



# CREDWELL



Project	28 Lockwood Avenue, Belrose
Report	Access Report (BCA 2022)
Reference	C21844-Access 2022-r1.1 <b>DRAFT</b>
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## Document Control

Reference/Revision	Date	BCA Assessment Report
C21844-Access 2022-r1.1 For DA submission	6/03/2024	<p>Prepared by</p> <p>Meolah Chen Building Surveyor</p> 
		<p>Reviewed by</p> <p>Adam Southwell Building Surveyor – Unrestricted (A1) BDC 3305</p> 

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# 1 Introduction

## 1.1 Objectives

The purpose of this report is to provide an assessment against the relevant provisions of Volume One of the Building Code of Australia 2022 (BCA) addressing all relevant Deemed-to-Satisfy clauses therein, and the associated Standards called up by the BCA, including AS 1428.1-2009, AS 1428.4.1-2009, AS 2890.6-2009 and AS 4299-1995.

The report will identify where the subject building achieves compliance and non-compliance with the BCA and Australian Standards as relevant to accessibility, and provide instances where a Performance Solutions may be available. Any recommended Performance Solutions are required to be prepared under separate cover.

Part 3 'Assessment Summary' of this report outlines the identified compliance matters that require further information or consideration and/or assessment as a Performance Solution (to be prepared separately).

It is presumed the assumptions, content, and limitations of this report are reviewed, noted, and understood by the reader. Credwell Consulting are to be contacted to clarify any queries or assumptions made in relation to the contents of this report and further, Credwell Consulting take no responsibility for misinterpretation of any of the content herein.

## 1.2 Limitations

This report does not include, nor imply, any audit, assessment, or upgrading of:

1. The structural adequacy or design of the building;
2. The capacity or design of any electrical, fire, hydraulic or mechanical services;
3. The inherent derived fire-resistance ratings of any proposed structural elements of the building (unless specifically referred to); and
4. Sections B, C, E (except Clauses E3D6, E3D7 and E3D8), F (except clause F2.4 and F4.9), G, H, I and J, and Parts D1 and D2 of the BCA; and
5. The capacity or design of any electrical, fire, hydraulic or mechanical services.

This report does not include, nor imply, any assessment of, or compliance with:

1. The National Construction Code – Plumbing Code of Australian Volume 3;
2. The Disability Discrimination Act 1992 including the Disability ((Access to Premises – Buildings) Standards 2010 – unless specifically referred to);
3. Any Development Consent conditions;
4. The Liquor Act 2007;
5. The Work Health and Safety Act 2011;
6. The Swimming Pools Act 1992; and
7. Requirements of Authorities including, but not limited to, Fire and Rescue NSW, WorkCover, RMS, Council, Telecommunications Supply Authority, Electricity Supply Authority, Water Supply Authority, Gas Supply Authority and the like.
8. Requirements of BCA Section J.

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## Interpretations

A number of matters within the BCA are known to be interpretive. Where these matters are encountered, interpretations have been used that are consistent with Credwell Consulting's understanding of standard industry practice.

## Dimensions and Tolerances

In some instances, the BCA specifies minimum dimensions for construction. The assessment of plans and specifications includes a review of such minimum dimensions that are relevant to the project, but Credwell Consulting does not guarantee that all relevant minimum dimensions have been assessed where they are not clearly and explicitly denoted/marked on the architectural drawings.

The relevant designer(s) and builder(s) should confirm that all minimum dimensions are achievable on site prior to works and consideration/attention should be given to construction tolerances impacted by wall set outs, applied finishes, and skirtings to corridors and bathrooms. For example, tiling bed thickness on walls and floors can adversely impact critical minimum dimensions relating to access for people with disabilities, stair and corridor widths, and balustrade heights.

### 1.3 Disability Discrimination Act

The Disability Discrimination Act 1992 (Cth) (the "DDA") is Commonwealth legislation (applies nationally). Amongst other things, it provides an avenue for an affected party to make a complaint of discrimination. Compliance with the BCA does not restrict a complaint of discrimination relating to the provision of access to and within a building from being made under the DDA. However, provided the building complies with the BCA and the Disability (Access to Premises – Building) Standards 2010, such a complaint cannot be successful.

### 1.4 Disability (Access to Premises - Buildings) Standards 2010

The Disability (Access to Premises – Buildings) Standards 2010 (the "Premises Standards") was created under the DDA and is also Commonwealth legislation (applies nationally). The Premises Standards identifies buildings to which it applies before specifying construction standards that those buildings are required to comply with. In summary, the Premises Standards are applicable to a new building, a new part of a building, and an affected part of a building, and the construction standards applicable are contained within "Schedule 1 Access Code for Buildings".

The Premises Standards provides a definition for a new building, a new part of a building, and an affected part of a building. The definition of a new building and a new part of a building is currently considered to be in line with standard dictionary definitions (unless a building or part obtained construction approvals prior to 1 May 2011). However, the term "affected part" is specific to the Premises Standards and is defined by clause 2.1(5) as follows –

- a) *the principal pedestrian entrance of an existing building that contains a new part; and*
- b) *any part of an existing building, that contains a new part, that is necessary to provide a continuous accessible path of travel from the entrance to the new part.*

The upgrade requirements of the Premises Standards are founded on determining whether a development within an existing building results in the creation of an affected part.

As previously mentioned, the construction standards of the Premises Standards are contained within "Schedule 1 Access Code for Buildings". It should be noted that this part of the Premises Standards was prepared in consultation with the Australian Building Codes Board (ABCB – publisher of the BCA). As such, the requirements outlined in each document are the same. Therefore, assessment of

the proposed development against the relevant requirements of the BCA applicable to access for people with a disability ensures that it also complies with the Premises Standards.

The subject proposed development incorporates construction of a new building; therefore, the entire building must comply with the Premises Standards. An assessment of the building against the relevant requirements of the BCA applicable to access for people with a disability, as outlined in this Report, is equivalent to an assessment against “Schedule 1 Access Code for Buildings” of the Premises Standards. Therefore, confirmation of compliance with the BCA should also be taken as confirmation of compliance with the Premises Standards.

## **1.5 Reviewed documentation**

This report is based on documentation referenced in Annexure A.

## 2 Proposed Development

### 2.1 Building location

The building, the subject of this report, is located at 28 Lockwood Avenue, Belrose and is legally identified as Lot 1 DP 1199795.



Figure 1 | Satellite Image of the Site | source: Six Maps

### 2.2 Proposal

The proposed development consists of two levels of basement car parking, three levels of Retail (basement 02, lower ground floor and ground floor), mixed use and four levels of integrated Residential from lobbies on basement 02 to Level 01 (49 units).



Figure 2 & 3 | Image of the proposed development | source: Urbana Corp

## 2.3 Building description

The below table describes the access requirements of the various areas of the building as specified by the BCA.

