



Environmental Compliance
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

COPY

22 July 2005

Karen Mary Spence
13 Kariboo Close
MONA VALE NSW 2103

Dear Madam,

Re: Construction Certificate CC0286/05
Property: 13 KARIBOO CLOSE MONA VALE NSW 2103

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA). Please complete this form and return it to Council's Customer Service together with the PCA appointment fee as detailed in the form.

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

An Officer will contact you in the next few days to discuss your development and help ensure your development progresses smoothly.

Yours faithfully
Development Compliance Group

Per:



Pittwater Council

Construction Certificate No: CC0286/05

COPY

Site Details: 13 KARIBOO CLOSE MONA VALE NSW 2103

Legal Description: Lot 15 DP 255359

Type of Development: Building Work

Description: **Alterations and additions to an existing sole occupancy dwelling, including a new car parking structure and extension of first floor balcony.**

Associated Development Consent No: N0176/05 Dated: 23/05/2005

Building Code of Australia Certification: Class 1a & 10b

Details of plans, documents or Certificates to which this Certificate relates:

- Working Drawings prepared by Peter Zavaglia Design Studio, Drawing No.0324 / WD.01, 0324 / WD.02, 0324 / WD.03 & 0324 / WD.04, dated February 2005 with associated Sydney Water Approval Stamp dated 28 June 2005
- Structural Engineering Details prepared by Michael Gergich Consulting Engineer, Drawing No.0536, dated 9 June 2005
- Schedule of Works for Sedimentation & Erosion Controls prepared by Michael Gergich Consulting Engineer, Drawing No.0536-SK1, dated 16 June 2005
- Structural Adequacy Certification for additional Loads prepared by Michael Gergich Consulting Engineer, dated 16 June 2005
- Screen Planting located on Site Plan prepared by Peter Zavaglia Design Studio Drawing No.0324 / WD.01, dated February 2005 with associated Canopy Tree Location Plan

I hereby certify that the above plans, documents or Certificates satisfy:

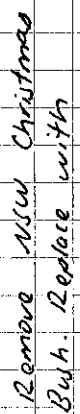
- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: N0176/05


Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.

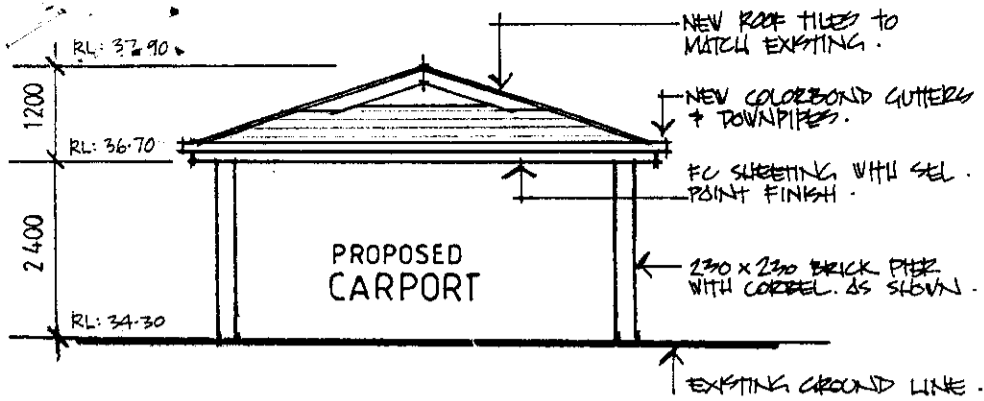

Carl Georgeson
Development Compliance Group

22 July 2005
Date of Endorsement

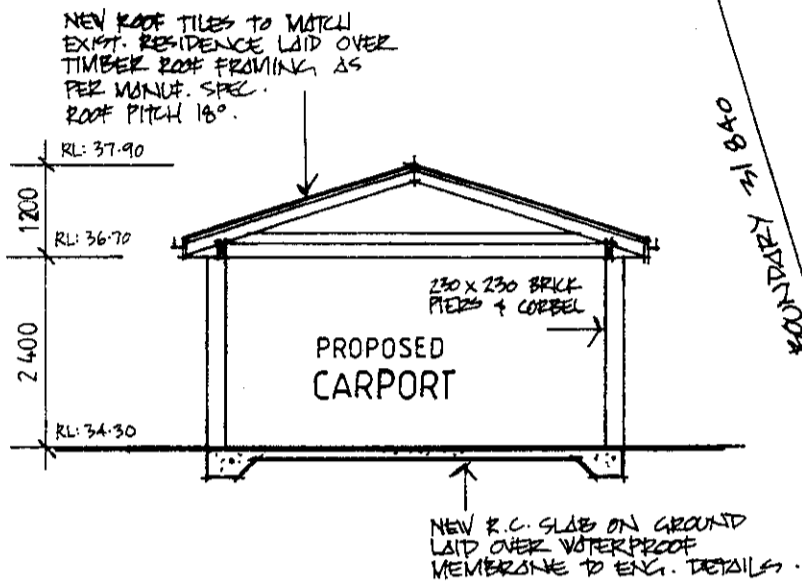
Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.



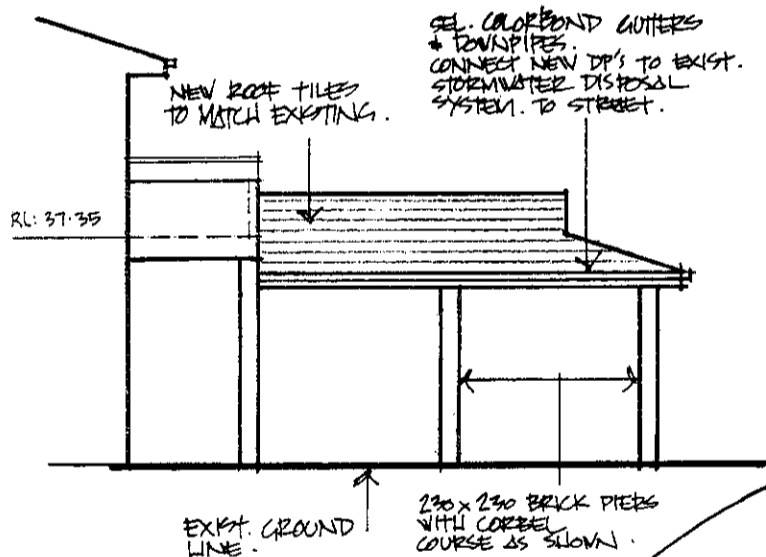
PULP, WATER, POLYMER, CONSTRUCTION CERTIFICATE
Number: CC 0226105
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: 
Date: 22 JUL 2005



