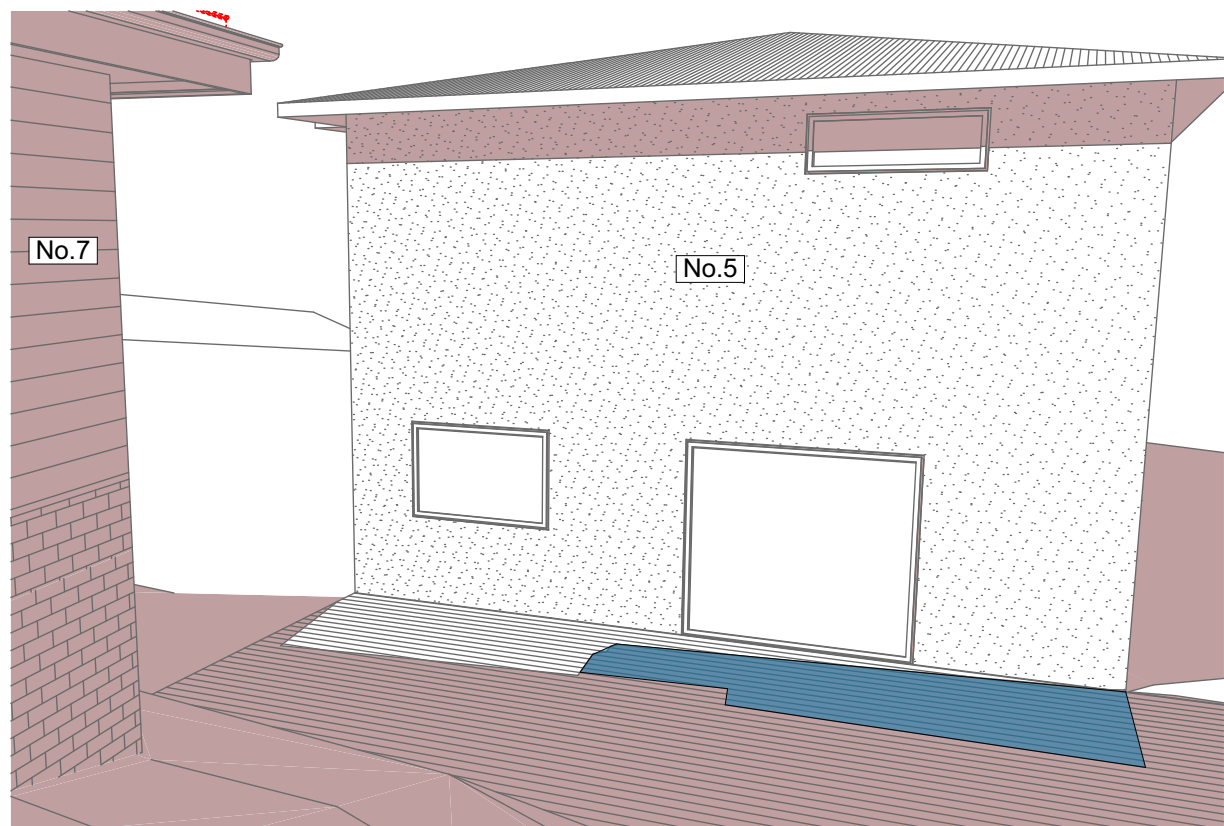




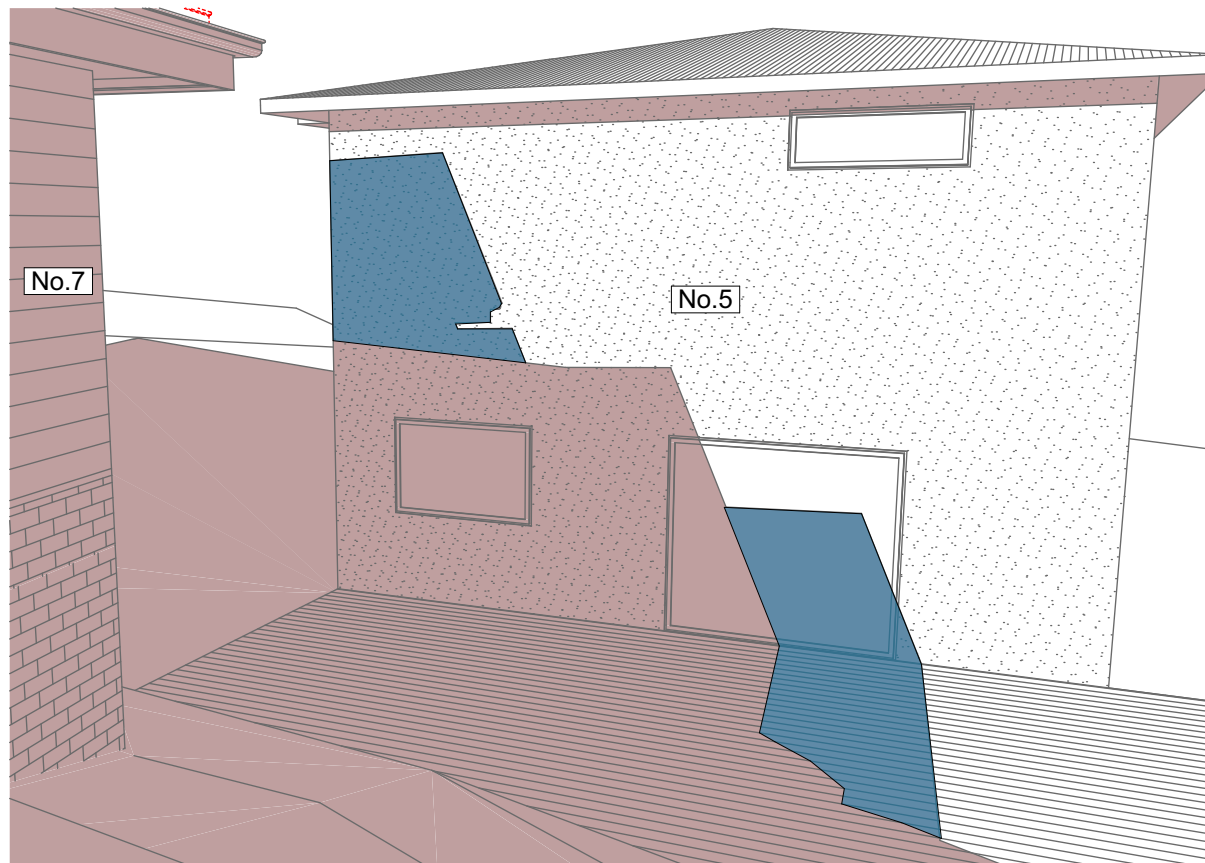
Denotes Proposed Shadow

Denotes Existing Shadow

4 SHADOW ELEVATION 21st June 9am




5 SHADOW ELEVATION 21st June 12pm




6 SHADOW ELEVATION 21st June 3pm

**DA APPLICATION  
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Building Design and Architectural Drafting

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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



**bdca**  
ACCREDITED  
BUILDING DESIGNER

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**NOTES**

7 Altona Avenue, Forestville is zoned R2-low density residential

7 Altona Avenue, Forestville is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue Construction

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1728-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

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**Basic**

Basic Certificate Number A443352

All Plans to be read in conjunction with Basic Certificate

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Project North



Drawn | Checked GBJ  
Plot Date: 14/12/2021  
Project NO.: RP0921WIL  
Project Status DA

Client Christopher and Penelope Willcock  
Site: 7 Altona Avenue, Forestville

**DRAWING TITLE** SHADOW PLANS  
**WALL ELEVATION SHADOWS**

**PROJECT NAME:** Alterations & Additions

REVISION NO.	DATE
-	9/12/21

DRAWING NO.: **DA5005**

Plot Date: 14/12/2021  
Sheet Size: A3