Classification	Use	Location	Access Requirement
Class 2	Residential Units and Lobbies	Part Level 1	From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level.
	Communal Open Space	Part Level 1	
	Residential Units and Lobbies	Part Ground Floor	To and within not less than 1 of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, individual shop, eating area, or the like.  Where a ramp complying with AS 1428.1 or a passenger lift is installed— (a) to the entrance doorway of each sole-occupancy unit; and (b) to and within rooms or spaces for use in common by the residents, located on the levels served by the lift or ramp.
	Residential Units and Lobbies	Part Lower Ground Floor	
	Communal Room	Part Basement 02	
	Residential Lobbies	Part Basement 02	
Class 6	Retail Areas	Part Ground Floor	To and within all areas normally used by the occupants.
	Retail Areas	Part Lower Ground Floor	
	Retail Areas	Part Basement 02	
Class 7a	Carparking	Basement 03	To and within any level containing accessible carparking spaces.
	Carparking (incl. manager room)	Basement 04	
Class 7b	Residential Bin Holding Room	Part Ground Floor	No access requirement in accordance with Clause D4D2.
	Retail Loading Dock and Bin Rooms	Part Basement 02	

## 2.4 Classification

Location	Class	Use	Floor Area (Approx)
Basement 04	<b>Total</b>		4 395 m <sup>2</sup>
	Class 7a	Carpark – incl manager room	4 395 m <sup>2</sup>
Basement 03	<b>Total</b>		4 395 m <sup>2</sup>
	Class 7a	Carpark	4 395 m <sup>2</sup>
Basement 02	<b>Total</b>		3 313 m <sup>2</sup>
	Class 6	Retail	2 478m <sup>2</sup>
	Class 7b	Retail Loading Dock and Bin Rooms	735 m <sup>2</sup>
	Class 2	Residential Lobbies	100 m <sup>2</sup>



Location	Class	Use	Floor Area (Approx)
Lower Ground Floor	<b>Total</b>		3 582 m <sup>2</sup>
	Class 6	Retail	858 m <sup>2</sup>
	Class 2	Residential	2724 m <sup>2</sup>
Ground Floor	<b>Total</b>		3 323 m <sup>2</sup>
	Class 6	Retail	688 m <sup>2</sup>
	Class 2	Residential	2635m <sup>2</sup>
Level 1	<b>Total</b>		3 220 m <sup>2</sup>
	Class 2	Residential	3 220 m <sup>2</sup>

## 2.5 Areas to be accessible

Under the BCA the following areas are required to be accessible:

Level	Description	Area
B04	Basement Car Parking	To and within any level containing accessible carparking
B03	Basement Car Parking	To and within any level containing accessible carparking
	EOT Facilities	To and within all areas normally used by the occupants.
	Hydrant Pump Room	The Hydrant Pump Room is exempt under D3.4.**
B02	Retail SOU's	To and within all areas normally used by the occupants.
	Residential Lobbies	From a pedestrian entrance to the lift provided
	Loading Docks	The Loading Dock is exempt under D3.4.
LG	Retail SOU's	To and within all areas normally used by the occupants.
	Residential Corridors	To the entrance doorway of each sole-occupancy unit
	Residential SOU's – not accessible	-
	Accessible SOU's	Within the SOU
G	Retail SOU's	To and within all areas normally used by the occupants.
	Residential Corridors	To the entrance doorway of each sole-occupancy unit
	Residential SOU's – not accessible	-
	Accessible SOU's	Within the SOU
L01	Residential Corridors	To the entrance doorway of each sole-occupancy unit
	Residential SOU's – not accessible	-
	Accessible SOU's	Within the SOU
	Communal Roof Top	To and within rooms or spaces for use in common by the residents, located on the levels served by the lift or ramp.

## 2.6 Lift travel distance

See annexure B for lift numbering.

Lift	From	To	FFL from	FFL to
1	B04	GF	144.8	158.7
2	B04	L01	144.8	161.9
3	B04	GF	144.8	158.7
4	B04	L01	144.8	161.9
5	B04	B02	144.8	152.2
6	B04	L01	144.8	161.9
7	B04	L01	144.8	161.9
8	B03	B02	147.9	153.0
9	B02	GF	153.0	158.7
Hoist	Waste	LD	153.0	150.7

All lifts that serve a floor with an effective height of over 12m are required to comply with the stretcher lift requirements of Clause E3D3 of the BCA.

### 3 Assessment Summary

#### 3.1 BCA Assessment

The reviewed documentation referenced in Annexure A of this report has been assessed against the Deemed-to-Satisfy (DtS) provisions of the BCA. This assessment has identified the following areas where compliance with the BCA will require further consideration.

Section 6 of this report provides a detailed assessment of the proposal against each of the relevant DtS provisions of the BCA.

##### 3.1.1 Possible Performance Solutions (Access)

The following items relate to areas where a Performance Solution may be available to justify a deviation from the DtS requirements of the BCA. This report does not form a Performance Solution.

Item	Possible Performance Solution	DtS Provision	Performance Requirements
1.	-	-	-

##### 3.1.2 Design amendments required

The following items have been identified as departures from the BCA deemed-to-satisfy provisions, and Credwell recommend these items to be resolved with minor design amendments prior to the application for construction certificate:

Item	Amendments required	DtS Provision
1.	-	-

##### 3.1.1 Accessible SOUs

The Construction Certificate plans are to nominate which units are proposed to be designed in accordance with the Adaptable and Livable housing requirements in accordance with development consent, Council DCP and SEPP65 accessible design requirements. These plans are to include the pre and post adaptable housing plans

### 3.2 Apartment Design Guide (Objective 4Q-1) Assessment

State Environmental Planning Policy No 65 – Design Quality of Residential Apartment Development (“SEPP 65”) is New South Wales legislation applicable to the erection, substantial redevelopment, or conversion of buildings that result in the creation of residential flat buildings (cl4(1)(a), SEPP 65). Application of SEPP 65 is limited to residential flat buildings having –

*at least 3 or more storeys (not including levels below ground level (existing) or levels that are less than 1.2 metres above ground level (existing) that provide for car parking) (cl4(1)(b), SEPP 65)*

The subject proposed development has three (3) or more storeys and contains four (4) or more dwellings so SEPP 65 is applicable.

Clause 28(2)(c) of SEPP 65 requires consent authorities to consider the Apartment Design Guide (ADG) when assessing development applications. Generally, the ADG refers to matters outside the scope of an access assessment, however, Objective 4Q-1 (the “Objective”) requires that –

*Universal design features are included in apartment design to promote flexible housing for all community members.*

This is related to the provision of access, therefore, an assessment against the requirements of this Objective are provided in this Report.

The “Design guidance” provided with the Objective states the following –

*Developments achieve a benchmark of 20% of the total apartments incorporating the Livable Housing Guideline's silver level universal design features.*

The Glossary of the ADG then identifies the Livable Housing Design Guidelines (LHDG) as being “published by Livable Housing Australia and available on its' website”. The version of the LHDG available on the Livable Housing Australia website at the time this Report was prepared is the Fourth edition, dated 2017. The following assessment table outlines a review of the units within the subject proposed development designated as “livable” against the Silver Level requirements outlined in the Fourth Edition of the LHDG.

A minimum of three (3) units are to be designated as “livable” and subject to the assessment in Section 7 of this Report.

