

Client Name :	JASON & CAMILLA RYAN	Drawing Title :	NOTIFICATION PLANS
Client Address :	45 MCINTOSH ROAD, DEE WHY 2099 2099	Plot Date :	24 Thursday, 18 April 2024
Client No. :	RYA 0223 01 DA	Drawings	NOT TO SCALE
Project Name :	First Floor Addition	PO BOX 1183 • DEE WHY 2099 TEL : 9938 5611 FAX : 9938 5911 EMAIL : scias@yourstyle.com.au WEB : www.yourstyle.com.au	ABN 92 003 918 116 • ACN 003 918 116 BUILDER LICENCE • 60007C A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD
		9938 5611 www.yourstyle.com.au	

SITE CALCULATIONS

Site area = 321.5m²

Landscape Open Space = 95.5m²
No change to existing site conditions

Impervious & Excluded Area = 226m²
No change to existing site conditions

Landscape Open Space = 29.5%
No change to existing site conditions

PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME

PROPOSED GROUND FLOOR PORTICO
ROOF TO ENTRY OVER EXISTING PATIO

EXISTING HOME AND LANDSCAPED AREAS

OFF STREET PARKING (1 SPACE PROVIDED)

STORMWATER MANAGEMENT

PROPOSED FIRST FLOOR ADDITION IS WITHIN THE EXISTING FOOTPRINT, NO INCREASE IN STORMWATER RUN-OFF WILL BE CREATED. FIRST FLOOR ADDITION TO HAVE SPREADERS ONTO LOWER ROOFS AND FLOW INTO EXISTING PREVIOUSLY APPROVED EASEMENT FOR STORMWATER GRAVITY FED TO LEWIS STREET.

- (A)-RIGHT OF CARRIAGEWAY 13.8 MARS. WIDTH
(B)-HEIGHT OF CARRIAGEWAY 1.15 & MARS. WIDTH
(C)-EASEMENT TO DRAIN WATER 1.8 & 1.5 WIDE
(D)-EASEMENT FOR DRAINAGE PURPOSES 2.1 WIDE
(E)-EASEMENT FOR SERVICES 0.9 WIDE
(F)-EASEMENT TO DRAIN WATER 1 WIDE
ALL EASEMENTS CREATED BY DP #23629

NOTE: CONTOURS ARE FOR INDICATIVE PURPOSES ONLY. FOR MORE CONCLUSIVE EVIDENCE OF LEVELS USE THE SPOT HEIGHTS GIVEN.

COPYRIGHT © DETAILED SURVEYS
NOTE: This information has been taken from original D.P.
Any copying, altering, editing, forwarding or scanning of
this plan in paper or electronic form without the permission
of a Director of Detailed Surveys is strictly prohibited.
This plan has copyright to Detailed Surveys and
can be withdrawn at anytime from councils, legal professions
or the like unless payment of the account has been made in full.

NOTES 1. ONLY VISIBLE UTILITY SERVICES HAVE BEEN LOCATED.
RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO EXCAVATION ON OR NEAR THE SITE.
2. BOUNDARIES HAVE BEEN DEFINED BY SURVEY TO IDENTIFICATION STANDARD. HOWEVER, IF ANY CONSTRUCTION
IS PROPOSED IN PROXIMITY OF BOUNDARIES, IT IS RECOMMENDED
THAT A FURTHER SURVEY BE REQUESTED FOR MARKING OF RELEVANT BOUNDARIES.
3. COVENANTS, RESTRICTIONS ON LAND USE (IF ANY) NOT INVESTIGATED.
4. ROOF LINES SHOWN ARE APPROXIMATE. SIGNIFICANT TREES (WHERE ACCESSIBLE) GREATER THAN 100MM DIAM. SHOWN.
5. APPROX. SEWER LINE (IF SHOWN) MUST BE VERIFIED BY SYDNEY WATER.

