

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

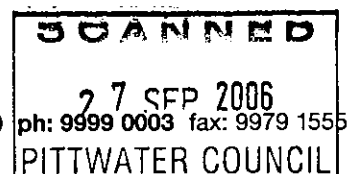
Certificate No. 2006/1586

Council	Pittwater
Determination date of determination	Approved 27 September 2006
Subject land Address Lot No, DP No.	19 Waterview Street, Mona Vale Lot G, DP 396772
Applicant Name Address Contact No. (phone)	Mr G Vick 19 Waterview Street, Mona Vale NSW 2103 0414 496 972
Owner Name Address Contact No. (phone)	Mr Graham Vick 19 Waterview Street, Mona Vale NSW 2103 0414 496 972
Description of Development Type of Work	Alterations & Additions to an existing dwelling
Builder or Owner/Builder Name Contractor Licence No/Permit	Graham Vick Owner Builders Permit No. 312817P
Value of Work Building	\$130,000.00
Attachments	1. Copy of completed Construction Certificate application form 2. Pittwater Council's receipt no. 200769 for payment of Long Service Levy.

Suite 13/90 Mona Vale Road, Mona Vale NSW 2103 PO Box 326 Mona Vale NSW 1660

email: info@insightcert.com.au ABN 54 115 090 456

Receipt No 202265 \$30 27/9/06



Plans & Specifications
certified


List plans no(s) & specifications
Reference

1. Architectural Details (including Erosion & Sediment Management Plan) and Construction Specifications reference no. 2613-DA01, DA 02, DA03 and DA04 prepared by Stephen Crosby & Associates Pty. Limited dated June 2006.
 2. Stormwater Plan reference no. 2613-DA05 certified by Jack Hodgson Consultants Pty. Limited reference no. VR 23940C dated 21 September 2006.
 3. Certificate of Structural Adequacy reference no. VR 23940B issued by Jack Hodgson Consultants Pty. Limited dated 21 September 2006.
 4. Structural Details (Footing Detail) Sheets 1 & 2, endorsed by Jack Hodgson Consulting Engineers dated 22 September 2006
-

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the Environmental Planning and Assessment Act 1979.

Signed
Date of endorsement
Certificate No.


27 SEP 2006
2006/1586

Certifying Authority

Name of Accredited Certifier

Accreditation No.

Accreditation Authority

Contact No.

Address

Tom Bowden

93

Department of Planning
(NSW Accreditation Scheme)

(02) 9999 0003

13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.

Date of Determination

DA 421/06

1 September 2006

BCA Classification

1a.

Pittwater Council
ABN: 61340837871

TAX INVOICE OFFICIAL RECEIPT

7/09/2006 Receipt No 200769

To GRAHAM HARRY VICK

19 WATERVIEW ST
MONA VALE

Qty/
Applic Reference Amount

GL Rec 1	QLSL-Buil	\$448.00
	1 X 19 WATERVIEW STREET	
1	COGST-CCa	\$4.07
GL Rec 1		
	GST	\$0.41
GL Rec		
To GL Receipt:		

Total Amount: \$452.48
Includes GST of: \$0.41

Amounts Tendered

Db/Cr Card	\$452.48
Total	\$452.48
Rounding	\$0.00
Change	\$0.00
Nett	\$452.48

Printed 7/09/2006 3:10:32 PM
Cashier KWay

LEVY PAYMENT FORM

FORM NO.

OFFICE USE ONLY

ORGANISATION LIABLE TO PAY LEVY

PLEASE PRINT ALL DETAILS USING CAPITALS

K
F A M H A R R Y
2 1 0 3

W A T E R V I E W S T
M O N A V A L E

Postcode 2103 Bus. hours phone 0414496972

LOCATION WORK

W A T E R V I E W S T
M O N A V A L E

Postcode 2103
042006 Estimated finish date 31 M 04 Y 2007

ed by consenting/certifying authority with whom plans lodged for approval

W A T E R
1/06
128,006.00 Levy payable \$ 448.00

DA number here

Date D M Y

Business hours phone

pt/Authority where applicable - see reverse

Contract amount \$ 00

Contact person (Print)

Phone number

Contact person (Signature)

Date D M Y

PART E - DECLARATION - To be signed by person liable to pay levy or authorised officer if company/organisation.

Any false or misleading information provided on this form may result in prosecution under Section 58A.
I hereby declare that the information provided on this form is true and correct to the best of my knowledge

Name GRAHAM VICK Signature Date 20 M 07 Y 2007

PART F - TO BE COMPLETED WHERE APPLICABLE - SEE REVERSE

Exemption Approval Certificate No.

Building and Construction Industry Long Service Payments Corporation, Locked Bag 3000, Central Coast MC NSW 2252
ABN 93 646 090 808

APPLICATION FOR A CONSTRUCTION CERTIFICATE

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible

Mr ☒ Mrs ☐ Ms ☐ Dr ☐ Other

Given Names (or ACN)

Family Name (or Company)

GRAHAM HARRY

VICK

Postal Address (we will post all mail to this address)

19 WATERVIEW ST

MONA VALE

Post Code 2103

Daytime telephone

Alternate no.

Mobile no.

0414 496 972

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Body Corporate or the appointed managing agent.

Owner(s)

GRAHAM HARRY VICK

REBECCA EMILY VICK

Address

19 WATERVIEW ST

MONA VALE 2103

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

[Signature]

[Signature]

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg, power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no.

Street name

19

WATERVIEW ST

Suburb

MONA VALE

Post code

2103

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no.

DP no.

G

396772

COUNCIL COPY

4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved.

EXTENSION TO EXISTING BUILDING COMPLETING
GROUNDFLOOR - 2 BEDROOMS 1 BATH 1 STUDY
ENTRANCE HALLWAY + 1ST FLOOR SUN ROOM

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work \$ 130 000

6. Development Consent

Council Consent no. 421/06

Date of Determination 1-9-2006

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification 1a.

8. Builder's details

If known, to be completed in the case of residential building work

Name Graham Vick

License no. 312817P

Owner/builder permit no.

9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that all the information in this application and checklist is, to the best of my knowledge, true and correct.

Signature

Graham Vick

Date

7-9-2006

SUBMISSION REQUIREMENTS

A. GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes ☒ No ☐

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes ☐ No ☐

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION.

B. ALL PROPOSALS (has the following required information been submitted?)

Yes No Not
 Applicable

In the case of an application for a Construction Certificate for building work:

☒ ☐ ☐
☐ ☐ ☐

Three (3) copies of detailed architectural plans and specifications

The plan for the building must consist of a general plan drawn to a scale not less than 1:100 and a site plan drawn to a scale not less than 1:200. The general plan of the building is to:

- a) show a plan of each floor section
- b) show a plan of each elevation of the building
- c) show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- d) indicate the height, design, and full construction details
- e) indicate the provision for fire safety and fire resistance (if any)

☒ ☐ ☐

Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building, all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration, addition or rebuilding with a separate letter listing the proposed changes being submitted.

☒ ☐ ☐

3 copies of a specification:

- a) to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
- b) state whether the materials proposed to be used are new or second hand and give particular

☒ ☐ ☐

Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification.

☒ ☐ ☐

If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent, has the original Development Consent been modified by Council?

☐ ☐ ☒

Except in the case of an application for, or in respect of domestic building work:

- a) a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and
- b) if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. This list must specify the standard of design of each of those fire safety measures to which they were originally installed.
- c) This list must describe the extent, capability and basis of design of each of the measures concerned.

☐ ☐ ☒

Copy of BASIX Certificate & Report.

☒ ☐ ☐

All other documentation to satisfy conditions of Development Consent.

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12,000 require insurance as specified in the Home Building Act 1989.

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5,000. In addition to this permit all projects valued in excess of \$12,000 may also require a contract of insurance under the provisions of the Home Building Act 1989 as amended. This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years.

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21, Astra House, 227 Elizabeth Street, Sydney (ph: 133220).