From preliminary review, all of the apartments are capable of compliance, subject to the following:

- The minimum clear width of doorways to the living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartments are to have a clear opening of 820mm.
- Relocation of the toilets in the livable apartments so that a clear width of 900mm between the walls or obstructions is maintained.
- Relocation of the toilets in the livable apartments so that a 1200mm clear circulation space forward of the toilet pan, excluding the swing of the door.

### 3.3 Further information required

For the purposes of this report, general arrangement floor plans, elevations and sections have been reviewed to determine whether the building is capable of complying with the BCA.

Construction Documentation is to be provided and reviewed by Credwell prior to the issuance of the BCA Report for the purposes of the Construction Certificate application. A detailed list of information required for review will be provided by Credwell upon engagement for the Construction Certificate stage assessment.

Item	Amendments required	DtS Provision
1.	Handrails are to be detailed to all ramps and stairways are to comply with this Clause and Part D4 [2019: Part D3]. Sections and details are to be included at CC stage.	D3D22 [2019: D2.17]  Part D4 [2019: Part D3]

## 4 Statement of Compliance

The architectural design documentation prepared for submission for the Development Application (as referred to in Annexure A of this report) have been assessed against the relevant provisions of the BCA. This assessment was limited to an assessment of the BCA in order to identify any items that may necessitate a modified development consent or additional key items that must be included in the design. It is considered that the documentation complies or is capable of complying with the BCA as outlined in Annexure B subject to resolution of items identified in this Report.

As identified in the Clause by Clause assessment, sufficient construction documentation is required in order to undertake a full assessment prior to the application for Construction Certificate.

## 5 BCA Clause by Clause Assessment

An assessment of the proposal has been undertaken against each clause of the BCA and the following abbreviations have been used.

<b>PS</b>	A Performance Solution is proposed to achieve compliance with this Clause.
<b>CRA</b>	<p>“Compliance Readily Achievable” – it is considered that whilst there is insufficient information currently provided to determine strict compliance with the DtS provisions of the BCA the proposed design is capable of comply subject to noting the requirements of the Clause.</p> <p>Additional information or documentation is necessary to confirm compliance. This may be in the form of additional drawing, a specification or design certification. See Appendix D for a proposed specification</p>
<b>Complies</b>	The proposal shows compliance with the Deemed-to-Satisfy Clause.
<b>DNC</b>	The design does not comply with the Deemed-to-Satisfy Clause and design amendments are required
<b>FI</b>	Further information is required for assessment of the proposal relative to the DtS Clause
<b>N/A</b>	The DtS Clause is not applicable at this stage to this design.
<b>Noted</b>	The DtS Clause provides information not requiring specific assessment of the proposed design.
<b>To be assessed at CC stage</b>	An assessment against this provision is not included in a DA stage report due to the level of documentation provided. Pending further engagement, this will be assessed upon receipt of Construction Documentation.

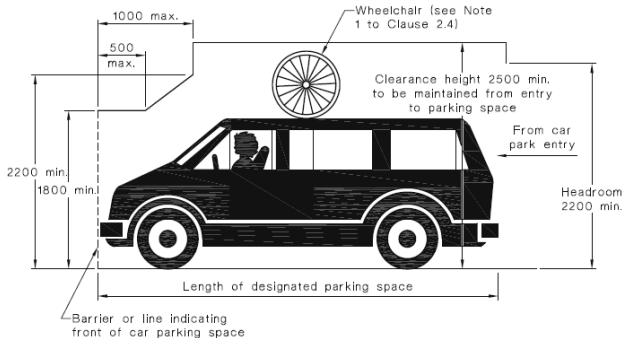
### SECTION D – ACCESS AND EGRESS

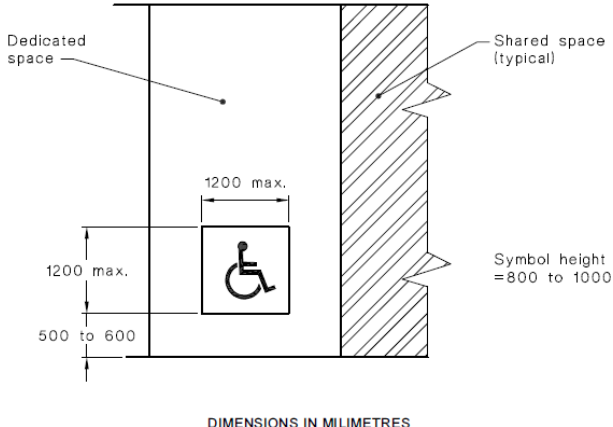
Clause	[2019]	Description	Comments	Assessment
<b>Part D3 – Construction of exits</b>				
D3D1	D2.0	DtS Provisions	Information only.	Noted
D3D2	D2.1	Application of Part	Information only.	Noted
D3D11	D2.10	Pedestrian ramps	The floor surface of the ramps must comply with the slip-resistance requirements of this clause.	CRA
D3D15	D2.14	Landings	Landing geometry and slip-resistance must comply with this clause. In a stairway, each landing must be not less than 750 mm long.	CRA
D2D22	D2.17	Handrails	The current configuration of the fire-isolated stairway allows for a handrail and still maintain the required minimum 1m travel width. The handrail(s) are required to meet the requirements of the BCA and AS 1428.1.	CRA
<b>Part D4 – Access for People with a Disability</b>				
D4D1	D3.0	DtS Provisions	Information only.	Noted
D4D2	D3.1	General building	Access must be provided to each Classification within the building in accordance with the following:	
			Class 2	CRA

Clause	[2019]	Description	Comments	Assessment
<b>Part D3 – Construction of exits</b>				
		access requirements	<p>From a pedestrian entrance required to be accessible to at least one (1) floor containing sole-occupancy units, and to the entrance doorway of each sole-occupancy unit located on that level.</p> <p>To and within not less than one (1) of each type of room or space for use in common by the residents.</p> <p>Where a ramp complying with AS 1428.1-2009 or a passenger lift is installed -</p> <ul style="list-style-type: none"> <li>i. to the entrance doorway of each sole-occupancy unit; and</li> <li>ii. to and within rooms or spaces for use in common by the residents, located on the levels served by the lift or ramp.</li> </ul>	
			<p><u>Class 6</u> To and within all areas normally used by the occupants.</p>	CRA
			<p><u>Class 7a</u> To and within any level containing accessible carparking spaces.</p>	CRA
D4D3	D3.2	Access to buildings	<p>An accessway must be provided to a building required to be accessible –</p> <ul style="list-style-type: none"> <li>i. from the main points of a pedestrian entry at the allotment boundary; and</li> <li>ii. from another accessible building connected by a pedestrian link; and</li> <li>iii. from any required accessible carparking space on the allotment.</li> </ul> <p><u>The main point of Pedestrian Entry</u></p> <p>Access must be provided through the principal pedestrian entrances of the building.</p> <p>It is assumed that the Pedestrian Entry 1 facing the Glenrose Place is the principal pedestrian entry.</p> <p>Details need to be provided to demonstrate how an accessway will be provided from the allotment boundary to Basement 02 – Retail 06. Signages or the like are required at the pedestrian entry leading to Retail 6, indicating wheelchair access is available from the other side of the shop.</p>	CRA