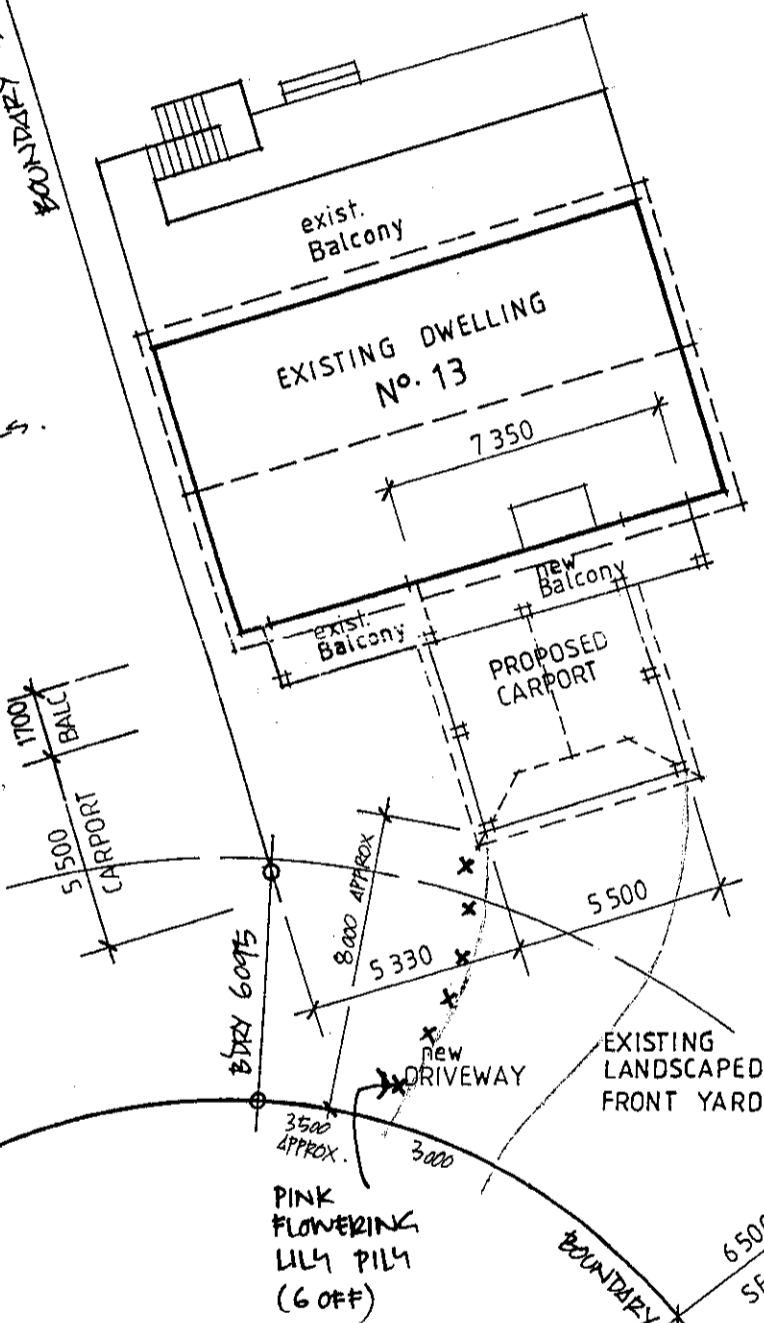
FRONT ELEVATION
TO KARIBOO CLOSE
1:100
SOUTH EAST ELEV.



SECTION A-A
1:100



SIDE ELEVATION
1:100
SOUTH WEST ELEV.

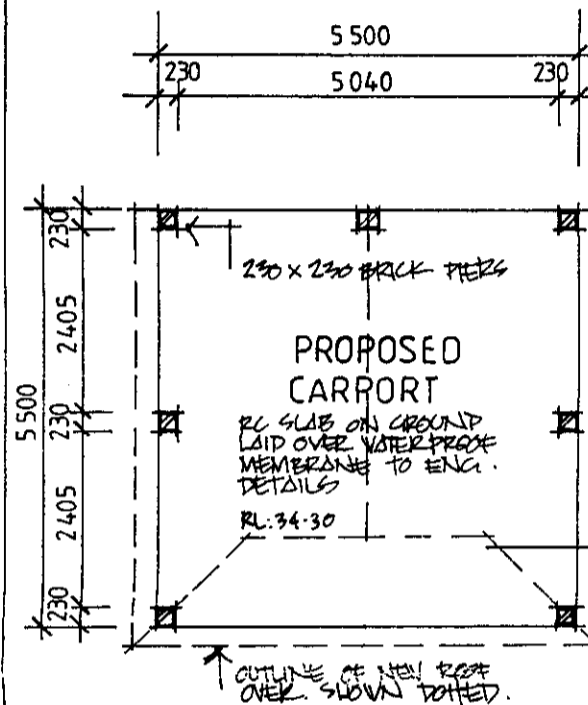
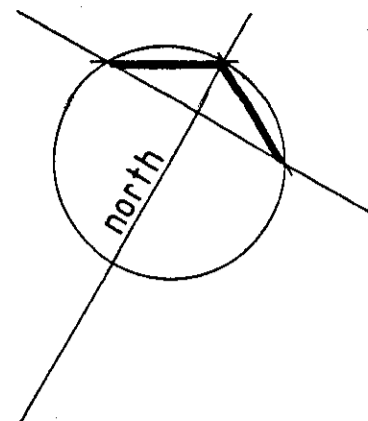


Kariboo Close
PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

SITE PLAN

1:200

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT



FLOOR PLAN
1:100

General Notes

All work to be carried out in a tradesmanlike manner and in accordance with the standards, codes and regulations of the Standards Association of Australia, Building Code of Australia and any statutory authority having jurisdiction over the works.

Builder is to check and confirm all necessary dimensions on site prior to construction. Do not scale drawings.

All timber construction to be in accordance with the 'Light Timber Framing' code.

Any detailing additional to that supplied, shall be resolved between owner and builder to owner's approval. Except for any structural details or design which is to be supplied by structural engineer.

Connect all stormwater to existing

All electrical power and light outlets to be determined by owner.

PITWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0286/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	22 JUL 2005

zavagliadesignstudio
ABN 24 292 958 837

SUITE 101/65B PITWATER RD. BROOKVALE. 2100. 9939 1441.

Project: PROPOSED NEW CARPORT & EXTENSION OF EXISTING FRONT BALCONY.
Address: 13 KARIBOO CLOSE, MONA VALE. 2103. LOT 15/ DP 255359.
Client: MRS. K. SPENCE.

Date: FEB. 2005

Scale: 1:200/1:100.

Issue:

Drawing Number

0324/wd.01

Michael Gergich Consulting Engineer
Structural and Civil Engineer



June 16 2005

The General Manager
Pittwater Council
5 Vuko Place
WARRIEWOOD 2102

Dear Sir

*re Alterations and Additions at 13 Kariboo Close, Mona Vale
for Ms K Spence*

I certify that the existing structure is capable of supporting additional first floor loads as shown on Council approved Architectural Drawings.

Should you require any further information, please do not hesitate to contact me.

Yours faithfully

MICHAEL GERGICH

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0286/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	22 JUL 2005

Michael Gergich Consulting Engineer

Structural and Civil Engineer

The General Manager

Pittwater Council

5 Vuko Place

WARRIEWOOD 2102

June 16 2005



re Alterations and Additions at 13 Kariboo Close, Mona Vale for Ms K Spence

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CG 0286/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	22 JUL 2005

SOIL CONSERVATION NOTE:

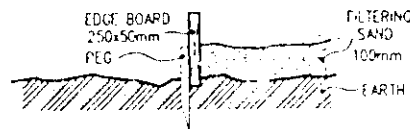
- PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE', 'SEDIMENT TRAP' AND WASH-OUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.
- MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP' AFTER EACH STOP.

'SEDIMENT TRAP'

- 500mm x 500mm WIDE 300mm DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.

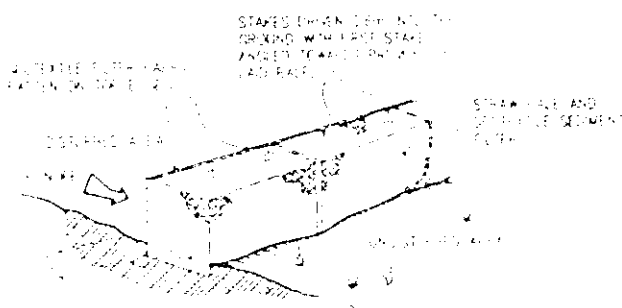
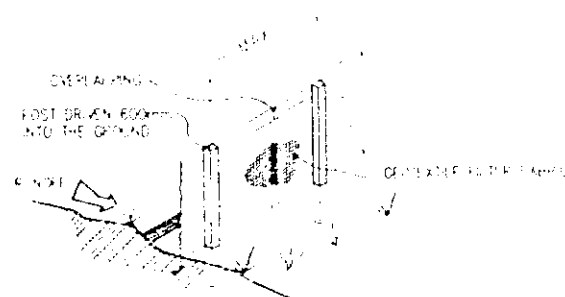
'WASH-OUT AREA'

- TO BE 1300mm x 1500mm ALLOCATED FOR THE WASHING OF TOOL & EQUIPMENT



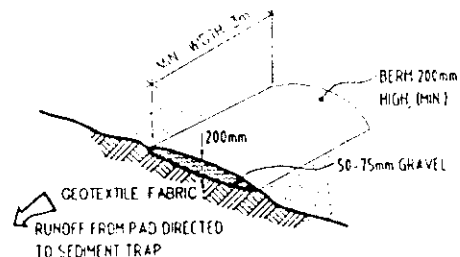
'SEDIMENT FENCE'

- PROVIDE 'SEDIMENT FENCE' ON DOWNSLOPE BOUNDARY AS SHOWN ON PLAN. FABRIC TO BE BURIED BELOW GROUND AT LOWER EDGE.