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25,000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be address to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID, OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)? 1353.	Gross floor area of building (m ²) as proposed: 240.
What are the current uses of all or parts of the building(s)/land? Residential	Location: Use: Residential
Does the site contain a dual occupancy? No	What is the gross floor area of the proposed addition or new building (sq metres)? 117m².
What are the proposed uses of all parts of the building(s) land? Residential	Number of pre-existing dwellings: 1
Number of dwellings to be demolished: NIL.	How many dwellings proposed? 1
How many storeys will the building consist of? 2.	Will the new building be attached to the existing building? Will the new building be attached to any new building?

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics:

Place a tick (✓) in the box which best describes the materials the new work will be constructed of:

WALLS		FLOOR		ROOF		FRAME	
Brick veneer	<input type="checkbox"/>	Concrete	<input type="checkbox"/>	Aluminium	<input type="checkbox"/>	Timber	<input checked="" type="checkbox"/>
Full brick	<input type="checkbox"/>	Timber	<input checked="" type="checkbox"/>	Concrete		Steel	<input type="checkbox"/>
Single brick	<input type="checkbox"/>	Other	<input type="checkbox"/>	Concrete tile	<input type="checkbox"/>	Other	<input type="checkbox"/>
Concrete block	<input type="checkbox"/>	Unknown	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Concrete/masonry	<input type="checkbox"/>			Fibreglass	<input type="checkbox"/>		
Concrete	<input type="checkbox"/>			Masonry/terracotta shingle	<input type="checkbox"/>		
Steel	<input type="checkbox"/>			Tiles	<input type="checkbox"/>		
Fibrous cement	<input type="checkbox"/>			Slate	<input type="checkbox"/>		
Hardiplank	<input checked="" type="checkbox"/>			Steel	<input checked="" type="checkbox"/>		
Timber/weatherboard	<input checked="" type="checkbox"/>			Terracotta tile	<input type="checkbox"/>		
Cladding-aluminium	<input type="checkbox"/>			Other	<input type="checkbox"/>		
Curtain glass	<input type="checkbox"/>			Unknown	<input type="checkbox"/>		
Other	<input type="checkbox"/>						
Unknown	<input type="checkbox"/>						

SPECIFICATION

for the construction of

Additions to Residence

for

G. & R. VICK

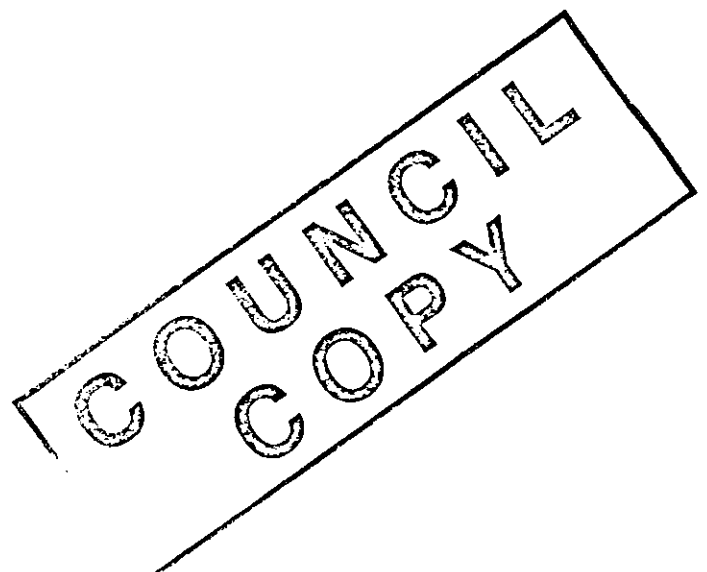
at

19 WATERVIEW STREET, MONA VALE

Stephen Crosby & Associates Pty. Ltd.

ARCHITECTS

DATE; SEPTEMBER 2006



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1. PRELIMINARIES

JOB:

Specification for additions to the existing house at;

No.19 Waterview Street, Mona Vale. Lot G DP 396772
For R & G Vick

GENERALLY:

The Builder shall comply with the Building Code of Australia and all Local Council rules and regulations applicable including Specific DA & CC conditions of this approval- refer appendix for DA conditions. The Builder shall give all notices, obtain all permits and pay all fees required by such authorities except as follows; Development Consent and Construction Certificate approval.

The works shall comprise the necessary demolition of parts of the existing building, the construction of the house additions, carport and decks, installation services with connection to existing water, stormwater and sewer lines.

DRAWINGS:

This specification is to be read in conjunction with the following drawings:

Architectural Plans	No.2613- DA01-DA04	S.Crosby & Assoc.
Stormwater drawing	No.2613- DA05	Endorsed by Jack Hodgson
Footing drawing	No.....	Jack Hodgson Cons.
Survey Drawing	Ref.M7121 (M2465)	
Sewer Daigram		

REPORTS:

The builder is to provide Compliance Certificates required by Council as shown on the DA Conditions of consent. The net cost of certificates from the Surveyor and Engineer will be met by the Proprietor.

Tree Assessment prepared by Julia Stanton dated July 2006

SCHEDULES:

Prime cost sums:

Section	Item	Amount
---------	------	--------

NIL

Nominated Separate Contracts:

Section	Item	Contractor
---------	------	------------

NIL

Section	Item	Installed/fitted by Builder
---------	------	-----------------------------

6. METALWORK	Toilet roll holders, towel rail, soap dish Door Furniture
9. PLUMBER	Bathroom PC items
14.ELECTRICAL	Light fittings
11 TILER	Bathroom wall & floor tiles.

The builder is to fix/install these item as part of the Contract.`

INSURANCE:

The Builder shall insure the works against fire and storm damage, and adequately insure against Public Risk and arrange indemnification in respect of his liability under the Workers Compensation Act of NSW.

TEMPORARY SERVICES:

The Builder may use toilet facilities on site for the duration of the works. Power and water are available to the builder at cost. Temporary phone service is to be provided by the builder.

2. SITE PREPARATION

SET OUT:

Refer to survey drawing for the location of existing building, trees and other site features.

The builder is to set out from the existing house in accordance with the Architectural and Survey drawings. Obtain building set-out, floor and ridge height certificates IF required in the DA Conditions of consent, from the surveyor.

DEMOLITION:

NIL

SITE PROTECTION:

Sediment fence required as per Site Plan- drwg 2613 - DA01

Install tree protection fences as required by Council DA conditions and as noted in the Tree report Figure 1, and Section 6.2.

EXCAVATION:

Excavate for pad and pier footings for piers & posts as shown on Structural Engineer's drawing. Structural Engineer to inspect excavations prior to placement of concrete if required.

TERMITE CONTROL:

Refer to Council DA Conditions for control of termites.

Termite inspection on completion- obtain a termite inspection certificate if required by DA Conditions.

3. SEWERAGE & DRAINAGE

SEWERAGE:

Connect new Bathroom to existing soil line to connect with existing sewer.

STORMWATER DRAINAGE:

Connect stormwater system downpipes to carry roof water to collection tank and detention tank in accordance with Stormwater Drawing 2613 - DA05.

Connect existing stormwater line to new disposal trench as shown on Stormwater Plan.

Refer to Roofer and Roof Plumbing Section for sizes of gutters and downpipes.

4. CONCRETE

FOOTINGS :

New pad and pier footings to Structural Engineer's requirements- refer Structural drawing No..... - S1. Footing excavations to be inspected by Engineer if required.

PAVERS :

New coloured concrete pavers to carport on sand bed. Edge pavers on mortar bed.

5. STRUCTURAL STEELWORK & METALWORK

POST STOOLS: Galv. mild steel post stools min. height 100mm for carport posts - 125 X 125 mm.

FLYSCREENS: Allow for ALL opening windows and external doors to have timber framed aluminium mesh flyscreens. Frames to match window frames.

BATHROOM FITTINGS:

Fit the following item supplied by the PROPRIETOR and fitted by the BUILDER

Bathroom :	Toilet roll holder
	Soap dish
	Towel rail

DOOR FURNITURE

Supplied by Builder

External glazed sliding doors: Flush pulls and deadlocks

Internal Doors: Passage latch set and handles.

Sliding Doors: Flush pulls.

Hinges: SS 1 1/2 pair 100mm - External doors.

SS 1 1/2 pair 75mm - Internal timber.

Door Stops: Skirting or floor stops to all hinged doors

6. CARPENTER & JOINER

PRELIMINARY:

Stack carefully and protect from the weather all timber prior to use.