Clause	[2019]	Description	Comments	Assessment
<b>Part D3 – Construction of exits</b>				
			<u>Carpark</u> Access to the accessible carparking spaces allotted to the commercial tenancies is provided in Basement 04 & Basement 03 through the garage entrance on Basement 02 facing Glenrose Place.	Complies
			<u>Residential</u> Entry to the residential floors and areas is achieved through: <ul style="list-style-type: none"> <li>▪ Basement 02 – Building A Lobby 1</li> <li>▪ Basement 02 – Building A Lobby 2</li> <li>▪ Basement 02 – Pedestrian Entry 2 facing Glenrose Place</li> </ul> Turning spaces of 1540mm x 2070mm are to be provided within the residential corridors.	CRA
			<u>Retail Tenancies</u> Entry to the retail tenancies is achieved through: <ul style="list-style-type: none"> <li>▪ Principal Pedestrian Entry 1 facing Glenrose Place on Basement 02, and</li> <li>▪ Glen Street on Ground Floor, and</li> <li>▪ Lockwood Avenue on Ground Floor.</li> </ul> Access to the Retail 03, 05, 06, 07, 08 rely on the provision of a wide 1:14 ramp with handrails. Handrail details and sections are to be confirmed on updated plans. Clause D3D22 requires the handrail(s) to meet the requirements of the BCA and AS 1428.1.	FI
			<u>Number of Accessible Entrances Provided</u> Not less than 50% of all pedestrian entrances, including the principal pedestrian entrance are to be accessible.	Complies
			<u>Distance from Accessible Pedestrian Entrance</u> The maximum distance from an entrance which is not accessible to an accessible pedestrian entrance is no more than 50m.	Complies
			<u>Accessway from Required Accessible Carparking Space</u> An accessway has been provided from the accessible carparking space through to the areas required to be accessible within the building.	Complies
D4D4	D3.3	Part of buildings to be accessible	Parts of the building must comply with the relevant requirements of this clause.	Noted
			<u>Ramp</u> The proposed ramps are capable of complying with AS1428.1. Ramp details and sections are to be included as part of the Construction Documentations.	CRA
			<u>Fire-Isolated Stairways</u> The stairways connecting multiple floors within the building have been assessed as fire-isolated stairways.  Fire-isolated stairways only require the provision of a single handrail and are to comply with Clause 12, 11.1(f) and (g) of AS 1428.1. The handrail details are to be provided at the Construction Certificate stage.	CRA
			<u>Passenger Lifts</u> Passenger lifts are to comply with E3D7 and E3D8.	CRA
			<u>Accessways – Turning and Passing Spaces</u> Passing spaces are to be provided at a maximum of 20m intervals on an accessway where a direct line of sight is not available.  Turning spaces are to be provided at a maximum of 20m intervals and within 2m of the accessway.	CRA
			<u>Carpet</u> The pile height or pile thickness shall not exceed 11 mm and the carpet backing thickness shall not exceed 4 mm.	CRA

Clause	[2019]	Description	Comments	Assessment
<b>Part D3 – Construction of exits</b>				
			<p>The carpet pile height or pile thickness dimension, carpet backing thickness dimension and their combined dimension shown in Figure 8 of AS 1428.1 do not apply and are replaced with 11 mm, 4 mm and 15 mm respectively.</p> <p><u>Abutment of Surfaces</u> There is to be a smooth transition between surfaces – being that the design transition between these spaces shall be 0mm.</p>	CRA
D4D5	D3.4	Exemptions	<p>The following areas are not required to be accessible:</p> <p>(a) An area where access would be inappropriate because of the particular purpose for which the area is used.                      (b) An area that would pose a health or safety risk for people with a disability.                      (c) Any path of travel providing access only to an area exempted by (a) or (b).</p> <p>Below areas are considered to be exempt due to risk of safety:</p> <ul style="list-style-type: none"> <li>Basement 03 – Main switch room, diesel hydrant pump room, main comms room, bin room, bicycle storage areas;</li> <li>Basement 02 – Bin and waste rooms;</li> </ul>	Noted
D4D6	D3.5	Accessible carparking	<p><u>Number</u> In a Class 6 building, one (1) accessible carparking space is to be provided for every 50 car parking spaces.</p> <ul style="list-style-type: none"> <li>Basement 04 – there are a total of 132 commercial car parking spaces proposed, out of which 4 spaces will be accessible car parking spaces;</li> <li>Basement 03 – there are a total of 31 commercial car parking spaces proposed. Since there is nil accessible car parking on B03, signage in accordance with D4D7 should be provided to direct a person to the nearest accessible parking space to Basement 04.</li> </ul>	CRA
			<p><u>Dimensions</u> Accessible carparking spaces are required to be provided in accordance with Clause 2.2, and Figures 2.2 and 3.1 of AS2890.6, with the dimensions of 2.4m x 5.4m.</p>	CRA
			<p><u>Shared Space</u> A shared space with the minimum dimensions of 2.4m x 5.4m and line marked in accordance with Clauses 3.1 and 3.2, and Figures 2.2 and 3.1 of AS2890.6 is to be provided.</p>	CRA
			<p><u>Height</u> The vehicular path from the carpark entrance to the accessible carparking space shall have a minimum height of 2.2m.</p> <p>The accessible carparking space and shared area shall have a minimum height of 2.5m, measured in accordance with Clause 2.4, and Figure 2.7 of AS2890.6.</p>  <p style="text-align: center;">DIMENSIONS IN MILLIMETRES</p> <p style="text-align: center;">FIGURE 2.7 HEADROOM REQUIRED ABOVE CAR SPACES FOR PEOPLE WITH DISABILITIES</p>	CRA

Clause	[2019]	Description	Comments	Assessment
<b>Part D3 – Construction of exits</b>				
			<p><u>Designation</u> The designation of the accessible carparking space is to be provided in accordance with Clauses 3.1 and 3.2, and Figure 3.1 of AS2890.6.</p>  <p style="text-align: center;">DIMENSIONS IN MILLIMETRES</p> <p style="text-align: center;">FIGURE 3.1 USE OF SYMBOL OF ACCESS TO IDENTIFY SPACES</p>	CRA
D4D7	D3.6	Signage	<p>Braille and tactile signage are to be provided in accordance with this Clause and Specification D3.6, throughout the building.</p> <p>Signage will need to be located to achieve compliance. Signs with single lines of characters must have:</p> <ol style="list-style-type: none"> <li>the line of tactile (braille) characters not less than 1250 mm and not higher than 1350 mm above the floor; and</li> <li>be located on the latch side of the door 50-300mm from the architrave. Where this is not possible and only when this is not possible the sign may be placed on the door itself.</li> </ol> <p>Where illuminated exit signage is provided to an exit door a braille and tactile sign complying with this Clause is to be provided stating "Exit" and the level number and/or both descriptors, for example "Basement Level, Carpark".</p>	CRA
D4D8	D3.7	Hearing augmentation	<p>A hearing augmentation system must be provided where an inbuilt amplification system, other than one used only for emergency warning, is installed—</p> <ol style="list-style-type: none"> <li>in a room in a Class 9b building; or</li> <li>in an auditorium, conference room, meeting room or room for judicatory purposes; or</li> <li>at any ticket office, teller's booth, reception area or the like, where the public is screened from the service provider.</li> </ol> <p>No use has been detailed that would require hearing augmentation</p>	Noted
D4D9	D3.8	Tactile indicators	<p>Tactile indicators are to be provided to warn people that they are approaching a stairway, ramp and/or overhead obstruction. Tactiles are to comply with this Clause and AS/NZS1428.4.1 – 2009.</p>	CRA
D4D10	D3.9	Wheelchair seating spaces in Class 9b assembly buildings	<p>There is no Class 9b part in the development. The building is not required to have wheelchair seating.</p>	N/A
D4D11	D3.10	Swimming pools	<p>No Swimming pool has been shown on the plans.</p>	N/A
D4D12	D3.11	Ramps	<p>On an access way, a series of connected ramps are not to have a combined vertical rise of 3.6m or more. A landing for a step ramp may not overlap a landing for another step ramp or ramp.</p>	CRA