'VEHICLE ACCESS TO SITE'

- VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



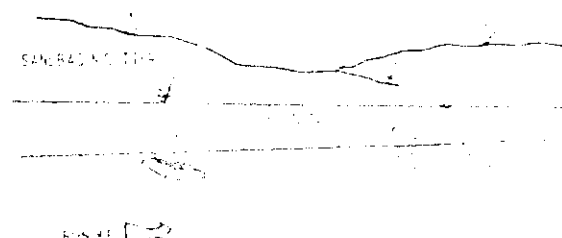
'BUILDING MATERIAL STOCKPILES'

- ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.
- THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



'SANDBAG KERB SEDIMENT TRAP'

- IN CERTAIN CIRCUMSTANCES EXTRA PROTECTION MAY BE NEEDED IN THE STREET GUTTER.



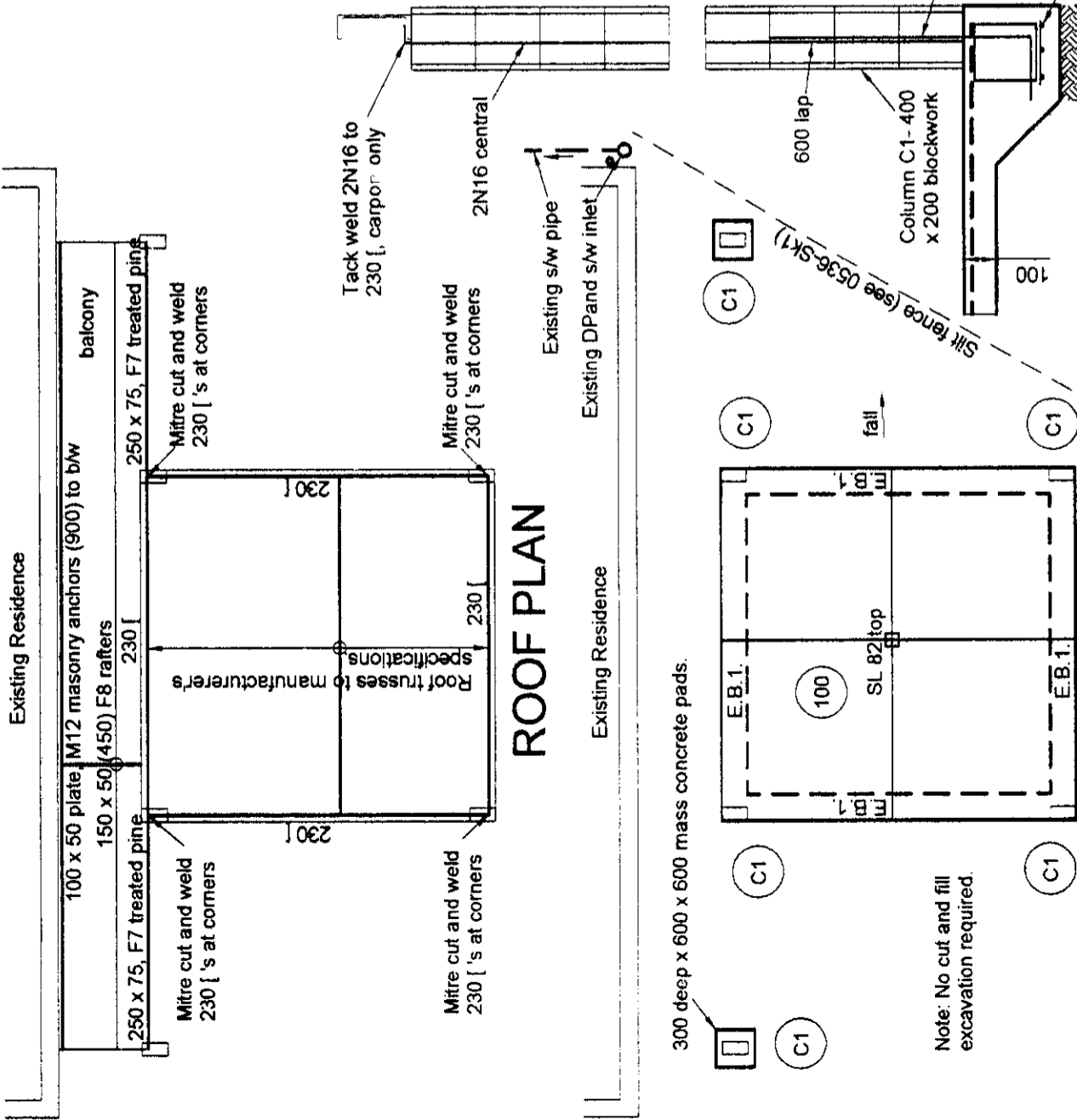
Drawing No 0536-Sk1

Michael Gergich

M. Gergich B.E. (U.N.S.W.), M.I.E. Aust., NPER (Structural & Civil)

GENERAL
G1. These drawings shall be read in conjunction with all architectural and other consultants' drawings and specifications and with each other with instructions as may be issued during the course of the contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.
G2. All materials and workmanship shall be in accordance with the relevant and current SAA codes and with the By-Laws and Ordinances of the relevant building authorities except where varied by the project specification.
G3. All dimensions shown shall be verified by the builder on site. Engineer's drawings shall not be scaled for dimensions.
G4. During construction the structure shall be maintained in a stable condition and no part shall be overstressed. Temporary bracing shall be provided by the builder to keep the works and excavations stable at all times.

FOUNDATIONS
F1. Footings have been designed for an allowable bearing pressure intensity of 150 kPa. The foundation material shall be approved by the Engineer for this pressure before placing reinforcement of concrete.
F2. Footings shall be located centrally under walls and columns unless noted otherwise.
F3. All organic material, soft spots, top soil and any other deleterious material shall be removed from under footings and slabs. Proof roll ground with vibrating roller and replace any soft spots with good fill. Backfilling to footing excavation and sub bases to slabs on ground must consist of approved material compacted in 150mm thick layers to at least 85% modified Australian compaction.



CONCRETE

C1. All workmanship and materials shall be in accordance with AS 3600 current edition with amendments, except where varied by the contract documents.
C2. Concrete Quality:
All the requirements of the ACSE Concrete Specification Document 1 shall apply to the formwork, reinforcement and concrete unless noted otherwise.

Element	1°C MPa (28 days)	Slump	Max. agg. size	Cement type
FOOTINGS	25	80	20	SL
ALL CONCRETE U.N.O.	32	80	20	SL

Plan/Project control testing shall be carried out in accordance with AS 3600.
C3. No admixture shall be used in concrete unless approved in writing.
C4. Clear concrete cover in mm to all reinforcement shall be as follows unless shown otherwise.

Exposure classification to AS 3600	Cast against formwork			Cast against ground
	Interior	Exterior	In contact with ground	
A1	20	30	30	40
A2	20	30	30	40
B1	20	40	40	50
B2	20	45	45	55

Exposure classification for exterior concrete - B1.
All reinforcement shall be firmly supported on mild steel plastic tipped chairs, plastic chairs or concrete chairs at not greater than 1 metre centres both ways. Bars shall be tied at alternate intersections. In exposure conditions greater than B1 use only plastic chairs.

C5. Concrete sizes shown do not include thicknesses of applied finishes.

C6. Depths of beams are given first and include slab thickness.