FRAMING: All timber and tie downs requirements of to Light Timber Framing Code AS 1684.

FOOTINGS- concrete pad
STUMPS- Pine H4- 200x75 embedded
BEARERS- Paired 190x45 H3 pine F7
FLOOR JOISTS- 140x45 H3 pine. at 450 cnts.
DECKING JOISTS- as floor joists
CARPORT POSTS- 125x125 F7
VERANDAH POSTS- 90x90 F7
WALL FRAMING- 90x45 F7 KD pine studs. NOTE insulation.
LINTELS- 290x75 F7 Oregon
RAFTERS- 140x45 F7 at max 600 cnts
RAFTERS-BED 2- 190x45 F7 at max 600 cnts

WALL BRACING: Sheet plywood bracing to all unglazed external walls.

CLADDING: Pine H3 weatherboards, 140x20. Stud walls are to be clad with aluminium sarking.

FASCIAS & BARGE BOARDS: 20mm Primed pine.

EAVES SOFFITS: 6mm Fibre Cement sheet

FLOORING- COMPRESSED FC: Wet areas to be compressed cement sheet waterproofed for tiles.

FLOORING-PLYWOOD: provide 15mm plywood sub-floor for secret nailed t&g flooring to new Bedrooms, Hall & Study.

CEILINGS-: provide new plasterboard ceilings to new roof.

WALL LININGS- GENERALLY: fix Gyproc linings to all internal walls except wet areas.

WALL LININGS- WET AREAS: provide and fix Villaboard panels to wet area walls ready for tiling. Set all joints, and fill and sand for painted finishes where required.

DECKING: Blackbutt or Kwila decking at min. 5mm spacing.

STEPS: Provide new closed riser Blackbutt steps as drawn.

WINDOWS & EXTERNAL DOORS & FRAMES:
 Provide new timber windows with aluminium flyscreens to opening sashes as shown on elevations- Refer METALWORK.

INTERNAL DOORS & DOOR FRAMES:
 2040 x 720 solid core for bathroom and 2040 x 820 for bedrooms, for paint finish, sizes as noted on Plans. Door frames pine for paint finish

SKIRTINGS & ARCHITRAVES: Pine for paint finish
Skirting: 19 x 70 FS splay.
Architrave: 19 x 41 FS splay.

VANITY UNIT:

Refer SEPARATE CONTRACTS schedule for supply and installation of vanity unit by others.

Carcass: White vertiboard.
Doors: Polyurethane or laminate finish on Craftwood
Bench top: Select stone
Handles: 75 D-handles.

INSULATION-WALLS: Provide bulk insulation (Batts) to all external walls- Insulation rating R2.5.
SOUND INSULATION to walls of Bathrooms.

INSULATION-CEILINGS: Refer ROOFER.

7. ROOFER & ROOF PLUMBER

SCOPE:

Supply and install Colorbond Customorb roof sheeting, colour WOODLAND GREY, complete with ridge and barge roll, fixings etc to new roofs.

SARKING: Provide antiglare foil sarking to whole of pitched roof area. This may be integral with bulk insulation blanket.

INSULATION: Provide R3.5 insulation to new ceilings.

BATTENS: 70x45 timber battens to suit rafter spacings.

GUTTERS: Fit matching Colorbond gutters.
 Colour to be COLORBOND WINDSPRAY

DOWNPIPES: Provide round Colorbond rain water heads & downpipes of 90mm diameter to supply tanks as shown on Stormwater Plan.

FLASHINGS: Zinc flashings to all roof penetrations to maintain a weathertight covering. Close all cavities under roof corrugations.

8. PLUMBER

HOT & COLD WATER: Provide hot and cold water supply to the following:

Bathroom: Vanity basin, bath & shower.

Provide cold water supply to WC.

HOT WATER SERVICE: Existing hot water service.

TAPS & FLOOR WASTES: Polished chrome taps, mixer taps, roses, spouts and wastes.

FITTINGS: SUPPLIED BY BUILDER, refer PC SCHEDULE

WC Suite: Close coupled ceramic pan & cistern with dual flush
 - colour white, hard plastic seat and lid.
Vanity Basin: Semi-recessed basin 1 taphole white ceramic.

9. PLASTERBOARD & FIBRE CEMENT SHEET

WALLS:

10mm plasterboard fixed horizontally to vertical studs or battens.
 Insulate all walls abs.

CEILINGS:

10mm or 12mm plasterboard fixed to underside of rafters. Insulate all walls abs.

CORNICE: Square timber bead.

WET AREAS:

Walls- Line walls around bathroom with rockwool a.b.s.
 Villaboard wall linings in bathroom.

Flooring- compressed fibre cement sheet all to be waterproofed and certified as required by council to bathroom.

EAVES SOFFITS: FC sheet below rafters to match existing.

10. TILER

WATERPROOF MEMBRANES: Waterproof wall and floor substrates to comply with Part 3.8.1 Wet Areas of the BCA and Australian Standard AS 3740. Note certification required as council DA condition.

TILES: Floor: 200 x 200 with fall to waste.
 Walls: 200 skirting.
 2100 in shower recess.
 200 splashback behind vanity.

11. GLAZING

WINDOWS & GLAZED TIMBER DOORS: Timber doors and windows as shown on elevations- allow for aluminium flyscreens. Manufacturer AIRLITE or other approved manufacturer.

Glaze to requirements of AS 1170 and AS 1288.

GLASS: All windows and glazed doors are to be glazed with clear.
 All glass must comply with the relevant Australian standards.

FLYSCREENS: ALLOW FOR all windows and doors to have aluminium mesh flyscreens. Frames to match window frames.

12. PAINTING & APPLIED FINISHES

PREPARATION : Wash down all existing surfaces to be repainted to remove dirt and grease. Fill any holes or cracks. Sand and prime woodwork as required to provide fair and even surface for undercoating and finishing. Punch nails below surface and stop holes.

INTERNAL WALLS, PLASTERBOARD : Paint Low sheen acrylic. Minimum 2 coats. Colours to be selected.

PLYWOOD CEILINGS: Acrylic clear finish

INTERNAL WOODWORK: Clear finish

FASCIAS & BARGEBOARDS: Exterior acrylic

CLADDING: Exterior acrylic

WINDOWS & DOORS: Timber clear finish

NOTE: COLOURS TO BE COMPATIBLE WITH DA APPROVAL.

ALL COLOURS TO BE CONFIRMED WITH PROPRIETOR PRIOR TO ORDERING
FOLLOW MANUFACTURERS INSTRUCTIONS WITH ALL PAINTS, STAINS ETC.

13. ELECTRICIAN

REFER TO ELECTRICAL LAYOUT DRAWINGS FOR MORE INFORMATION

MAIN SUPPLY: existing

METER: existing

DISTRIBUTION BOARD: existing

SAFETY SWITCH: Provide safety switch as required to all circuits.

SMOKE DETECTORS: Provide hard wired smoke detector in hallway outside bedrooms where shown on plan and as required.

TELEPHONE: Provide internal cable for telephone with new outlet in study.

POWER SUPPLY FOR: Exhaust fan to new bathroom
General purpose outlets.

LIGHTS: Provide batten holder lights and switches where shown on Electrical plan. Install low voltage light fittings supplied by Proprietor.

FANS:

Exhaust fans: Provide exhaust fan to bathroom.

14. COMPLETION

The building shall be completed to the extent here-in specified, the site cleared of builder's waste, and generally left fit for occupation.

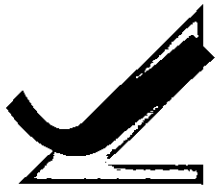
Final detail clean shall be by PROPRIETOR.

The builder shall furnish the Proprietor with:

All local authority certificates of compliance referred to in DA Conditions.

APPENDIX

1. DA CONDITIONS OF CONSENT



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN: 94 053 405 011

VR 23940B.

21st September, 2006.

Page 1.

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

Dear Sir,

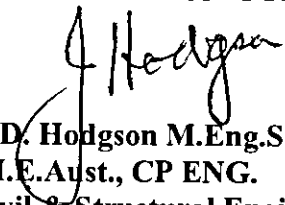
19 WATERVIEW STREET, MONA VALE.