Clause	[2019]	Description	Comments	Assessment
<b>Part D3 – Construction of exits</b>				
D4D13	D3.12	Glazing on an accessway	On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS1428.1-2009.	CRA
<b>Specification 15 – Braille and tactile signs [2019: Spec D3.6]</b>				
S15C1	1	Scope	This Specification sets out the requirements for the design and installation of braille and tactile signage as required by clause D3.6.	Noted
S15C2	2	Location of braille and tactile signs	Braille and tactile signage must be located in accordance with this clause.	CRA
S15C3	3	Braille and tactile sign specification	Braille and tactile signage must have characters in accordance with this clause.	CRA
S15C4	4	Luminance contrast	The luminance contrast of the signage must comply with this clause.	CRA
S15C5	5	Lighting	Braille and tactile signage must be illuminated to ensure the luminance contrast requirements are met at all times during which the sign is required to be read.	CRA
S15C6	6	Braille	The braille characters must comply with this clause.	CRA
<b>Specification 16 – Accessible water entry/exit from swimming pools [2019: Spec D3.10]</b>				
This Specification sets out the requirements for types of accessible water entry/exit for swimming pools, which is not applicable as the subject building does not contain a swimming pool.				

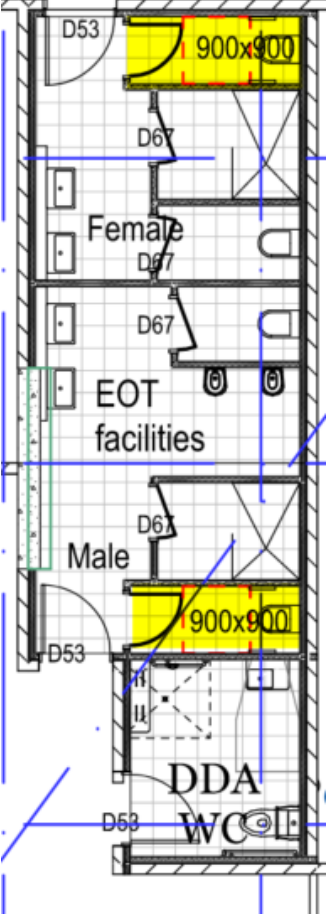
**SECTION E – SERVICES AND EQUIPMENT**

Clause	[2019]	Description	Comments	Assessment
<b>Part E1 – Fire fighting equipment</b>				
E3D1	E3.0	DtS Provisions	Information only.	Noted
E3D6	E3.5	Landings	Access and egress to and from lift well landings must comply with Parts D2, D3 and D4.	CRA
E3D7	E3.6, table E3.6a, Table E3.6b	Passenger lifts and their limitations	<p>The development is to be provided with a passenger lift in accordance with the selection criteria within this Clause.</p> <p>Where lifts travel less than 12m vertically, they must have floor dimensions of no less than 1,100mm (wide) x 1,400mm (deep), and where they travel more than 12 m they must have a minimum dimension of 1,400mm (wide) x 1,600mm (deep).</p> <p>The scaled measurement of all lifts meets requirements.</p> <p>The lifts must be provided with features in accordance with Table E3.6b that comply with AS1735.12-1999.</p>	CRA
E3D8	Table E3.6a, Table E3.6b	Accessible features required for passenger lifts	The lifts are to be provided with accessible features required by this Clause and AS 1735.12.	CRA

**SECTION F – HEALTH AND AMENITY**

Clause	[2019]	Description	Comments	Assessment
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**Part F4 – Sanitary and other facilities**

F4D1	F2.0	DtS Provisions	Information only.	Noted
F4D5	F2.4	Accessible sanitary facilities	<p>A unisex accessible sanitary facility is required to be provided at each bank of toilets.</p> <p>Sanitary facilities are proposed to be installed on Basement 04 and Basement 02 to serve both employees and the public of the commercial areas. The accessible sanitary facility compartment has been measured to scale as having dimensions of:</p> <ul style="list-style-type: none"> <li>▪ 2,300 mm (wide) x 2,600 mm (deep) on Basement 04,</li> <li>▪ 3,100 mm (wide) x 3,300 mm (deep) on Basement 02.</li> </ul> <p>These compartments are capable of being fitted out in accordance with the requirements of Section 15 of AS 1428.1-2009.</p> <p>Details and sections of fixtures and fittings are to be provided and assessed as part of the construction documentation.</p> <p><u>Ambulant Facilities on Basement 04 – EOT facility</u>                      Clause F4D5(c) requires separate ambulant toilets for male and female. The ambulant facilities are to be detailed in accordance with Figure 53B of AS 1428.1-2009.</p> <p>The end-of-trip facility on Basement 04 demonstrates one male and one female ambulant toilets (highlighted in yellow). Details and sections of fixtures and fittings are to be provided and assessed as part of the construction documentation.</p> 	<p>CRA</p> <p style="text-align: center; color: blue;">FI Plans capable of complying</p>

Clause	[2019]	Description	Comments	Assessment
<b>Part F4 – Sanitary and other facilities</b>				
F4D6	Table F2.4a	Accessible unisex sanitary compartments	<p><u>Class 2</u> At least one unisex accessible sanitary facility is to be provided where sanitary compartments are provided in common areas.</p> <p><u>Class 6 &amp; 7</u> At least one unisex accessible sanitary facility is to be provided at each storey containing sanitary compartments, and where a storey has more than 1 banks of sanitary compartments containing male and female sanitary compartments, at no less than 50% of those banks.</p> <p>Currently, accessible unisex sanitary facilities are proposed at Basement 04 and Basement 02.</p>	Complies
F4D7	Table F2.4b	Accessible unisex showers	<p><u>Class 2</u> At least one unisex accessible shower is to be provided where shower are provided in common areas.</p> <p><u>Class 6 &amp; 7</u> The development does not require accessible showers.</p> <p>Currently, accessible unisex showers are proposed at Basement 04 and Basement 02.</p>	Complies
F4D12	F2.9	Accessible adult change facilities	This clause does not apply to Class 2 Part. For Class 6 part, the building is not required to have an adult change facility unless occupant numbers are over 3,500 occupants.	N/A
<b>Specification 27 – Accessible adult change facilities [2019: Spec F2.9]</b>				
The building is not required to be provided with an accessible adult change facility and therefore is not required to be assessed against this specification.				