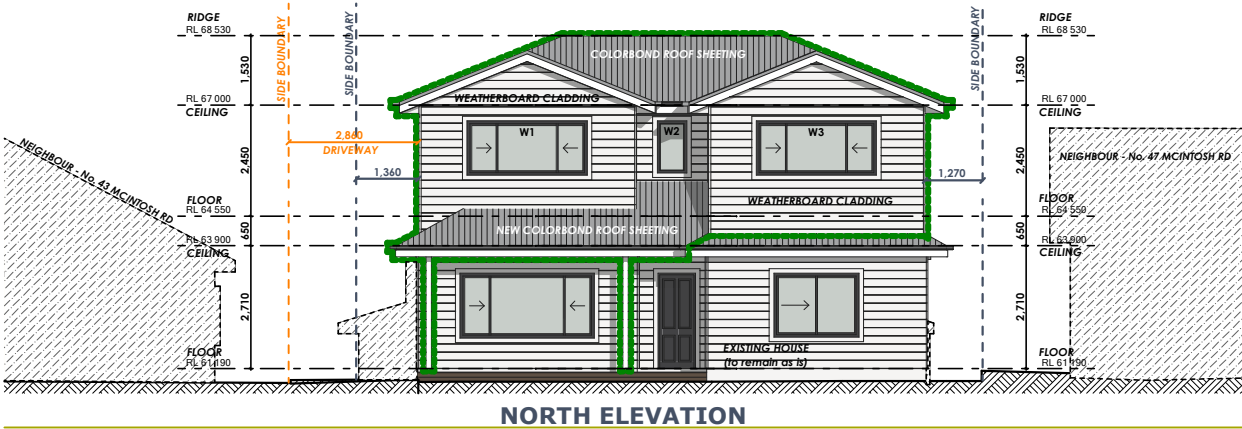
45 MCINTOSH ROAD DEE WHY	DETAILED SURVEYS (A/B/N 30/23/2023/186) CONSULTING SURVEYORS 87 ELANORA ROAD, ELANORA HEIGHTS, 2101 PHONE: 9913-9525 Email: jsurveyor@live.com.au	J & C RYAN LOT 552 DP 873829 BOUNDARY DEFINITION & LEVELS	A1 REDUCTION RATIO: 1:100 SURVEY: J.MC DRAWN: A1 J.MC REFERENCE: 01000 6 MAR 2024 DRAWING No. 1
--------------------------	--	--	--

Client Name :	JASON & CAMILLA RYAN	Drawing Title :	NOTIFICATION PLANS	
Client Address :	45 MCINTOSH ROAD, DEE WHY 2099 2099	Drawing No. :	25	DRAWINGS
Client No. :	RYA 0223 01 DA	Plot Date :	Thursday, 18 April 2024	NOT TO SCALE
Project Name :	First Floor Addition	PO BOX 1183 • DEE WHY 2099 TEL : 9938 5611 FAX : 9938 5911 EMAIL : sales@yourstyle.com.au WEB : www.yourstyle.com.au		
		ABN 92 003 918 116 • ACN 003 918 116 BUILDER LICENCE • 60007C		
		A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD		