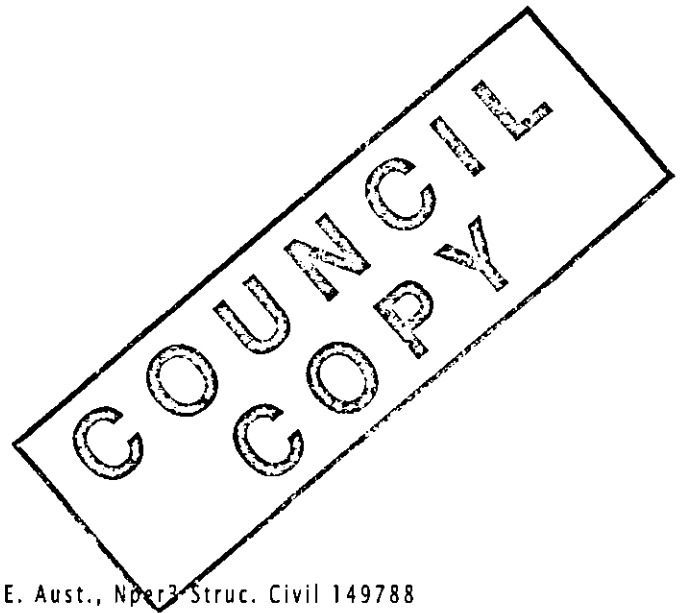
This Report on Structural Adequacy is based on a surface inspection of the subject property. No opening up of the existing developments or excavations have been carried out

On 19th September 2006 we inspected the house at the subject address and examined the Drawings Nos. 2613/DA01 to DA04 prepared by Stephen Crosby & Associates Pty Ltd, Architects.

We have assessed the loads likely to be imposed on the existing structure and, in our opinion; the structure is adequate to support these loads.

JACK HODGSON CONSULTANTS PTY. LIMITED.

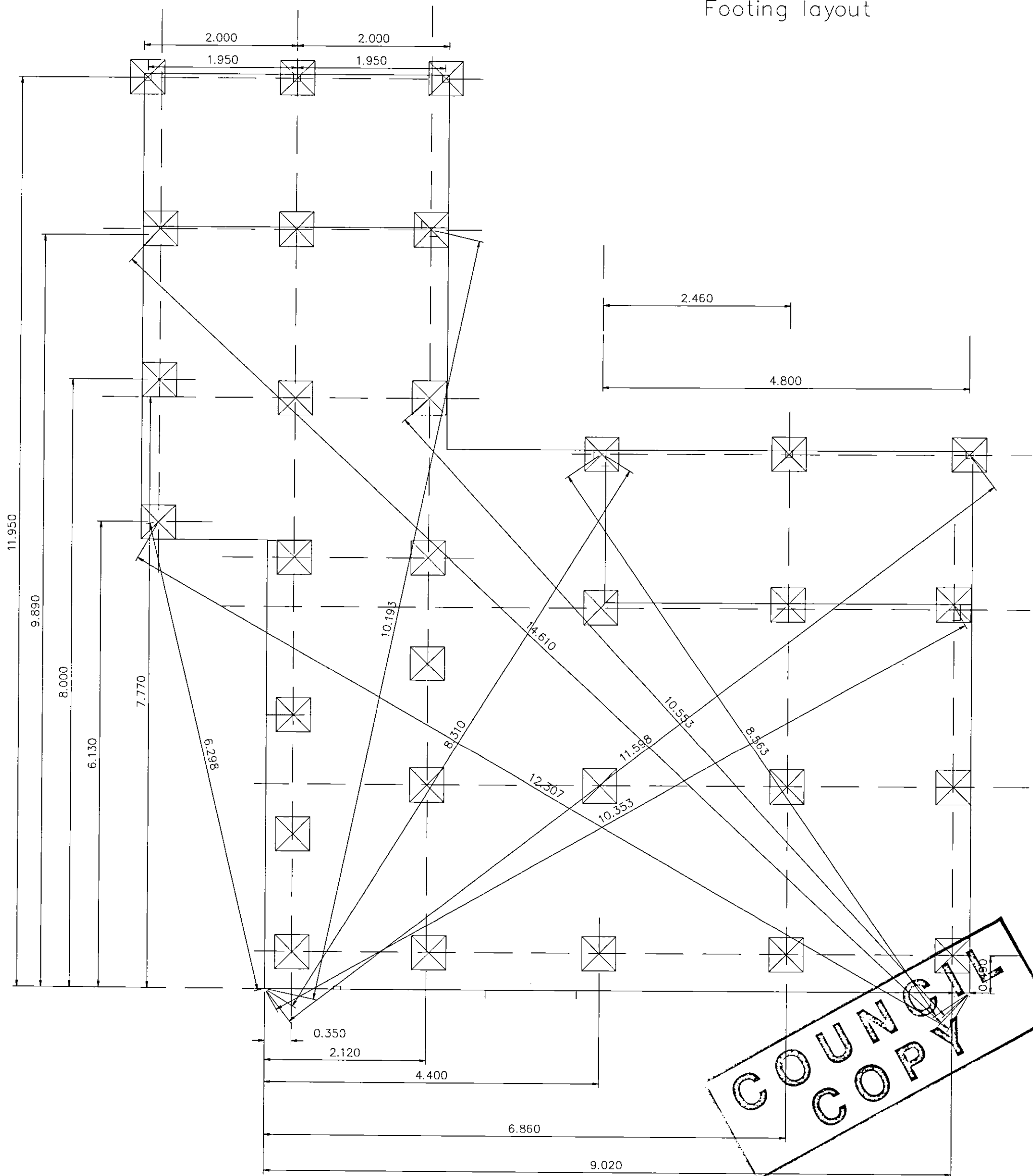

**J. D. Hodgson M.Eng.Sc.,
F.I.E.Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.**



DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E. Aust., Nper3-Struc. Civil 149788
67 Darley Street, Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone: 9979 6733 Facsimile: 9979 6926

19 Waterview St Mona Vale NSW

Footing layout



SCANNED
27 SEP 2006
PITTWATER COUNCIL

Sheet 1

WARNING

The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:

- The applicant's responsibility to obtain approval from Sydney Water or other utilities.
- The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
- The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.