## 6 Livable Housing Clause by Clause Assessment

State Environmental Planning Policy No 65 – Design Quality of Residential Apartment Development (“SEPP 65”) is New South Wales legislation applicable to the erection, substantial redevelopment, or conversion of buildings that result in the creation of residential flat buildings (cl4(1)(a), SEPP 65).

Application of SEPP 65 is limited to residential flat buildings having –

*at least 3 or more storeys (not including levels below ground level (existing) or levels that are less than 1.2 metres above ground level (existing) that provide for car parking) (cl4(1)(b), SEPP 65)*

that contain “at least 4 or more dwellings” (cl4(1)(c), SEPP 65).

The subject proposed development has three (3) or more storeys and contains four (4) or more dwellings so SEPP 65 is applicable.

Clause 28(2)(c) of SEPP 65 requires consent authorities to consider the Apartment Design Guide (ADG) when assessing development applications. Generally, the ADG refers to matters outside the scope of an access assessment, however, Objective 4Q-1 (the “Objective”) requires that –

*Universal design features are included in apartment design to promote flexible housing for all community members.*

This is related to the provision of access, therefore, an assessment against the requirements of this Objective is provided in this Report.

The “Design guidance” provided with the Objective states the following –

*Developments achieve a benchmark of 20% of the total apartments incorporating the Livable Housing Guideline’s silver level universal design features.*

The Glossary of the ADG then identifies the Livable Housing Design Guidelines (LHDG) as being “published by Livable Housing Australia and available on its’ website”. The version of the LHDG available on the Livable Housing Australia website at the time this Report was prepared is the Fourth edition, dated 2017. The following assessment table outlines a review of the units within the subject proposed development designated as “livable” against the Silver Level requirements outlined in the Fourth Edition of the LHDG.

12 units are designated on the plans as being “livable”. Under the requirements of condition 34 of the Development Consent (Notice of Orders Made by Land and Environment Court of NSW Case No. 2020/00283826), 12 units are to be nominated and comply with the livable housing requirements.

	Unit	Storey
1.	LG.03	Lower Ground
2.	LG.04	Lower Ground
3.	LG.05	Lower Ground
4.	LG.06	Lower Ground
5.	G.03	Ground Floor
6.	G.04	Ground Floor
7.	G.05	Ground Floor
8.	G.06	Ground Floor
9.	1.03	Level 1
10.	1.04	Level 1
11.	1.05	Level 1
12.	1.10	Level 1

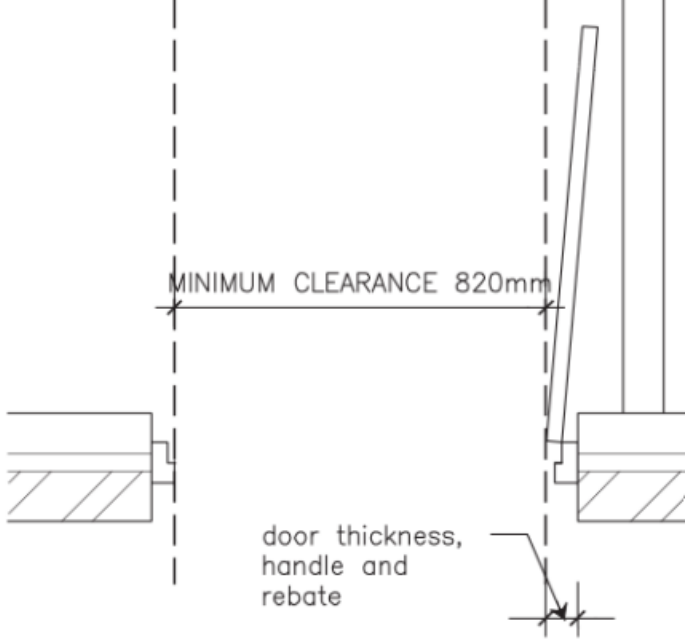
The following abbreviations have been used in the table below:

- CRA**      **Compliance Readily Achievable**  
It is considered that, whilst there is insufficient information currently provided to determine strict compliance with the relevant clause, the proposed design can comply in its current format.
- Complies**    The proposed design complies with the relevant clause
- DNC**      **Does Not Comply**  
The proposed design does not comply with the relevant clause and requires amendment.
- FI**        **Further Information**  
Further information is required to determine whether the proposed design satisfies the requirements of the relevant clause.
- N/A**      **Not Applicable**  
The relevant clause is considered not applicable to the subject proposed development.

#### Livable Housing Design Guidelines Assessment Table

Part	Comments	Assessment
<b>LIVEABLE HOUSING</b>		
<b>Silver Level</b>		
1 Dwelling Access	Access to the livable units is via a pathway complying with BCA Part D4 and AS 1428.1-2009. It should be noted that the LHDG specifies that its requirements “should only be applied to the parts of the building classes not covered by the Disability Standards and BCA (BCA Vol 1 and 2)” – see “Note” on p.15 of the LHDG.	N/A
2 Dwelling entrance	The entrance is connected to the accessible path as required by the BCA and AS 1428.1-2009. It should be noted that the LHDG specifies that its requirements “should only be applied to the parts of the building classes not covered by the Disability Standards and BCA (BCA Vol 1 and 2)” – see “Note” on p.15 of the LHDG.	CRA
	The entrance to the livable units must have a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled). Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided in accordance with Figure 1(b).	CRA
	The entrance to the livable units must be sheltered from the weather.	CRA
	The entrance door to the livable units must have a minimum clear opening width of 820mm.	CRA
3 Internal doors and corridors	The internal doorways serving the living, dining, bedroom, bathroom, kitchen, laundry, and sanitary compartment must have a minimum clear opening width of 820mm, which means 820mm clear of the door leaf and frames.	<b>FI Plans capable of complying</b>



Part	Comments	Assessment
<b>LIVEABLE HOUSING</b>		
	 <p data-bbox="480 927 1066 963"><b>Figure 2(a) Silver level clear door opening</b></p>	
	The internal Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled).	CRA
	The internal corridors/passageways to the doorways referenced above must have a minimum clear width of 1,000mm.	CRA
4 Toilet	The toilet must be located on the ground or entry level of the dwelling.	Complies
	The toilet must have a minimum clear width of 900mm between the walls or obstructions in the room it is located;	CRA
	The toilet must have a minimum 1,200mm clear circulation space forward of the toilet pan, exclusive of the swing of the door.	CRA
	The toilet must be located in the corner of the room if it is located in a combined toilet/bathroom.	Complies
5 Shower	One (1) bathroom is to feature a slip-resistant, hobless shower recess located in the corner of the room.	CRA
	Shower screens are permitted provided they can be easily removed at a later date.	CRA
6 Reinforcement of bathroom and toilet walls.	Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet must be reinforced to provide a fixing surface for the safe installation of grabrails in accordance with the requirements of this clause.	CRA
7 Internal stairways	This matter is regulated by the BCA for this building. It should be noted that the LHDG specifies that its requirements “should only be applied to the parts of the building classes not covered by the Disability Standards and BCA (BCA Vol 1 and 2)” – see “Note” on p.15 of the LHDG.	N/A