C7. For channellers, drip grooves, reglets, etc., refer to Architects details, maintain cover to reinforcement at these details.

C8. No holes, chases or embedment of pipes other than those shown on the structural drawings shall be made in concrete members without the prior written approval of the Engineer.

C9. Construction joints where not shown shall be located to the approval of the Engineer.
C10. The finished concrete shall be a dense homogeneous mass, completely filling the formwork thoroughly embedding the reinforcement and free of stone pockets. All concrete including slabs on ground and footings shall be compacted with mechanical vibrators.

C11. Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days, and prevention of loss of moisture for a total of 7 days followed by a gradual drying out. Approved sprayed on curing compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.

C12. Construction support propping is to be left in place where needed to avoid overstraining the structure due to construction loading. No masonry or partition walls are to be constructed on suspended levels until all propping is removed and the member has absorbed its dead load deflection.

C13. The Engineer shall be given 48 hours notice for reinforcement inspection and concrete shall not be delivered until final approval is obtained.

C14. Conduits, pipes etc., shall only be located in the middle one third of slab depth and spaced at not less than 3 diameters.

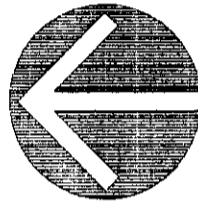
C15. Reinforcement symbols:
S Denotes G side 230 S Hot Rolled Deformed Bars to AS 1302
Y Denotes R side 410 Y Bars to AS 1302 Grade Y
R Denotes G side 230 R Hot Rolled Plain Bars to AS 1302
F Denotes Hard-Drawn Wire Reinforcing Fabric to AS 1304
The figures following the symbol are the number of millimetres in the bar diameter. The figures following the fabric symbol F is the reference number for fabric to AS 1304.

C16. Reinforcement is represented diagrammatically and not necessarily in true projection.

C17. Splices in reinforcement shall be made only in positions shown or otherwise approved in writing by the Engineer. Laps shall be in accordance with AS 3600 and not less than the development length for each bar.

C18. Fabric reinforcement shall have splices made so that the overlap, measured between the outermost transverse wires of each sheet of fabric, is not less than spacing of those wires plus 50mm.
C19. Welding of reinforcement shall not be permitted unless shown on the structural drawings or approved by the Engineer.
C20. Joggles to bars shall be 1 bar diameter over a length of 12 bar diameters.
C21. Bundled bars shall be tied together at 30 bar diameter centres with three wraps of tie wire.
C22. Where transverse tie bars are not shown provide Y12 at 300mm spaced where necessary and lap with main bars 300mm U.N.O.

2N24 central starters



RF11TM Trench Mesh (3 wires) bottom.
R6 (450) ties.

EDGE BEAMS E.B.1.

Slab to be 100 thick. Provide Fortecor membrane under slab over 20 sand.

MASONRY WALLS

M1. All workmanship and materials shall be in accordance with AS 3700.
M2. Strengths of masonry units and type of mortar shall be as follows:

Element	Fv/c MPa	Mortar C:L:S
Bridework Blockwork	20 Grade 15	1:0.5:4.5 1:0.25:3

Core filling grout to have a characteristic strength of 20MPa.

M3. Mortar admixtures shall not be used without the written approval of the Engineer.

M4. Masonry walls supporting slabs and beams shall have a pre-grouted two layer galvanised steel slip joint between concrete and masonry unless noted otherwise.

M5. All masonry walls supporting or supported by concrete floors shall be provided with vertical joints to match any control joints in the concrete.

M6. Non load bearing walls shall be separated from concrete above by 12mm thick closed cell polyethylene strip.

M7. No chases or recesses are permitted in load bearing and structural masonry without the written approval of the Engineer.

M8. All load bearing and structural masonry shall be laid on full beds of mortar and all perpendics shall be solidly filled with mortar.

M9. Provide vertical control joints at 10m maximum centres, and 5m maximum from corners in masonry walls.

TIMBER

T1. All timber design, construction and material to AS 1720.1 and AS 1720.2 U.N.O.

T2. AS 1684 shall be applied to domestic construction in sheltered locations.

T3. Softwood to be minimum grade F7 U.N.O. Hardwood to be minimum grade F14

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0286/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	22 JUL 2005

MG Michael Gergich Consulting Engineer
Structural and Civil Engineer
3 Edgecliffe Esplanade,
Seaford N.S.W. 2092
Telephone: 9949 7378



For
MRS K SPENCE

Project
**PROPOSED CARPORT &
BALCONY EXTENSION AT
13 KARIBOO CLOSE
MONA VALE**

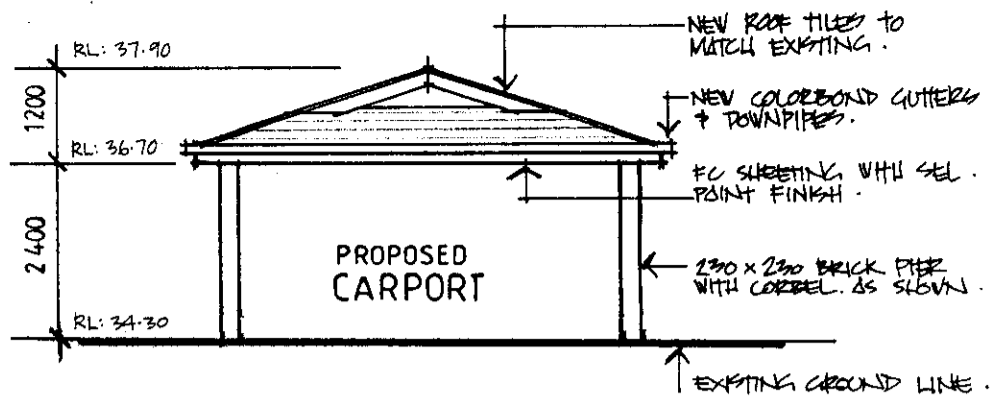
Date
9.6.05

Scales
1:100, 1:20

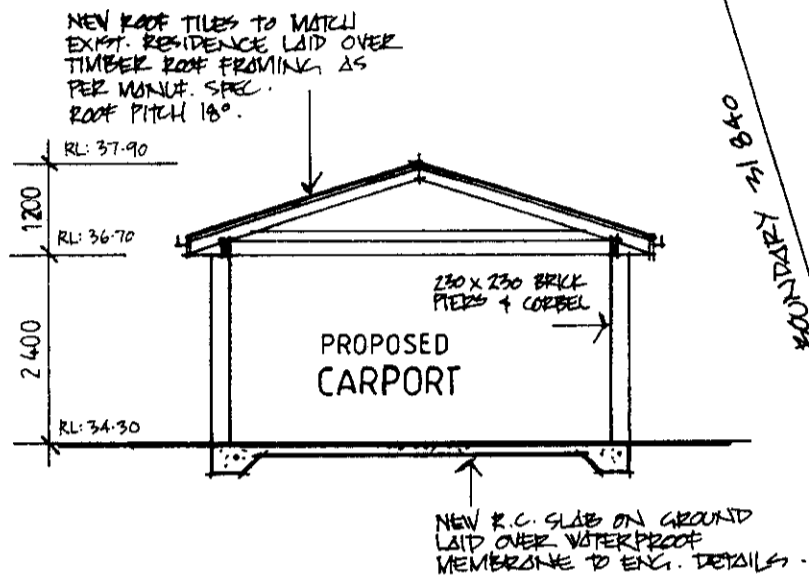
Approved
Michael Gergich

Drawing No
0536

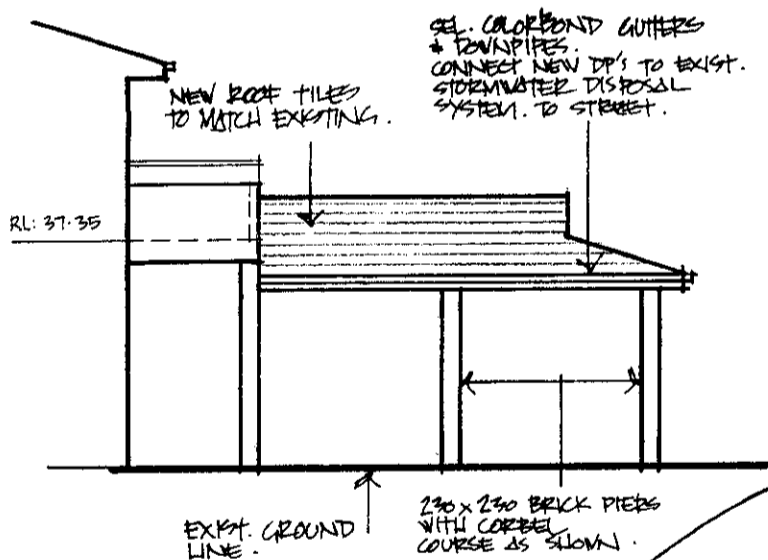
B.E. M.I.E. Aust. (NPE & Structural)