PLAN OR DOCUMENT CERTIFICATION

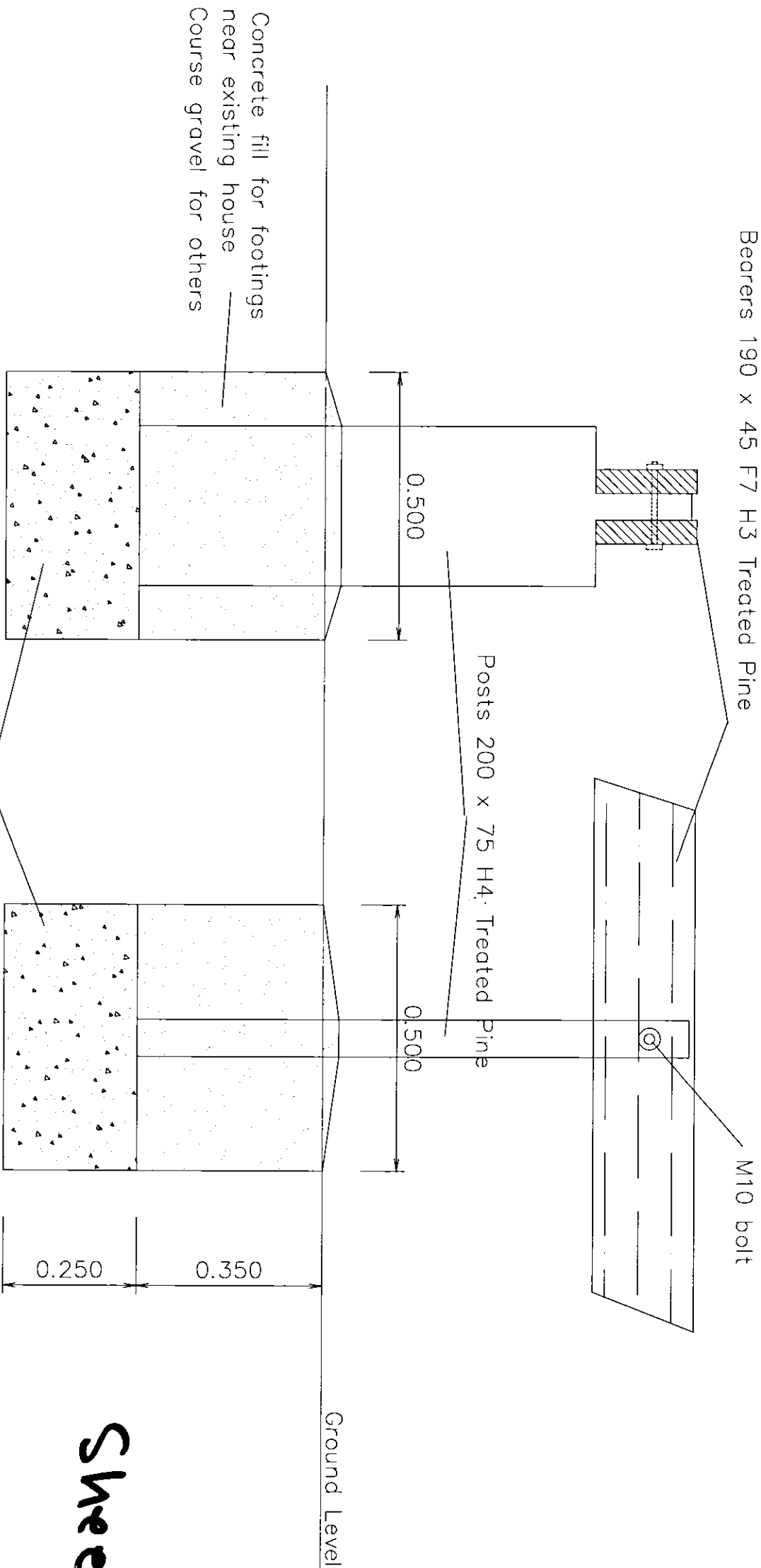
I am a qualified Civil & Structural Engineer
I hold the following qualifications M. Eng. Sc.
F.I.E. Aust. N Per 3 Civil & Structural No. 149788

Further I am appropriately qualified to certify this component of the project

I hereby state that these plans or details comply with the conditions of development consent. The provisions of the Building Code of Australia and/or appropriate Australian/Industry standards.

JACK HODGSON 24/9/06
Name Date Signature

Footing and Post Detail 19 Waterview St. Mona Vale NSW.



Sheet 2.

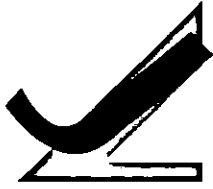
PLAN OR DOCUMENT CERTIFICATION

I am a qualified Civil & Structural Engineer
I hold the following qualifications M. Eng. Sc.
J.E. Aust. N Per 3 Civil & Structural No. 149788

either I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of
development consent. The provisions of the Building Code of Australia
and/or appropriate Australian/industry standards.

FOR RODGSON 22/9/06
Date Signature



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN: 94 053 405 011

VR 23940C.

21st September, 2006.

Page 1.

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

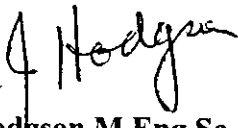
Dear Sir,

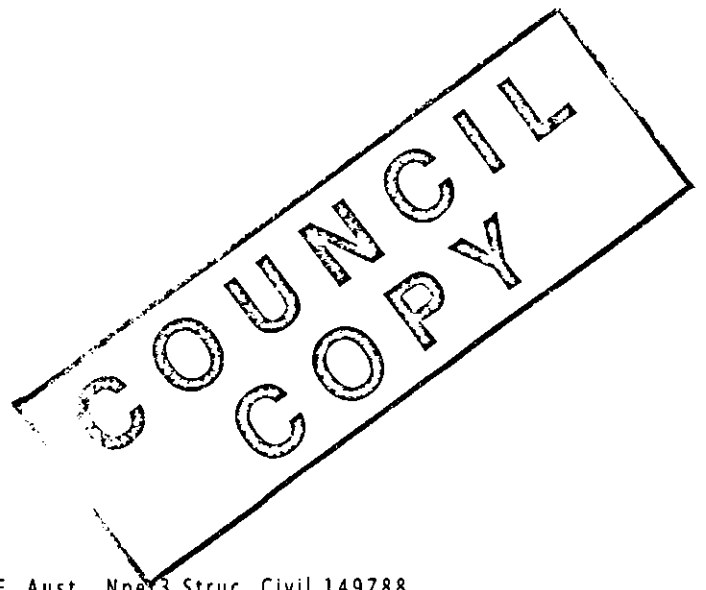
19 WATERVIEW STREET, MONA VALE.

We have inspected the site and are of the opinion that the existing dispersion system is adequate to disperse the discharge from the rain water storage tank and the discharge from the on site detention system. However the owner has decided to supplement this dispersion trench with a new trench located along the contour not less than 3 metres from the rear boundary. The dispersion trench is to be 0.6x0.6 using plastic formers, geotextile filter fabric on soil and space around the former filled with 20 mm rubble. The trench is to be 8 metres long and located clear of significant tree roots.

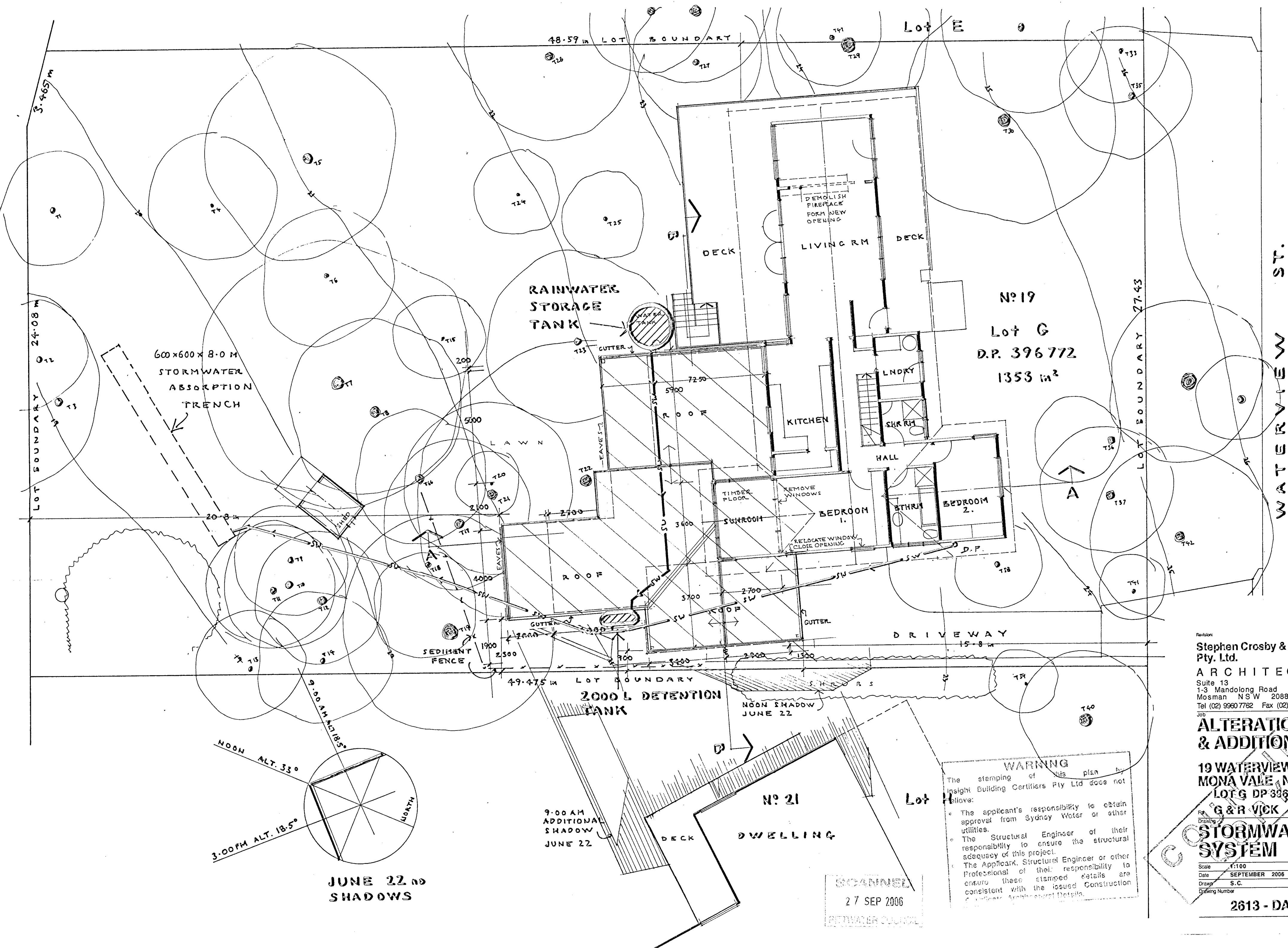
The north half of the existing roof and the eastern part of the new roof will be collected and discharged into the existing water tank in the centre of the block. Overflow from this tank will be piped to the OSD tank on the western side of the house. The western half of the new roof, the carport roof and the western half of the existing roof will discharge into the OSD Tank. The flow from the OSD tank will be piped to the dispersion trench system.