## 7 Northern Beaches Council Development Control Plan 2011 Assessment - Adaptable Housing

The Northern Beaches Council Development Control Plan 2011 (the “DCP”) specifies the requirements applicable to the subject proposed development regarding the provision of adaptable units. The DCP specifies the following -

Where a development comprises at least five (5) dwellings, 10% (rounded up to next whole number) of dwellings shall be capable of being adapted (Class C) under AS4299

### NOTE

*Evidence of compliance with the Adaptable Housing Class C requirements of AS 4299 shall be submitted when lodging a DA and certified by an experienced and qualified housing professional (e.g. Architect or Accredited Building Certifier)*

For the purposes of this Report, the following units are identified as being designated as “adaptable”, which equates to 12.24% ( $6 / 49 \times 100 = 12.24\%$ ) of the units within the proposed subject development:

	Unit	Storey
1.	LG03	Lower ground
2.	LG.17	Lower ground
3.	G.03	Ground
4.	G.14	Ground
5.	1.03	Level 1
6.	1.04	Level 1

The DCP specifies “adaptable house class C” as the “Classification Level” applicable to the adaptable unit(s). This requires the design of the adaptable unit(s) to incorporate “all essential features”.

It should be noted that AS 4299-1995 is now more than 20 years old and the AS 1428 series of Standards has been subject to significant updates since it was published. These updates have resulted in the requirements of AS 1428.2 essentially being incorporated into what is currently referred to as AS 1428.1-2009. As such, where AS 4299-1995 references AS1428.2, this is taken as a reference to AS 1428.1-2009.

The following assessment table outlines a review of the units designated as adaptable within the proposed subject development against the “adaptable house class C” requirements of AS 4299-1995.

As stated before, the plans we have been provided for assessment do not show the Pre-Adaptable and Post adaptable. The Plans Approved by the Land and Environmental Court of NSW (ECNSW Plans), 8 November 2021, previously shown, will be used for this assessment.

The following abbreviations have been used in the table below:

- CRA**      **Compliance Readily Achievable**  
It is considered that, whilst there is insufficient information currently provided to determine strict compliance with the relevant clause, the proposed design can comply in its current format.
- Complies**    The proposed design complies with the relevant clause
- DNC**      **Does Not Comply**  
The proposed design does not comply with the relevant clause and requires amendment.
- FI**        **Further Information**  
Further information is required to determine whether the proposed design satisfies the requirements of the relevant clause.
- N/A**      **Not Applicable**  
The relevant clause is considered not applicable to the subject proposed development.

#### AS 4299-1995 (adaptable house class C) Assessment Table

Room/Item	Clause	Comments	Assessment
<b>Drawings</b>			
1.	2.3	<p>Required at the construction stage.</p> <p>For the CC stage review of AS4299, pre and post adaptation plans are required.</p> <p>The land and environment court document refer to the adaptable unit plans. We need a CC stage copy to review.</p>	CRA
<b>Siting</b>			
2.	3.3.2	<p>No Street parking will be provided. An accessway from the primary principal entrance from the street frontage will be provided. Access will be provided from the basement carpark to the residential units.</p>	CRA
<b>Letterboxes in Estate Developments</b>			
3.	3.8	<p>Letterboxes for the residential units are to be provided in the ground floor level entry lobby.</p>	CRA
<b>Private Car Accommodation</b>			
4.	3.7.2	<p>Accessible car spaces to be provided within basement car park. Compliance with AS2890.6 is satisfactory. Please ensure a 2.5m internal vertical clearance is supplied from the basement entry way to each accessible space.</p>	CRA
<b>Accessible Entry</b>			
5.	4.3.1	<p>The entry door to an adaptable unit is to have a minimum clear opening of 850mm and comply with door circulation spaces under AS1428.1-2009. Details to be shown on the post adaption plan.</p>	CRA

Room/Item	Clause	Comments	Assessment	
6.	Accessible entry to be level (i.e. max. 1:40 slope)	4.3.2	Units are accessed from an enclosed corridor.	Complies
7.	Threshold to be low-level	4.3.2	Public corridors assumed to be flat.	CRA
8.	Landing to enable wheelchair manoeuvrability	4.3.2	The unit entry doors are internal to the building.	CRA
9.	Accessible entry door to have 850mm min clearance	4.3.1	The entry door to the adaptable units are to have a minimum clear opening of 850mm and comply with door circulation spaces under AS1428.1-2009. Details to be shown on the post adaption plan.	CRA
10.	Door lever handles and hardware to AS 1428.1	4.3.4	Door handles are to comply with AS1428.1-2009 at the construction stage.	CRA
<b>Interior: General –</b>				
11.	Internal doors to have 820 mm min clearance	4.3.3	Internal doors are required to have a minimum clear opening of 820mm. Details to be shown on the post adaption plan.	CRA
12.	Internal corridors min. width of 1000 mm	4.3.7	Internal corridors within the unit are to have a minimum width of 1000mm. Details to be shown on the post adaption plan.	CRA
13.	Provision for compliance with AS 1428.1 for door approaches	4.3.6	Circulation spaces at doorways within the unit are to comply with AS1428.1-2009. Details to be shown on the post adaption plan.  Note, in the current design, the second bedroom and its ensuite do not have doorway circulation complying with AS 1428.1	CRA Plans capable of complying
14.	Provision for circulation space of min. 2250 mm diameter	4.7.1	A circulation space of min. 2250 mm diameter is to be made available in the living areas after the furniture has been placed. Details to be shown on the post adaption plan.	CRA
15.	Telephone adjacent to GPO	4.7.4	Telephone outlet adjacent to GPO in living/dining area to be indicated on post adaption plan.	CRA
16.	Potential illumination level min. 300Lux	4.10	Lighting to comply at construction stage.	CRA
<b>Kitchen</b>				
17.	Minimum width 2.7 m (1550mm clear between benches)	4.5.2	1550mm clearance is required in front of sink and appliances. Details to be shown on the post adaption plan.	CRA
18.	Provision for circulation at doors to comply with AS 1428.1	4.5.4	The kitchen doors proposed.	CRA
19.	Provision for benches planned to include at least one work surface of 800 mm length, adjustable in height from 750 mm to 850 mm or replaceable. Refer to Figure 4.8	4.5.5	Work surface of 800mm to be indicated on post adaption plan.	CRA
20.	Refrigerator adjacent to work surface	4.5.5	Refrigerator to be adjacent to the work surface and to be indicated on post adaption plan.	CRA

Room/Item	Clause	Comments	Assessment	
21.	Kitchen sink adjustable to heights from 750 mm to 850 mm or replaceable	4.5.6	The design is to allow for the removal of the cabinets under the sink and adjacent work surface. To be indicated on a post adaption plan.	CRA
22.	Kitchen sink bowl max. 150mm deep	4.5.6	Kitchen sink bowl to be max. 150mm deep, this item is noted as something that can be altered post adaption.	CRA
23.	Tap set capstan or lever handles or lever mixer	4.5.6(e)	Taps may be updated post adaption, with no works required at this stage.	CRA
24.	Tap set located within 300 mm of front of sink	4.5.6(e)	Taps may be updated post adaption, with no works required at this stage.	CRA
25.	Cook tops to include either front or side controls with raised cross bars	4.5.7	Cook top controls may be updated post adaption, with no works required at this stage.	CRA
26.	Cook tops to include isolating switch	4.5.7	Cook tops to be provisioned with isolating switches or gas stop valves that can be easily and safely operated with the cook top is in use. Cook top may be updated post adaption, with no works proposed at this stage.	CRA
27.	Work surface min. 800 mm length adjacent to cook top at same height	4.5.7	Work surface adjacent to, and at the same height as the, cook top of 800mm to be indicated on post adaption plan.	CRA
28.	Oven located adjacent to an adjustable height or replaceable work surface	4.5.8	The oven is to be adjacent to an 800mm wide work surface and to be indicated on post adaption plan.	CRA
29.	GPOs to comply with AS 1428.1. At least one double GPO within 300mm of front of work surface	4.5.11	GPOs to comply with AS 1428.1. At least one double GPO within 300mm of front of work surface. To be indicated on post adaption plan.	CRA
30.	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position	4.5.11	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position. To be indicated on post adaption plan.	CRA
31.	Slip-resistant floor surface	4.5.4	Floors to be slip resistant to comply with AS3661.1. To be indicated on post adaption plan.	CRA
<b>Main Bedroom</b>				
32.	At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS 1428.2	4.6.1	Turning space minimum 1540 x 2070mm required. To be indicated on post adaption plan.	CRA
<b>Bathroom</b>				
33.	Provision for bathroom area to comply with AS 1428.1	4.4.1	The bathroom area is to comply with clause 15 of AS1428.1-2009. To be indicated on a pre-adaption plan and shown as an accessible bathroom on a post adaption plan.  AS 4299 requires that all sanitary facilities are adaptable at minimum cost. The ensuite does not meet this requirement as the space in front of the toilet is not adequate and the toilet is not adjacent to a wall	CRA

Room/Item	Clause	Comments	Assessment	
34.	Slip-resistant floor surface	4.4.2	Floors to be slip resistant to comply with AS3661.1. To be indicated on a post adaption plan.	CRA
35.	Shower recess- no hob. Minimum size 1160 x 1100 to comply with AS 1428.1. (Refer Figures 4.6 and 4.7)	4.4.4(f)	Shower to be hob-less. The post adaption plans to show AS1428.1 compliant sizes and fitout.	CRA
36.	Shower area waterproofed to AS 3740 with floor to fall to waste	4.4.4(f)	Entire bathroom to comply with AS3740.	CRA
37.	Recessed soap holder	4.4.4(f)	Soap holder to be recessed.	CRA
38.	Shower taps positioned for easy reach to access side of shower sliding track	4.4.4(f)	Shower head and taps to be located at a height and clearance compliant to AS1428.1. To be indicated on a post adaption plan.	CRA
39.	Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall – strengthening provision)	4.4.4(h)	Provisioning to be provided. To be indicated on a post adaption plan.	CRA
40.	Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS 1428.1	4.4.4(h)	Provisioning to be provided. To be indicated on a post adaption plan.	CRA
41.	Tap sets to be capstan or lever handles with single outlet	4.4.4(c)	Taps may be updated post adaption, with no works required at this stage.	CRA
42.	Provision for washbasin with clearances to comply with AS 1428.1	4.4.4(g)	The washbasin and associated clear spaces must comply with AS 1428.1.	CRA
43.	Double GPO beside mirror	4.4.4(d)	Double GPO to be provided beside mirror. To be indicated on a post adaption plan.	CRA
<b>Toilet – “Visitable”</b>				
44.	Provision of either ‘visitable toilet’ or accessible toilet	4.4.3	Once adapted the housing unit will be provided with an accessible toilet. To be indicated on a post adaption plan.	CRA
45.	Provision to comply with AS1428.1	4.4.1	<p>The bathroom area is to comply with clause 15 of AS1428.1-2009. To be indicated on a pre-adaption plan and shown as an accessible bathroom on a post adaption plan.</p> <p>AS 4299 requires that all sanitary facilities are adaptable at minimum cost to potentially comply with AS 1428.1.</p> <p>All the main bathrooms are capable of complying with AS1428.1.</p> <p><u>Unit No. LG03, LG17, G03 G14, 1.03 &amp; 1.04</u> None of the ensuite WCs have the room size and the plumbing is not in a location that would be easily adapted.</p>	<b>FI Plans capable of complying</b>

Room/Item	Clause	Comments	Assessment	
46.	Location of WC pan at correct distance from fixed walls	4.4.3	Pan to be located correct distances from the walls in accordance with AS1428.1-2009 at pre adaption stage.  <u>Unit No. LG03, LG17, G03 G14, 1.03 &amp; 1.04</u> None of the ensuite toilet is adjacent to a wall.	FI Plans capable of complying
47.	Provision for grab rail zone. (Refer Figure 4.6)	4.4.4(h)	Provisioning to be provided. To be indicated on a post adaption plan.	CRA
48.	Slip resistant floor surface. (Vitreous tiles or similar)	4.4.2	Floors to be slip resistant to comply with AS3661.1. To be indicated on a post adaption plan.	CRA
49.	Circulation at doors to comply with AS 1428.1	4.8	Doorways at laundries to have appropriate circulation spaces in accordance with AS 1428.1. To be shown on post adaptation plan.	CRA
50.	Provision for adequate circulation space in front of or beside appliances (min. 1550 mm depth)	4.8	A minimum 1,550mm circulation space must be provided in front of the laundry appliances.	CRA
51.	Provision for automatic washing machine	4.8(e)	Space for an automatic washing machine is to be provided. To be indicated on a post adaption plan.	CRA
52.	Where a clothesline is provided, an accessible path of travel to this	4.8(a)	No clothesline proposed.	N/A
53.	Double GPO	4.8(g)	Double GPO to be provided in the laundry. To be indicated on a post adaption plan.	CRA
54.	Slip-resistant floor surface	4.9.1	Floors to be slip resistant to comply with AS3661.1. To be indicated on a post adaption plan.	CRA
<b>Door Locks</b>				
55.	Door hardware operable with one hand, located 900–1100mm above floor	4.3.4	Door hardware operable with one hand, located 900–1100mm above floor. To be indicated on post adaption plan.	CRA

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## Annexure A – Reviewed Documentation

This report has been based on the documentation listed below:

Architectural Details prepared by Urbana Corp			
Project Title: The Belrose Collection			
Drawing Number	Revision	Title	Date
CC-101	4	Basement 04 plan	08/01/2024
CC-102	4	Basement 03 plan	08/01/2024
CC-103	4	Basement 02 plan	08/01/2024
CC-104	4	Lower ground floor plan	08/01/2024
CC-105	4	Ground floor plan	08/01/2024
CC-106	4	Level 01 plan	08/01/2024
CC-107	4	Roof plan	08/01/2024
CC-1401	3	Adaptable Unit Plans	06/10/2023