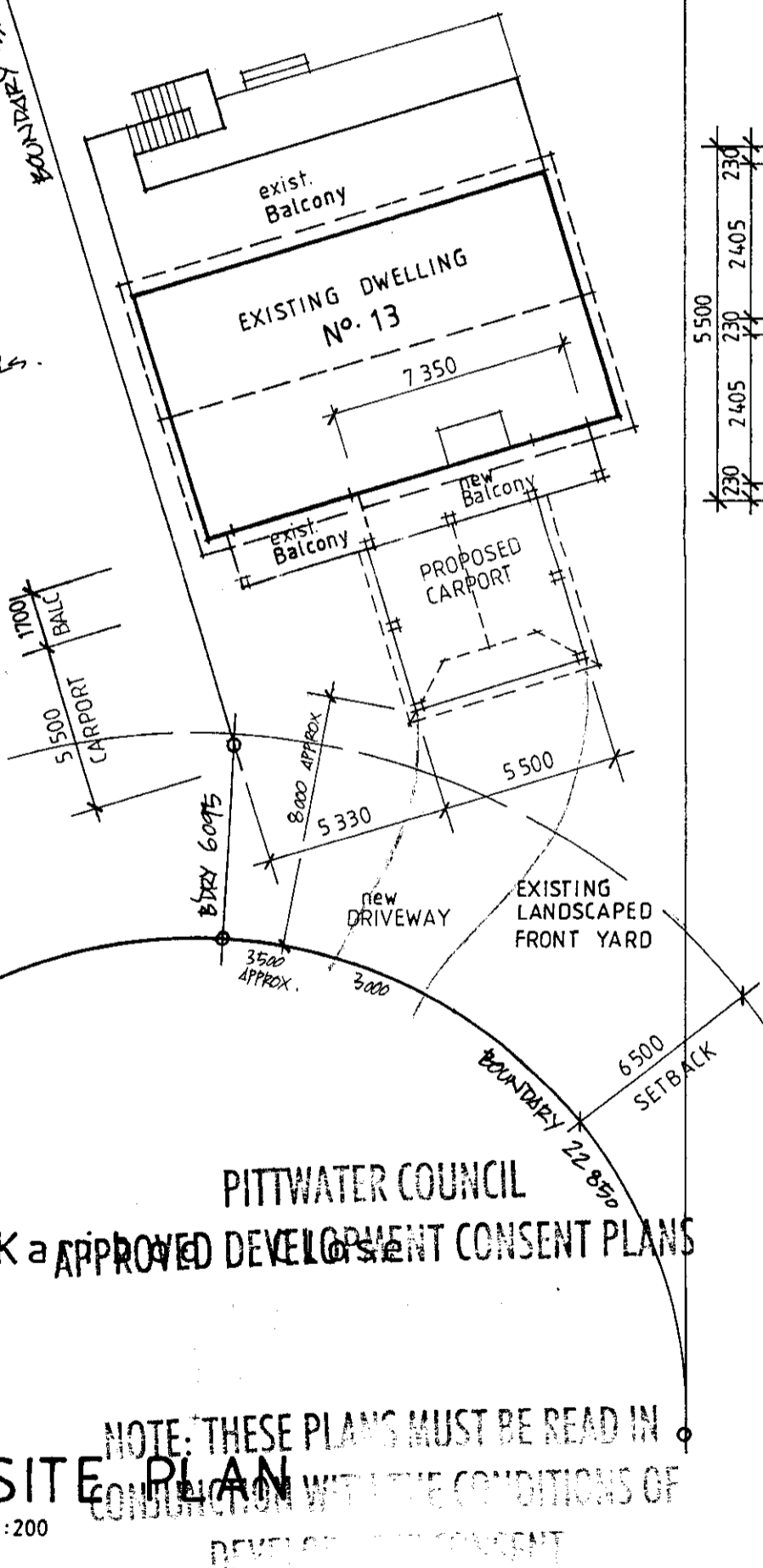
FRONT ELEVATION
TO KARIBOO CLOSE
1:100
SOUTH EAST ELEV.



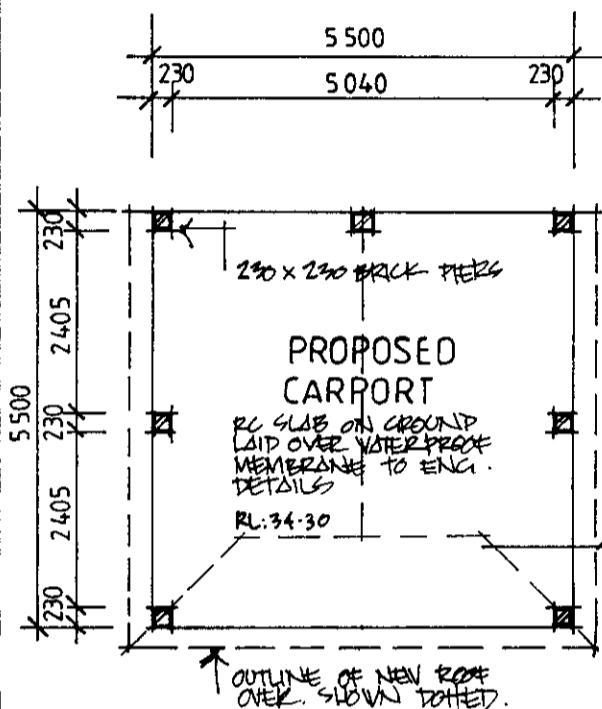
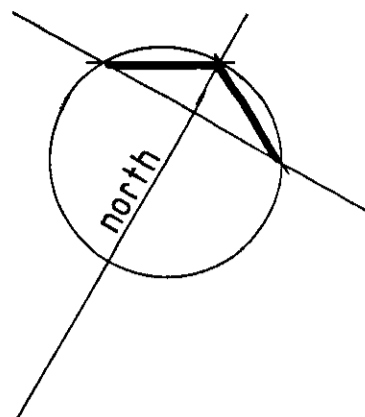
SECTION A-A
1:100



SIDE ELEVATION
1:100
SOUTH WEST ELEV.



SITE PLAN
1:200
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



FLOOR PLAN
1:100

General Notes

All work to be carried out in a tradesmanlike manner and in accordance with the standards, codes and regulations of the Standards Association of Australia, Building Code of Australia and any statutory authority having jurisdiction over the works.

Builder is to check and confirm all necessary dimensions on site prior to construction. Do not scale drawings.

All timber construction to be in accordance with the 'Light Timber Framing' code.

Any detailing additional to that supplied, shall be resolved between owner and builder to owner's approval. Except for any structural details or design which is to be supplied by structural engineer.

Connect all stormwater to existing

All electrical power and light outlets to be determined by owner.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC 0256/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: [Signature]
Date: 22 JUL 2005

zavagliadesignstudio
ABN 24 292 958 837
SUITE 101/65B PITTWATER RD. BROOKVALE. 2100. 9939 1441.

Project: PROPOSED NEW CARPORT & EXTENSION OF EXISTING FRONT BALCONY.
Address: 13 KARIBOO CLOSE, MONA VALE. 2103. LOT 15 / DP 255359.
Client: MRS. K. SPENCE.

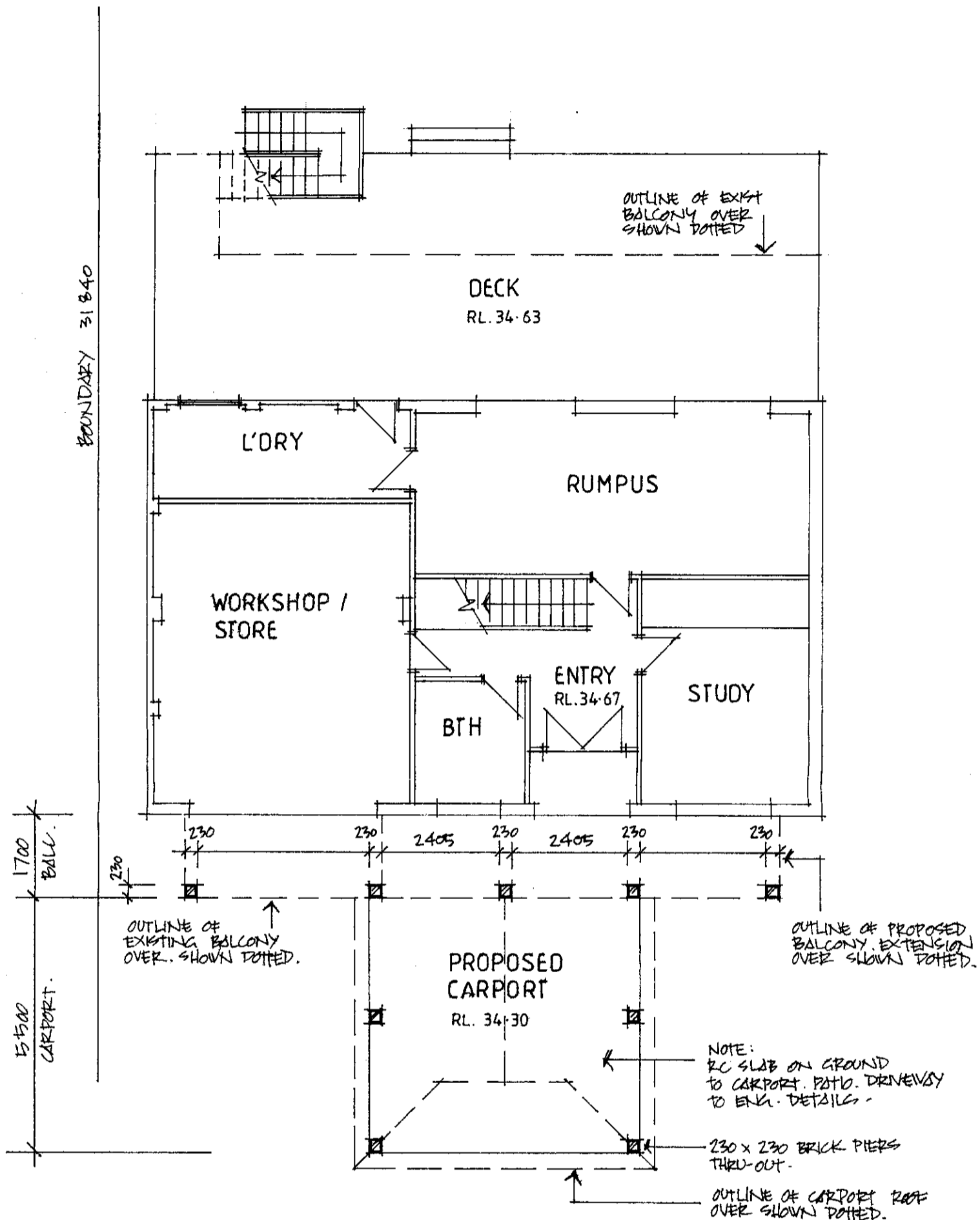
Date: FEB. 2005

Scale: 1:200 / 1:100.

Issue:

Drawing Number

0324/wd.01



PITTWATER COUNCIL
PROPOSED APPROVED DEVELOPMENT CONSENT PLANS
GROUND FLOOR PLAN

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0286105
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	22 JUL 2005

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

peterzavagliadesignstudio

ABN 24 292 958 837

SUITE 101/658 PITTWATER RD. BROOKVALE. 2100. 9939 1441.

Project: PROPOSED NEW CARPORT & EXTENSION
OF EXISTING FRONT BALCONY.

Address: 13 KARIBOO CLOSE, MOND VALE. 2103.
LOT 15 / DP 255359.

Client: MRS. K. SPENCE.

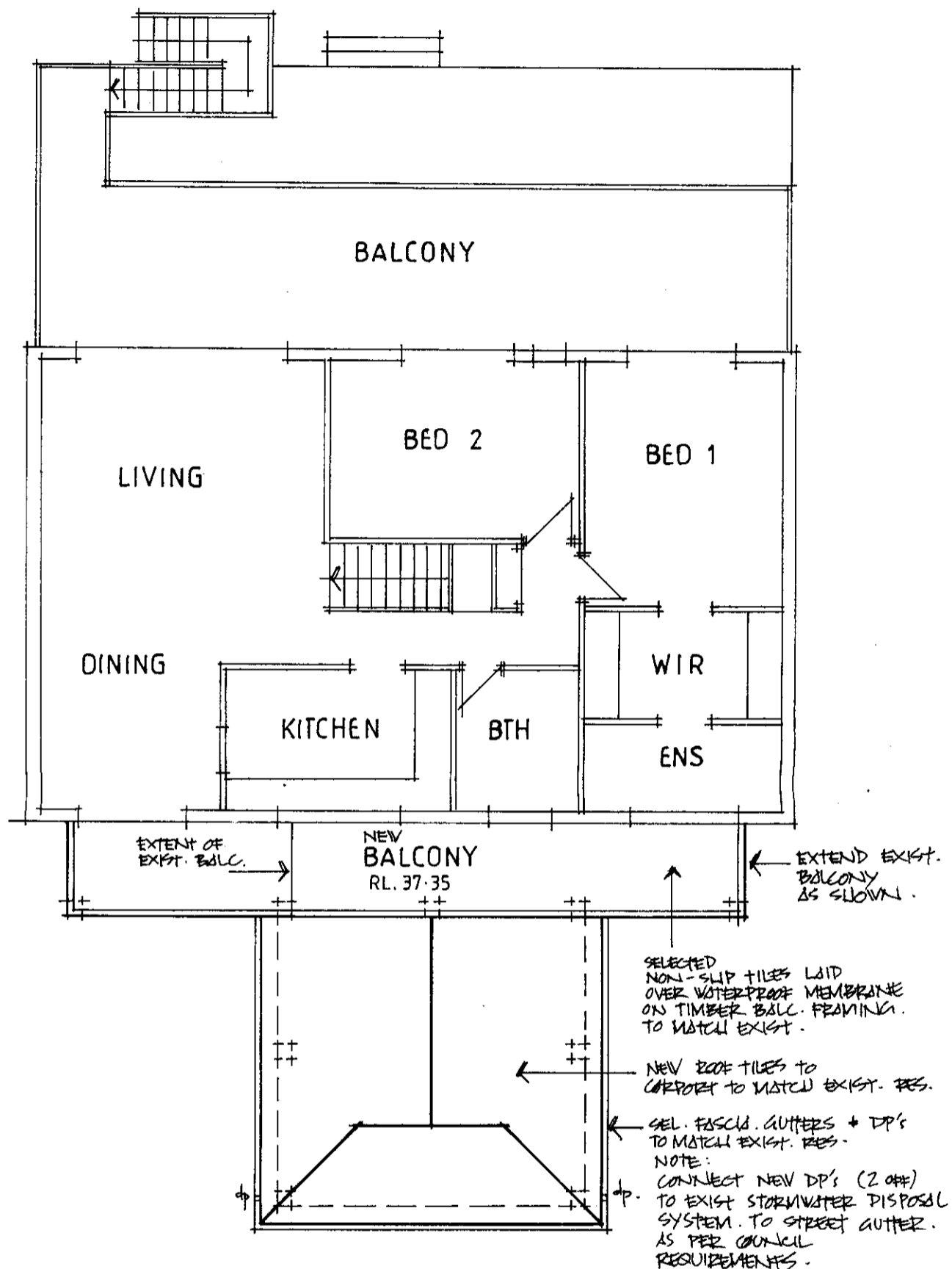
Date: FEB. 2005

Scale: 1:100

Issue:

Drawing Number

0324/wd.02



PITTWATER COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS
 PROPOSED FIRST FLOOR PLAN

NOTE: THESE PLANS MUST BE READ IN
 CONJUNCTION WITH THE CONDITIONS OF
 DEVELOPMENT CONSENT

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0286/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	22 JUL 2005

peterzavagliadesignstudio

ABN 24 292 958 837

SUITE 101/658 PITTWATER RD. BROOKVALE. 2100. 9939 1441.

Project: PROPOSED NEW CARPORT + EXTENSION OF EXISTING FRONT BALCONY.

Address: 13 KARIBOO CLOSE, MONA VALE. 2103. LOT 15 / DP 255359.

Client: MRS. K. SPENCE.

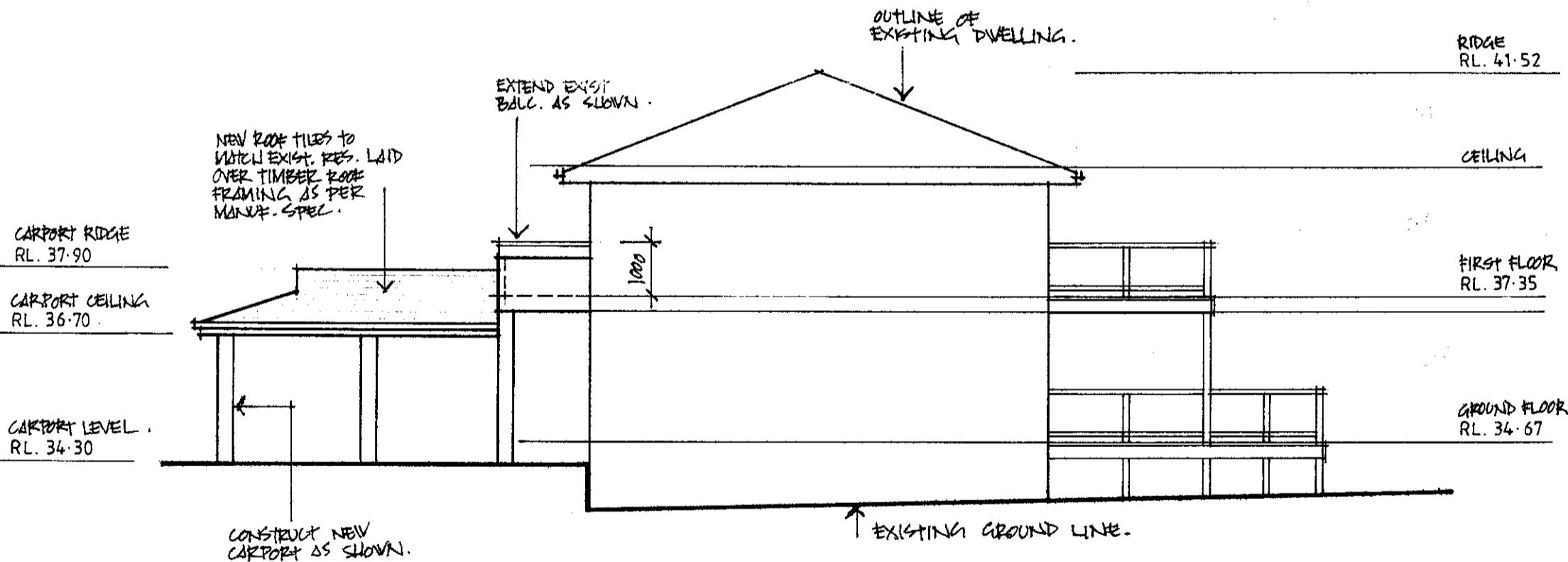
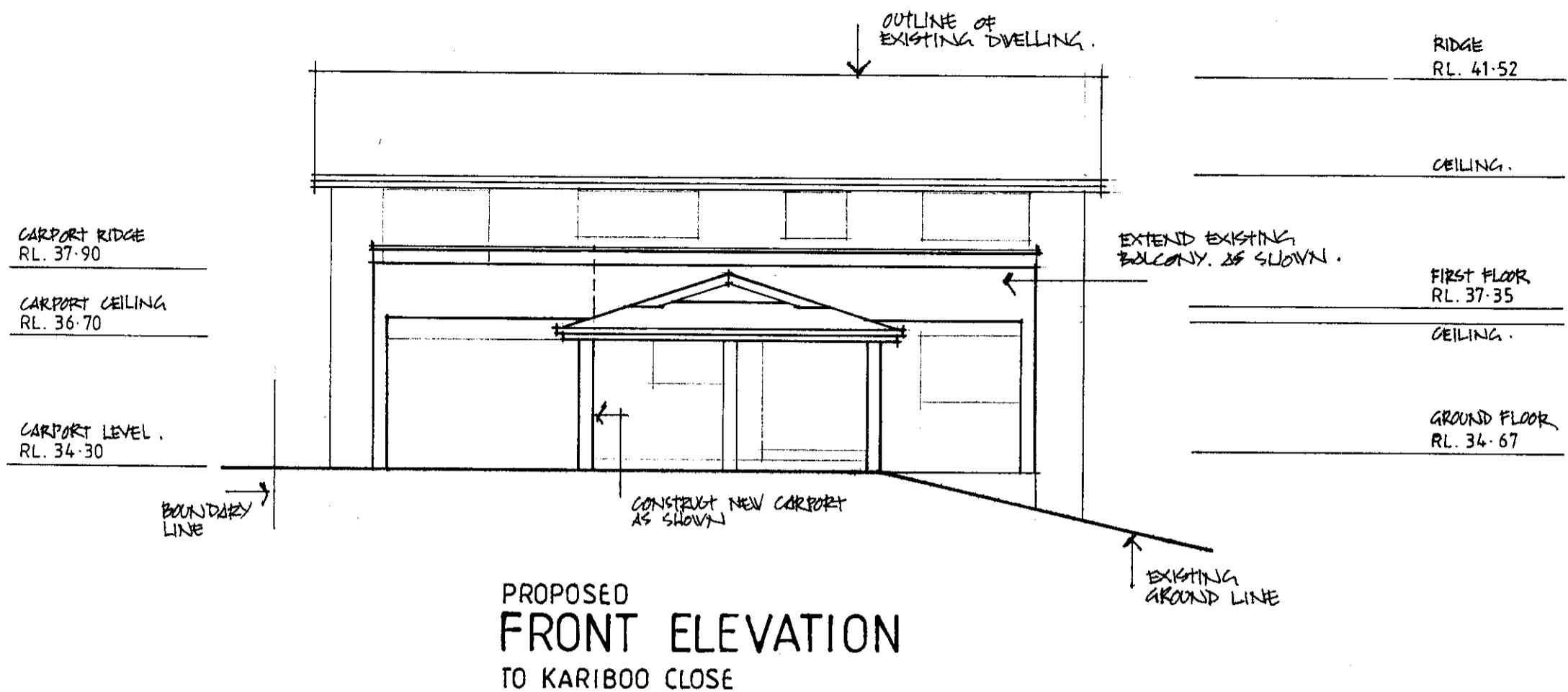
Date: FEB. 2005

Scale: 1:100

Issue:

Drawing Number

0324/wd.03



**PROPOSED
NORTH EAST ELEVATION**

**PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS**

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0286/05
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Endorsed by:	
Date:	22 JUL 2005

**NOTE: THESE PLANS MUST BE READ IN
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DEVELOPMENT CONSENT**

peterzavagliadesignstudio

ABN 24 292 958 837

SUITE 101/658 PITTWATER RD. BROOKVALE. 2100.

9939 1441.

Project: PROPOSED NEW CARPORT * EXTENSION OF EXISTING FRONT BALCONY.

Address: 13 KARIBOO CLOSE, MONA VALE. 2103. LOT 15 / DP 255359.

Client: MRS. K. SPENCE.

Date: FEB. 2005

Scale: 1:100

Issue:

Drawing Number

0324/wd.04

SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water service may only be made following the issue of a permit to a licensed plumber/drainier.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3427318

Reece, Brookvale,
Quick Check Agent on behalf of
SYDNEY WATER

Per: Reece 28.6.05



Pittwater Council
PO Box 882
Mona Vale NSW 1660
Tel: (612) 9970 1111
Fax: (612) 9970 7150

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979 sections 81A
(2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works.

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent.
Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Applicant's Checklist

- Read this document ☐
- Complete pages 1, 2 & 3 ☐
- Sign on page 8 ☐
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate. ☐

Payment of fees

- At the time of submitting this form to Pittwater Council a fee is to be paid in accordance with the following fee structure, current to 30 June 2006.

Value of Development	Total Fee (including GST)	
	Domestic (class 1 & 10) (Code: HIND)	Commercial (Code: HINC)
\$0 - \$5,000	\$92.00	\$161.00
\$5,001 - \$100,000	\$235.00	\$305.00
\$100,001 - \$250,000	\$376.00	\$430.00
\$250,001 and over	\$484.00	
\$250,001 - \$500,000		\$590.00
\$500,001 - \$1,000,000		\$740.00
\$1,000,001 and over		Fee on application

- Critical Stage Inspection fees (refer to Part 6e of this form) maybe paid at the time of booking the inspection or a delayed payment until the request for either an Interim or Final Occupation Certificate.

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Date of receipt:	Receipt No:	Amount Paid:	Accepted by:
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1. DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No: NO176/05	Determination Date: 23 MAY 2005
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1b) CONSTRUCTION CERTIFICATE

Construction Certificate No: CCO286/05	Date of Issue: 22 JULY 2005
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1c) DEVELOPMENT DETAILS

Type of Work: <input type="checkbox"/> New Building <input type="checkbox"/> Additions / Alterations <input type="checkbox"/> Subdivision	Brief description of development:
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1d) SITE DETAILS

Unit/Suite:	Street No: 13	Street: KARIBOO CLOS6
Suburb: MONA VALE	Lot No:	Deposit /Strata Plan:

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works: \$

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works.
Date of commencement:

2. APPLICANT DETAILS

Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Name (owner):	
Postal Address:	Phone (H/B): Mobile: Email: Fax:

3. **PRINCIPAL CERTIFYING AUTHORITY**

PITTWATER COUNCIL

PO Box 882
Mona Vale NSW 1660

Ph: 9970 1111
Fax: 9970 7150

4. **COMPLIANCE WITH DEVELOPMENT CONSENT**

Have all conditions to be addressed prior to the commencement of works been satisfied?

☐ YES

☐ NO (see Note below)

Note: If NO work must not commence.

Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended). Penalties may include an on-the-spot fine and/or legal action.

If you are uncertain as to these requirements please contact Council's Development Compliance Group.

5. **WHO WILL BE DOING THE BUILDING WORKS?**

☐ Owner Builder

Owner Builders Permit No:

Copy of Owner Builders permit
attached:

☐ YES

If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222.

OR

☐ Licensed Builder

Builder's License Number

Name of Builder:

Phone:

Contact person:

Mobile:

Address:

Fax:

Insurance Company:

Insurance Certificate attached:

☐ Yes

☐ No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000.

If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application.

6. RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service:

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct.

6b) Site Signage:

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA.

6c) Inspections:

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections.

6d) Critical Stage and other inspections:

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box).

Note: Council's Development Compliance Officer will complete this section of the form.

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- ☐ Footing Inspection (prior to placement of concrete)
- ☒ Slab and other Steel Inspection (prior to placement of concrete)
- ☒ Frame Inspection (prior to fixing floor, wall & ceiling linings)
- ☐ Wet Area Waterproofing Inspection (prior to covering)
- ☒ Stormwater Inspection (prior to backfilling of trenches)
- ☐ Swimming Pool Safety Fence Inspection (prior to placement of water)
- ☒ Final Inspection (all works completed and prior to occupation of the building)

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Note: Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable.

Eg: If two slabs are prepared at separate times, two separate inspection bookings and fees are required.

6e) Critical Stage and other inspection fees:

An inspection fee is required for each inspection identified in Part 6d of this form.

A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required.

Each inspection fee may be paid at the time of requesting an inspection or delayed for payment with the request for either an Interim or Final Occupation Certificate.

Critical Stage or other Inspection Fee Scale current to 30 June 2006

(Code: HINR)

Value of Development	Fee per Inspection
\$0 - \$100,000	\$150
\$100,001 and over	\$250

Final Inspection Fee Scale current to 30 June 2006

(Code:FOCC)

Type of Development	Interim Occupation Certificate	Final Occupation Certificate
Domestic (Class 1 and 10 buildings)	\$270	\$270
Commercial (Class 2 – 9 buildings)	\$325	\$325

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate.

6f) Inspection Results:

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection.

7. RESPONSIBILITIES OF THE APPLICANT

7a) Inspections:

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement.

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid.

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement.

7b) Booking of Inspections:

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on 9970 1300. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection.

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number.

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement.

7c) Site Signage:

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed.

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display: (a) the name, address and telephone number of the person; (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited".

7d) Compliance with the Development Consent and Construction Certificate:

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979.

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation.

Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings.

7e) Structural Engineering and Other Specialist Details:

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards:

Note: Council's Development Compliance Officer will complete this section of the form.

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- ☐ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☒ Details of compliance with development consent conditions



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7f) Certification of Works:


To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out.

Each certification must:

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings.
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council.

Note: Council's Development Compliance Officer will complete this section of the form.

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- ☐ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
 - ☐ Shoring and support for adjoining premises and structures by a structural engineer
 - ☐ Contiguous piers or piling by a structural engineer
 - ☐ Underpinning works by a structural engineer
 - ☐ Structural engineering works by a structural engineer
 - ☐ Retaining walls by a structural engineer
 - ☐ Stormwater drainage works by a hydraulic engineer and surveyor
 - ☐ Landscaping works by the landscaper
 - ☐ Condition of trees by an Arborist
 - ☐ Mechanical ventilation by a mechanical engineer
 - ☐ Termite control and protection by a licensed pest controller
 - ☐ Waterproofing of wet areas by a licensed waterproofer or licensed builder
 - ☒ Installation of glazing by a licensed builder
 - ☒ Installation of smoke alarm systems by a licensed electrician
 - ☐ Completion of construction requirements in a bush fire prone area by a competent person
 - ☐ Completion of requirements listed in the BASIX Certificate by a competent person
 - ☐ Fire resisting construction systems by a competent person
 - ☐ Smoke hazard management systems by a competent person
 - ☐ Essential fire safety and other safety measures by a competent person (Form 15a)
 - ☐ Completion of Bushland Management requirements by a suitably qualified person.
 - ☐ Installation of Waste Water Management System by a suitably qualified person
 - ☐ Installation of the inclined lift by a suitably qualified person
 - ☐ Installation of sound attenuation measures by an acoustic engineer
- 
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7g) Occupation Certificate:

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements:

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8. YOUR SIGNATURE

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature: Date:

9. COUNCIL'S AGREEMENT TO APPOINTMENT

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name: on behalf of Pittwater Council

Officer's signature: Date:

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council to act as the Principal Certifying Authority for the development.
Intended recipients:	Pittwater Council staff
Supply:	The information is required by legislation
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	Pittwater Council will store details of this form in a register that can be viewed by the public.
Retention period:	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	