JACK HODGSON CONSULTANTS PTY. LIMITED.


**J. D. Hodgson M.Eng.Sc.,
F.I.E. Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.**



DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E. Aust., Nper3 Struc. Civil 149788
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Revision: Stephen Crosby & Assoc.
 Pty. Ltd.

ARCHITECTS
 Suite 13
 1-3 Mandolong Road
 Mosman NSW 2088
 Tel (02) 9960 7762 Fax (02) 9960 7762

Job: **ALTERATIONS
 & ADDITIONS**

**19 WATERVIEW ST.
 MONA VALE NSW
 LOT G DP 396772**

For Drawing: **G & R VICK
 STORMWATER
 SYSTEM**

Scale: 1:100
 Date: SEPTEMBER 2006
 Drawn: S.C.
 Drawing Number:

2613 - DA 05

WARNING
 The stamping of this plan by
 Insight Building Certifiers Pty Ltd does not
 relieve:
 • The applicant's responsibility to obtain
 approval from Sydney Water or other
 utilities.
 • The Structural Engineer of their
 responsibility to ensure the structural
 adequacy of this project.
 • The Approving Structural Engineer or other
 Professional of their responsibility to
 ensure these stamped details are
 consistent with the issued Construction
 Certificate Architectural Details.

SCANNED
 27 SEP 2006
 BIRAWATER COUNCIL

The diagram illustrates the construction and layout of a Self-Whispering Mound Protection (SWMP) or Earth-Sheltered Concrete Protection (ESCP) system.

SECTION DETAIL: This cross-sectional view shows the vertical structure of the system. It features a concrete wall with a self-supporting geotextile attached to its face. The geotextile is secured by 1.5 m star pickets spaced at a maximum of 2.5 m. The distance between the pickets is indicated as 500 mm to 600 mm. The geotextile is embedded into a trench on the soil, which is 150 mm x 100 mm and filled with compacted backfill, and then set into a surface concrete layer. The direction of flow is indicated by an arrow pointing towards the structure.

PLAN: This top-down view shows the layout of the system. It depicts a curved wall separating a "Disturbed area" from an "Undisturbed area". The wall is constructed with 1.5 m star pickets at a maximum of 2.5 m spacing. The distance between the pickets is indicated as 500 mm to 600 mm. The direction of flow is indicated by an arrow pointing towards the wall. The plan view also shows a "Star pickets at maximum 2.5 m spacings" and a "Min. 1.5 m" dimension. A dimension line indicates a maximum length of 20 m, unless stated otherwise for SWMP/ESCP. The flow direction is indicated by an arrow pointing towards the wall.

1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
2. Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
3. Drive 1.5 metre long sharp pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any sharp pickets are fitted with safety caps.
4. Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
5. Join sections of fabric at a support post with a 150-mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

building certifiers ply ltd
CONSENT NO. NO 424/06 DATE 11/9/06
CONSTRUCTION CERT. NO. 2006/1586
**CONSTRUCTION
CERTIFICATE PLANS**
Basdu 27 SEP 2006
T. Dowden Accreditation No. 53

suolo alow m.

Revizore: _____ Data: _____

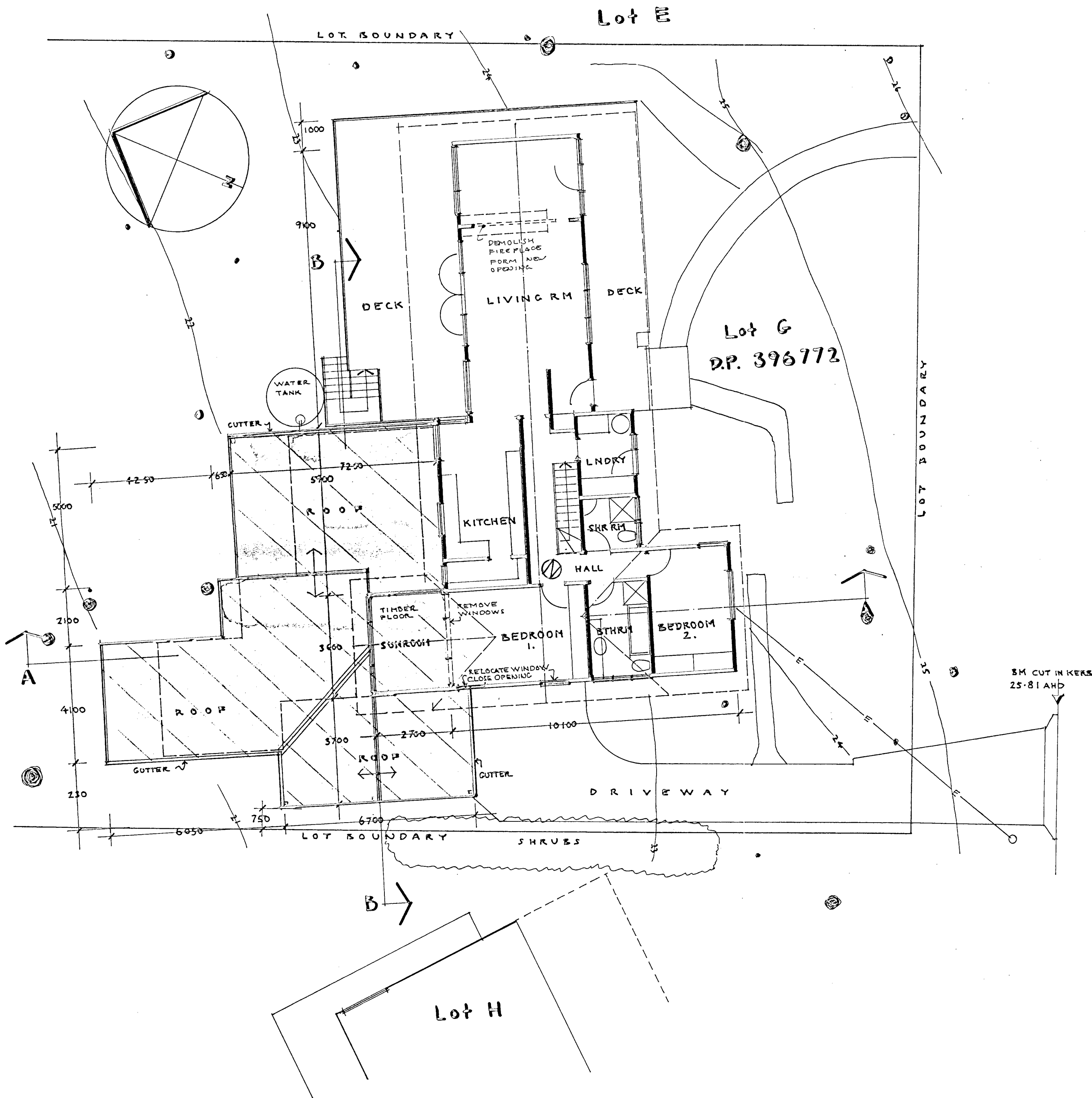
**Stephen Crosby & Assoc.
Pty. Ltd.**

ARCHITECTS

Suite 13
15 Mandacillo Road
Mandacillo NSW 2088
Tel (02) 9960 0762 Fax (02) 9960 0762

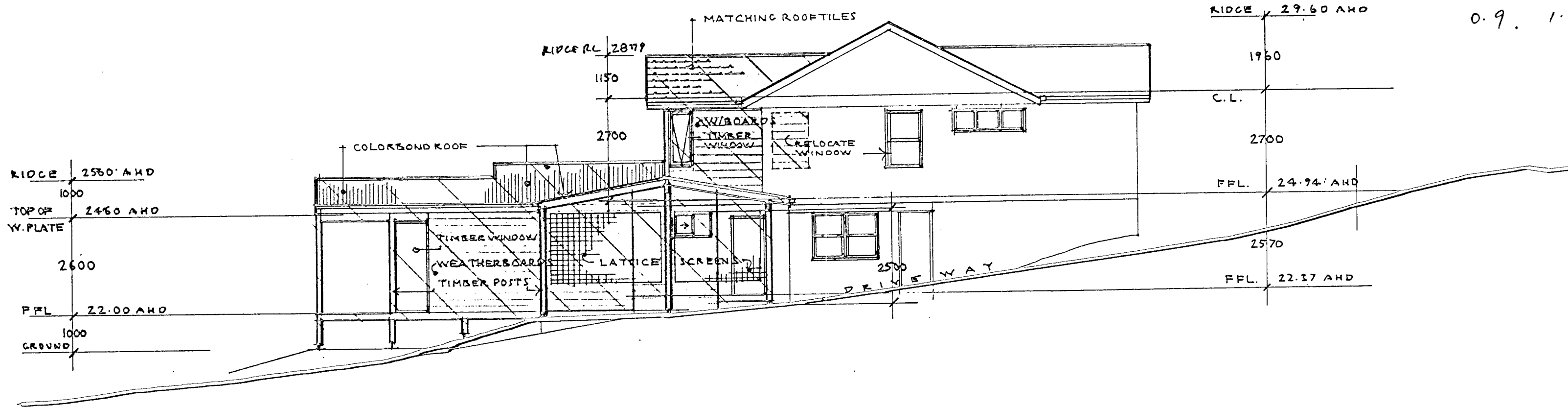
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Date JUNE 2006
Drawn S.C.
Drawing Number 2613 - DA 01

SCANNED
27 SEP 2006
PITTSBURGH COUNCIL

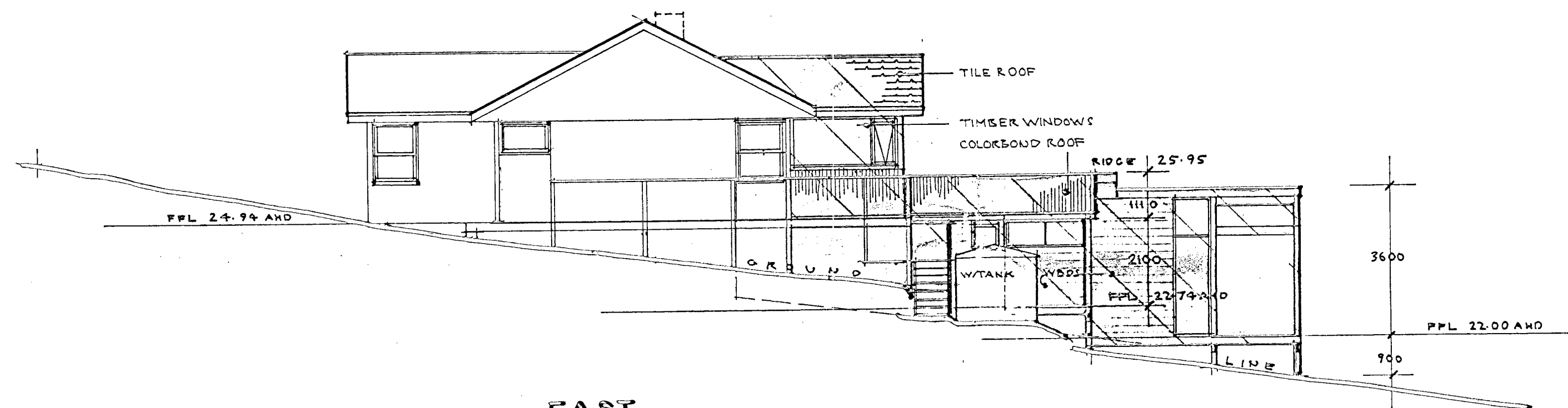


② smoke alarm.

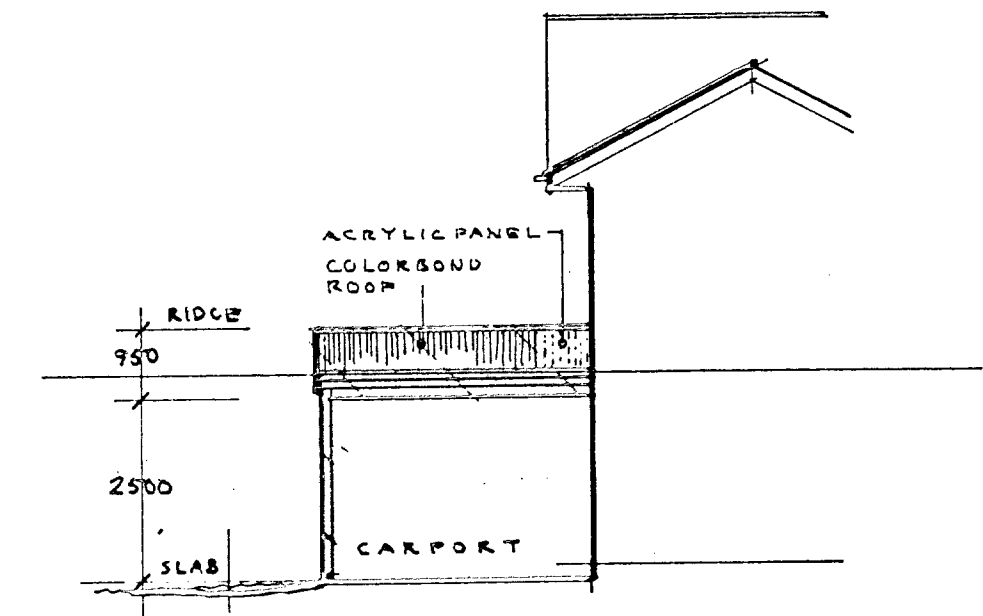
Revision: _____ Date: _____
 Stephen Crosby & Assoc.
 Pty. Ltd.
 ARCHITECTS
 Suite 12
 1-3 The Esplanade, Warragul, Vic 3920
 Tel: (02) 9960 7782 Fax: (02) 9960 7782
 Job: _____
 APPROVED DEVELOPMENT CONSENT PLANS
 PITTWATER COUNCIL
 19 WATERVIEW ST
 MONA VALE NSW 2358
 NOTE: THESE PLANS ARE TO BE READ IN
 CONJUNCTION WITH THE PROPOSALS OF
 DEVELOPMENT CONSENT
 DEED
 Scale 1:100
 Date JUNE 2006
 Drawn S.C.
 Drawing Number
 2613 - DA 02



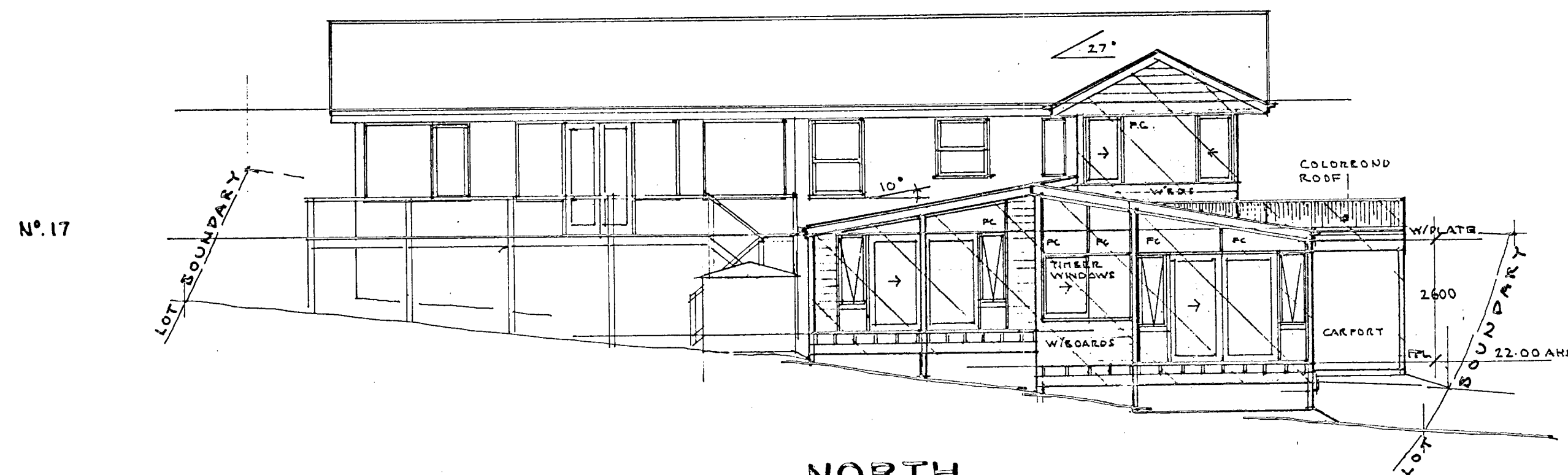
WEST



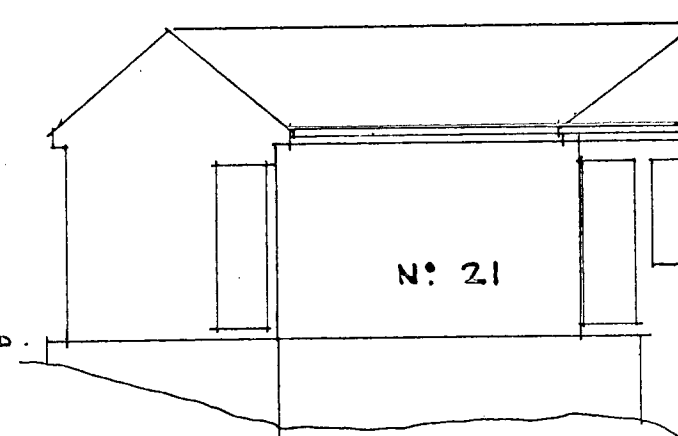
EAST



SOUTH
TO WATERVIEW ST.



NORTH



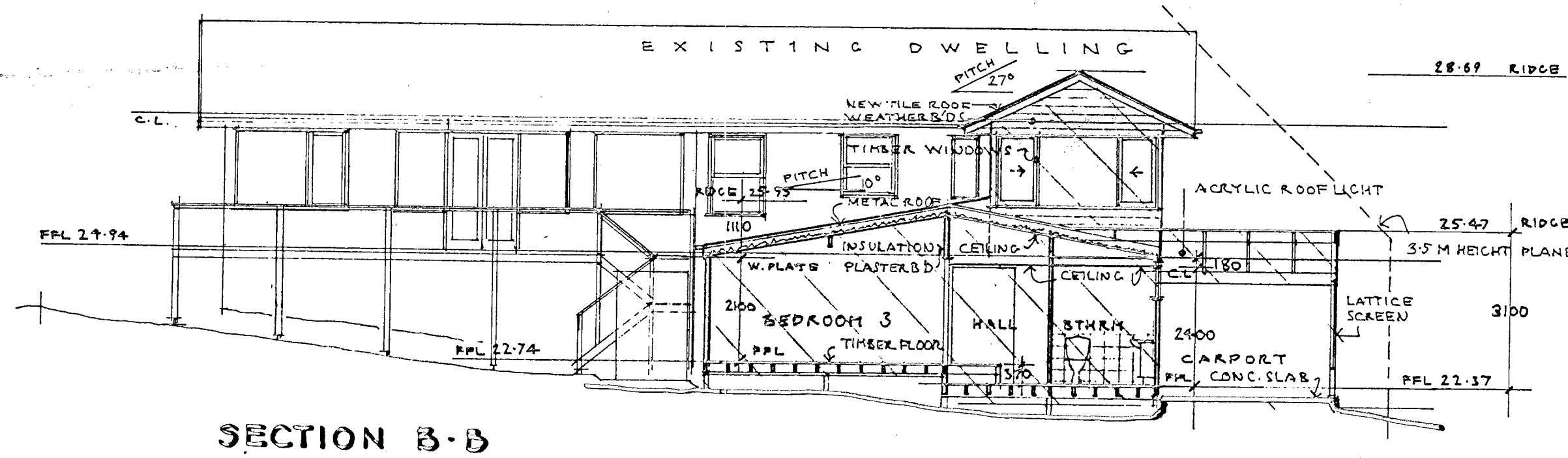
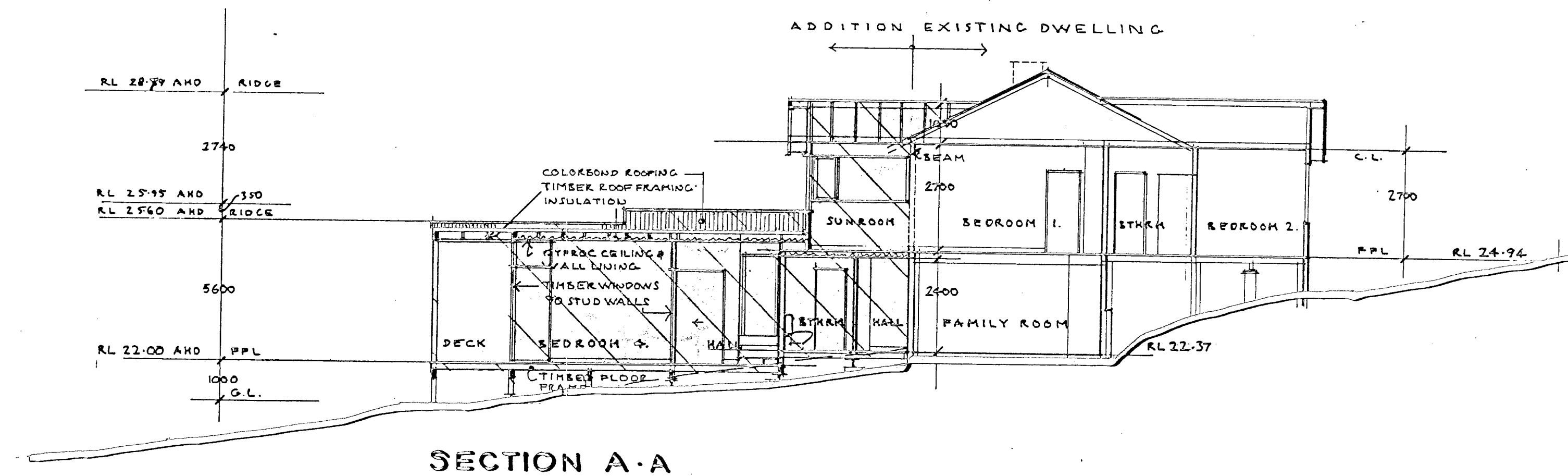
Stephen Crosby & Assoc.
Pty. Ltd.
19 Waterview St.
Mona Vale NSW 2088
Tel: (02) 9960 7762 Fax: (02) 9960 7762

ALTERATIONS & ADDITIONS
19 WATERVIEW ST.
MONA VALE NSW
2088
Tel: (02) 9960 7762 Fax: (02) 9960 7762

ELEVATIONS

Scale 1:100
Date JUNE 2008
Drawn S.C.
Drawing Number

2613 - DA 03



Particulars: **Stephen Crosby & Assoc. Pty. Ltd.**
 Date: _____
 13 Woodroffe Road
 Mount Vale NSW 2088
 Tel (02) 9960 7762 Fax (02) 9960 7762
ALTERATIONS & ADDITIONS
 19 WINTERVIEW ST.
 MOUNT VALE NSW 2088
 Tel (02) 9960 7762 Fax (02) 9960 7762
SECTIONS

Scale: 1:100
 Date: JUNE 2006
 Drawn: S.C.
 Drawing Number: 2613 - DA 04