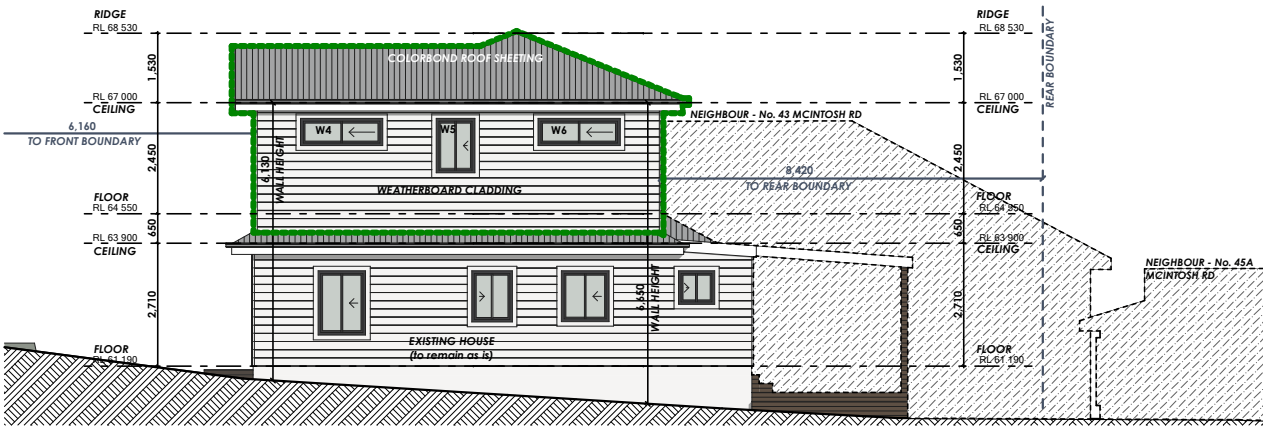


DESIGNER HOME ADDITIONS
Licence 60007C

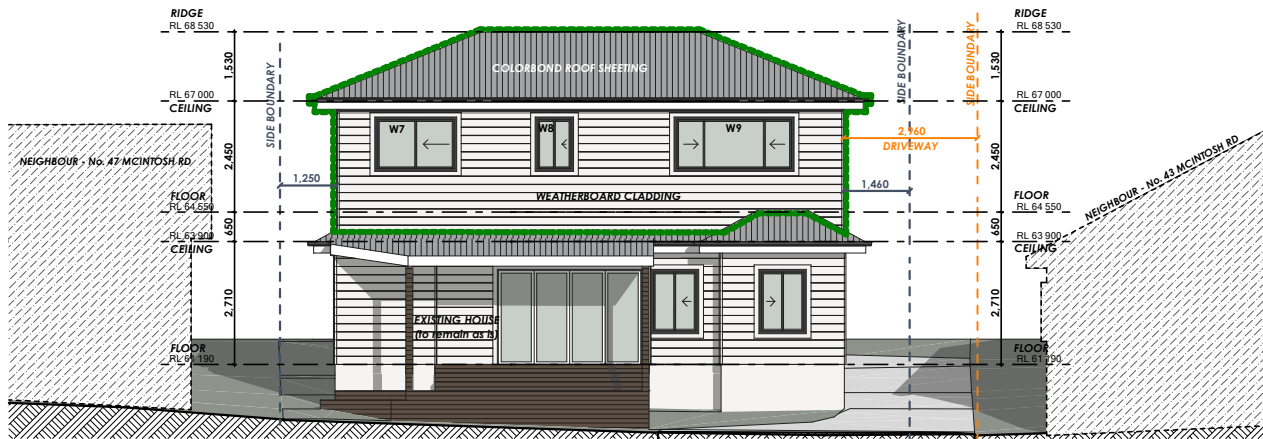
9938 5611
www.yourstyle.com.au



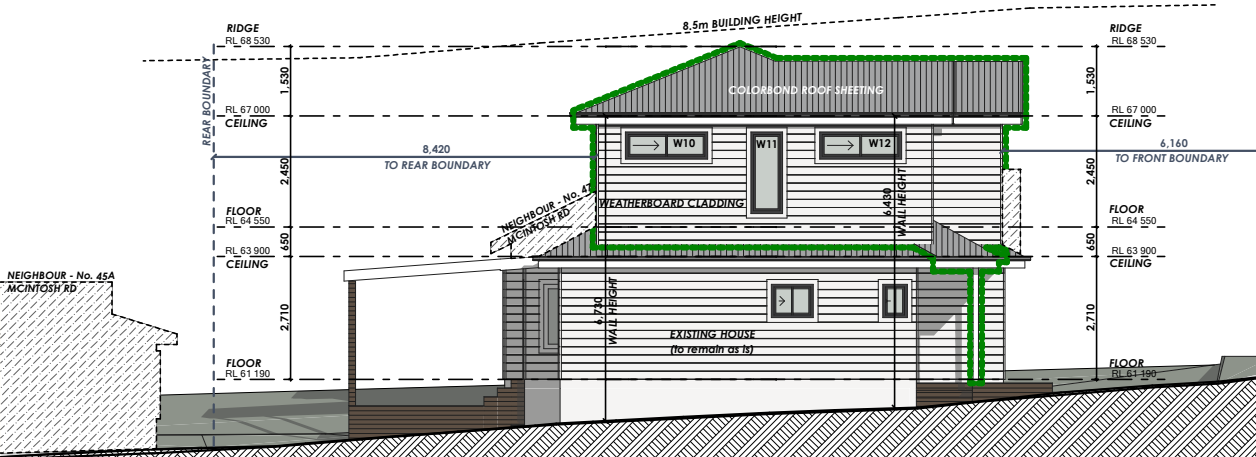
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION