

# DEVELOPMENT APPLICATION

ALTERATIONS & ADDITIONS@ 1158 BARRENJOEY ROAD, PALM BEACH  
AUGUST 2024

Sheet No.	Sheet Name	Date	Rev.	Revision Description
DA-001	Cover Page @ A2	30/08/2024	H	
DA-101	Existing Site & Analysis Plan @ A2	30/08/2024	H	
DA-102	Demolition & Waste Managemen	30/08/2024	H	
DA-110	Proposed Site and Pool Plan	30/08/2024	H	
DA-111	Site Calculations Plan	30/08/2024	H	
DA-301	Proposed Long Section AA	30/08/2024	H	
DA-401	Proposed Northern Elevation	30/08/2024	H	
DA-402	Proposed Eastern Elevation	30/08/2024	H	
DA-403	Proposed Western Elevation	30/08/2024	H	
DA-502	Landscape Plan and Schedule	30/08/2024	H	

LEGEND	
CODE	GENERAL
LW-01	LANDSCAPE WALL
G-01	POOL GATE
BAL-01	BALSUTRADE (to match existing - Height varies to meet pool or balustrade code)
PLC-01	POOL COPING
CL-01	CLADDING
DECK-01	DECKING - EXTERNAL
PF/PH	POOL FILTER / POOL HEATER
EX	EXISTING

## CONSULTANTS LIST

ENGINEER	NORTHERN BEACHES CONSULTING
SURVEYOR	ADAM CLERKE SURVEYORS
HYDRAULIC	NORTHERN BEACHES CONSULTING
BUSHFIRE	CR BUSHFIRE - BAL 12.5
ARCHITECT	WRAY & CUTCLIFFE ARCHITECTS
CERTIFIER	BUILDING CERTIFICATION ASSOCIATES PTY LTD

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## BASIX<sup>®</sup>Certificate

Building Sustainability Index www.basix.nsw.gov.au

### Alterations and Additions

Certificate number: A1753388\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Thursday, 22 August 2024  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	1158 Barrenjoey Road Palm Beach_02
Street address	1158 BARRENJOEY ROAD PALM BEACH 2108
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP6746
Lot number	14
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and includes a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Wray and Cutcliffe Architects	
ABN (if applicable):	

Planning Industry And Environment

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BASIX Certificate number: A1753388\_02

### Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✔ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Building Sustainability Index www.basix.nsw.gov.au

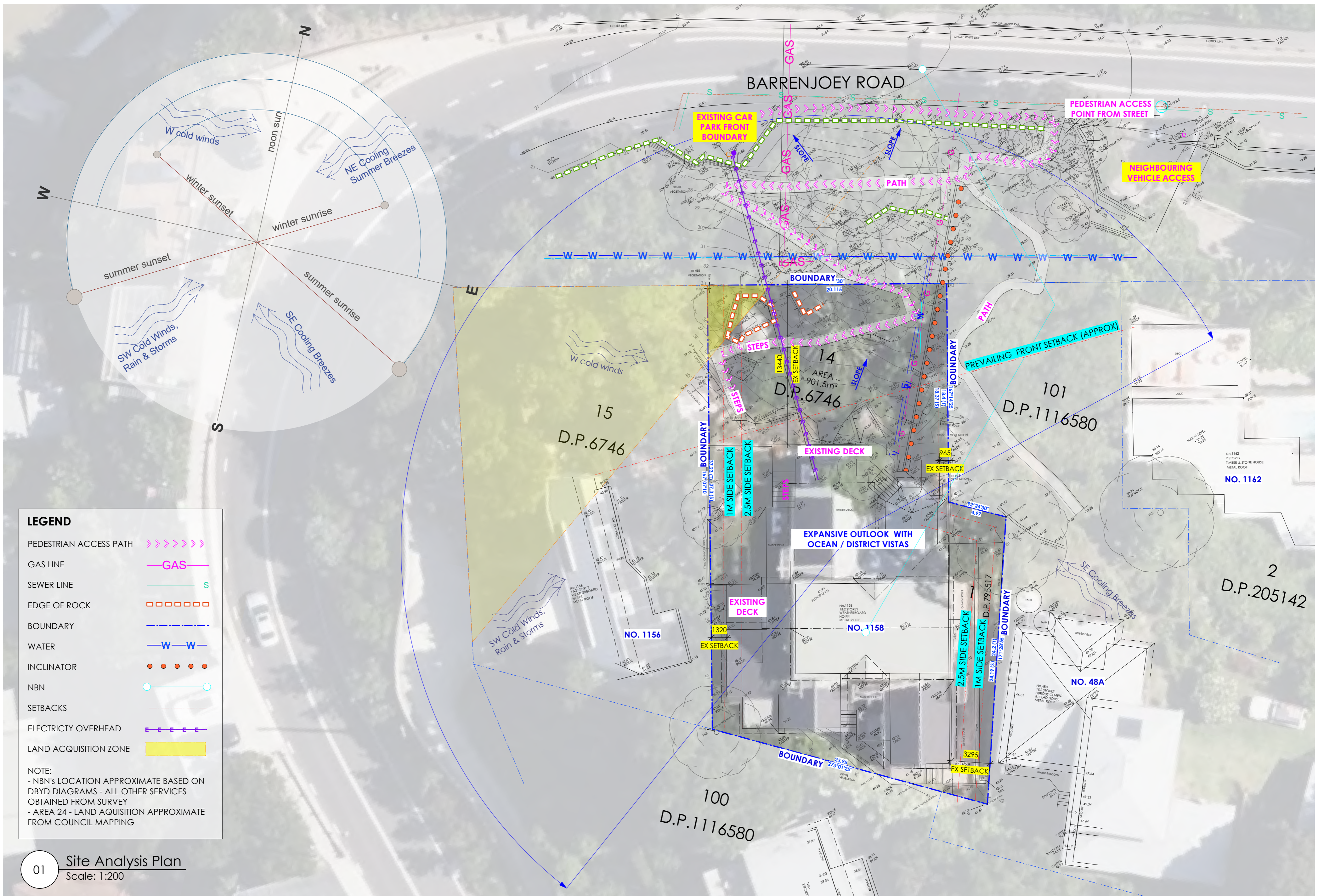
page 2/3

BASIX Certificate number: A1753388\_02

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 757.43 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.		✔	✔
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✔	✔
<b>Outdoor swimming pool</b>			
The swimming pool must be outdoors.	✔	✔	✔
The swimming pool must not have a capacity greater than 12 kilolitres.	✔	✔	✔
The swimming pool must have a pool cover.		✔	✔
The applicant must install a pool pump timer for the swimming pool.		✔	✔
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✔	✔

Building Sustainability Index www.basix.nsw.gov.au

Issue	Description	Date
H	DA - Revisions	30/08/2024
G	Development Application - Revised	20/08/2024
F	Development Application	27/08/2024
E	Draft DA for Client Review	11/08/2024
D	Schematic Design Issue	17/05/2024

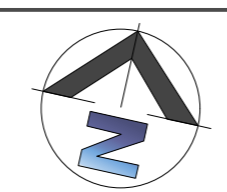


**LEGEND**

- PEDESTRIAN ACCESS PATH >>>>>>
- GAS LINE — GAS —
- SEWER LINE — S —
- EDGE OF ROCK □□□□□□
- BOUNDARY - - - - -
- WATER — W — W —
- INCLINATOR ●●●●●●
- NBN ○○○○○○
- SETBACKS - - - - -
- ELECTRICITY OVERHEAD — E — E — E —
- LAND ACQUISITION ZONE ■■■■■■

**NOTE:**  
 - NBN'S LOCATION APPROXIMATE BASED ON DBYD DIAGRAMS - ALL OTHER SERVICES OBTAINED FROM SURVEY  
 - AREA 24 - LAND ACQUISITION APPROXIMATE FROM COUNCIL MAPPING

01 Site Analysis Plan  
 Scale: 1:200



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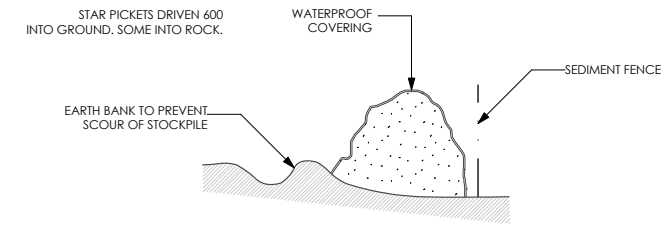
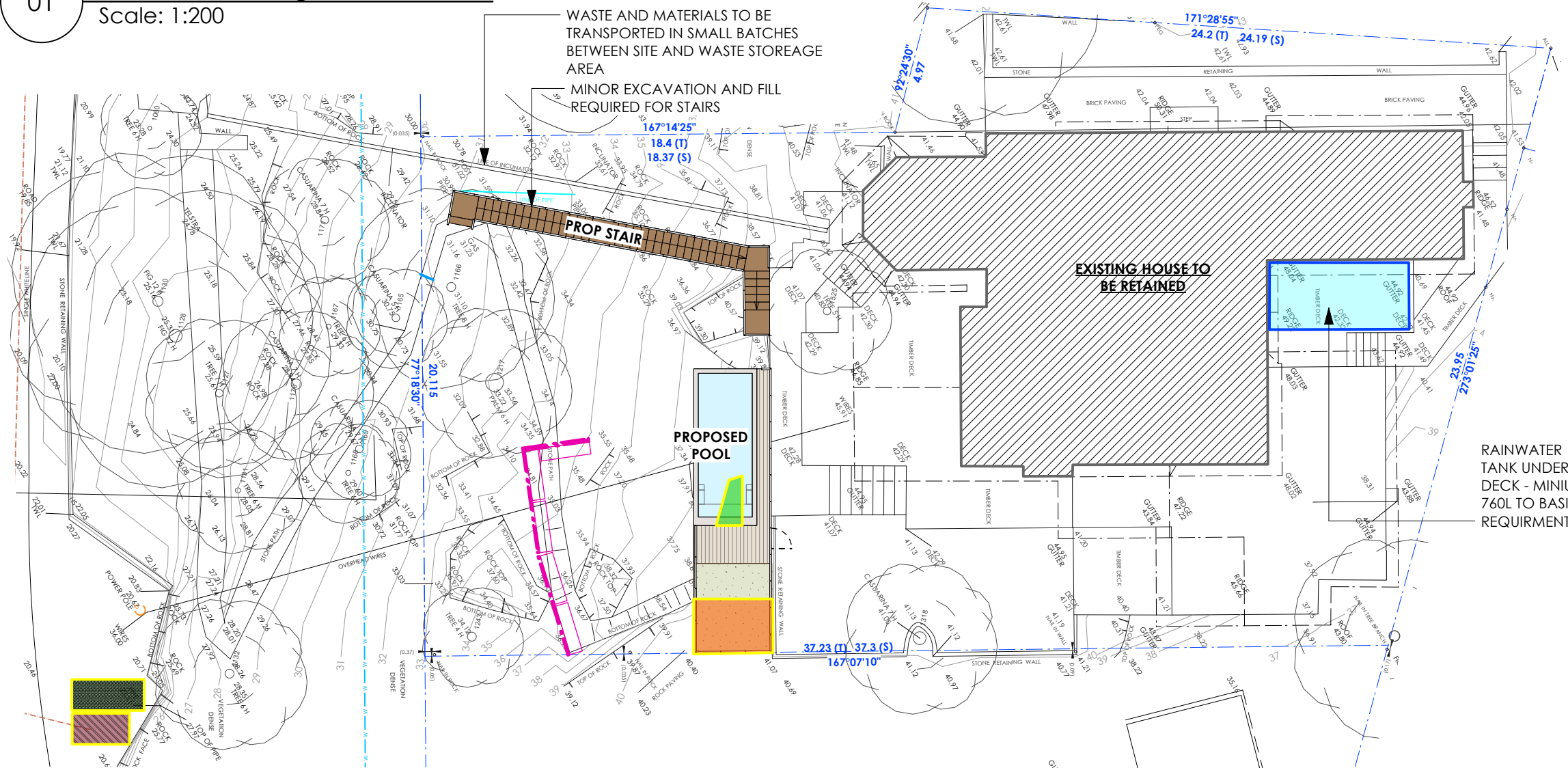
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 \* Waterproof Weatherproofing Details to Master Builders Industry Guidelines and to meet performance standards as well as Australian Standards.

**Palm Beach Project**  
**Existing Site & Analysis Plan @ A2**  
 CLIENT Dayna Lemessurier  
 AT 1158 Barrenjoey Road, Palm Beach

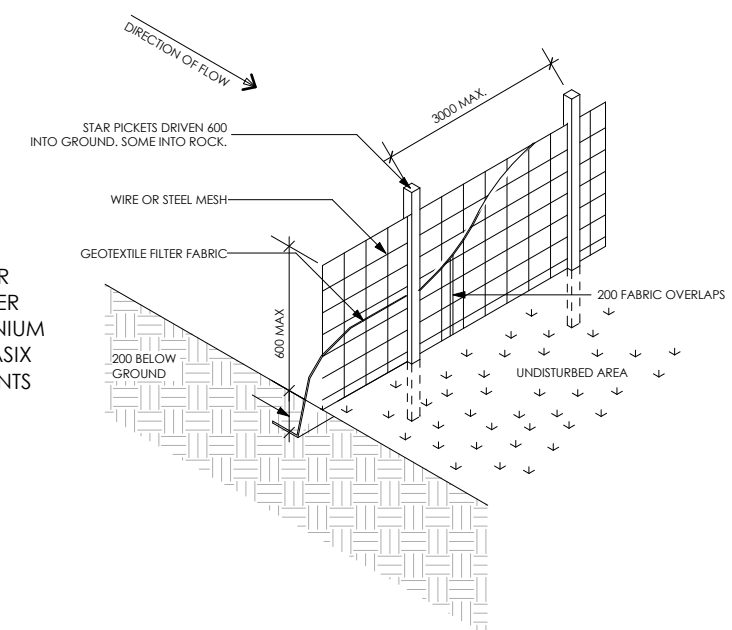
DATE 30/08/2024  
 SCALE AS NOTED @ A2  
 DRAWN JGW/AC  
 JOB NO. 2328

DWG **DA-101**  
 ISSUE **H**

Issue	Description	Date
H	DA - Revisions	30/08/2024
G	Development Application - Revised	20/08/2024
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
D	Schematic Design Issue	17/05/2024

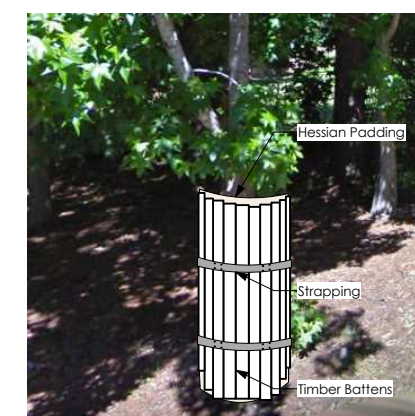


TYPICAL BUILDING MATERIAL STOCKPILE DETAIL



TYPICAL SEDIMENT CONTROL FENCE DETAIL

TYPICAL TREE PROTECTION MEASURES



PROTECT TREE TRUNK WITH SOFT PADDING SUCH AS HESSIAN AND SECURELY TIE HARDWOOD PALINGS AROUND TRUNK TO ARBORIST CONTROL MEASURES

NOTES:

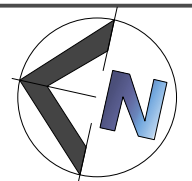
- \* ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION & NOT REMOVED UNTIL THE SITE HAS BEEN STABILISED.
- \* DISTURBED AREA TO BE KEPT TO A MINIMUM.
- \* ALL SOIL STOCKPILES TO BE CLEAR OF DRAINS AND COVERED WITH WATERPROOF COVERING.
- \* DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
- \* ROADS AND COUNCIL LAND ADJACENT TO BE SWEEPED AS REQUIRED.
- \* TRUCKS ENTERING/LEAVING THE SITE TO BE SUPERVISED AT ALL TIMES FOR PUBLIC SAFETY.
- \* A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED AT THE REAR OF THE PROPERTY, AND CONSTRUCTED PRIOR TO THE COMMENCEMENT OF WORKS.
- \* MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG- TEL 1100. APPROPRIATE REGULATORY AUTHORITIES CONSULTED PRIOR TO ANY & ALL EXCAVATIONS. EXISTING HYDRAULIC SYSTEMS TO BE LOCATED AND MAINTAINED.
- \* SIGNAGE MUST BE INSTALLED BY HEAD CONTRACTOR TO FACILITATE CORRECT USE OF STORAGE FACILITIES. TO MEET AUTHORITY CODES.

- \* ALL EXCAVATION MATERIAL AND BUILDING MATERIALS WILL BE STORED WITHIN THE SUBJECT SITE AT ALL TIMES AND NOT ENCROACH UPON ADJACENT AREAS FOR THE DURATION OF WORKS.
  - \* THE SITE MANAGER/BUILDER SHALL ENSURE THAT KERB INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE LANEWAY AS REQUIRED.
  - \* NOISE AND DUST TO BE KEPT TO A MINIMUM DURING THE EXCAVATION WORKS.
  - \* ALL EXCAVATION TO GEOTECHNICAL ENGINEER REPORT RECOMMENDATIONS.
- CONSERVATION OF SOIL:
- \* PRIOR TO COMMENCEMENT OF CONSTRUCTION, A SEDIMENT FENCE, SEDIMENT TRAP AND WASHOUT AREA ARE TO BE ERECTED TO ENSURE THAT WATERBORNE MATERIAL GENERATED ON SITE IS CAPTURED. THE SEDIMENT TRAP IS TO BE EMPTIED AFTER EACH STORM. SEDIMENT TRAP TO BE LOCATED AT THE LOWEST POINT TO TRAP SEDIMENT.
  - \* BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS TO BE ADHERED TO FOR ALL SITE WORKS AND WASTE/SEDIMENT CONTROL.
  - \* SEE BLUE BOOK FOR FULL AND FURTHER DETAIL

Note: All works to Geotechnical Report recommendations. All work to Meet BCA, A.S & Council Requirements. To meet Pittwater Council DCP. & to meet Engineers Erosion and Sediment Control Plan.

**Legend:**

- Areas for Waste Material Storage
- Areas for Material Storage
- Excavation
- Existing Building Footprint
- Fill
- Cut/Fill - refer to elevations
- Zone of Rainwater Tank
- Site Security Fence
- Silt Fence
- Straw Bales



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**Palm Beach Project**

TITLE Demolition & Waste Management Plan

CLIENT Dayna Lemessurier

AT 1158 Barrenjoey Road, Palm Beach

DATE 30/08/2024 DWG

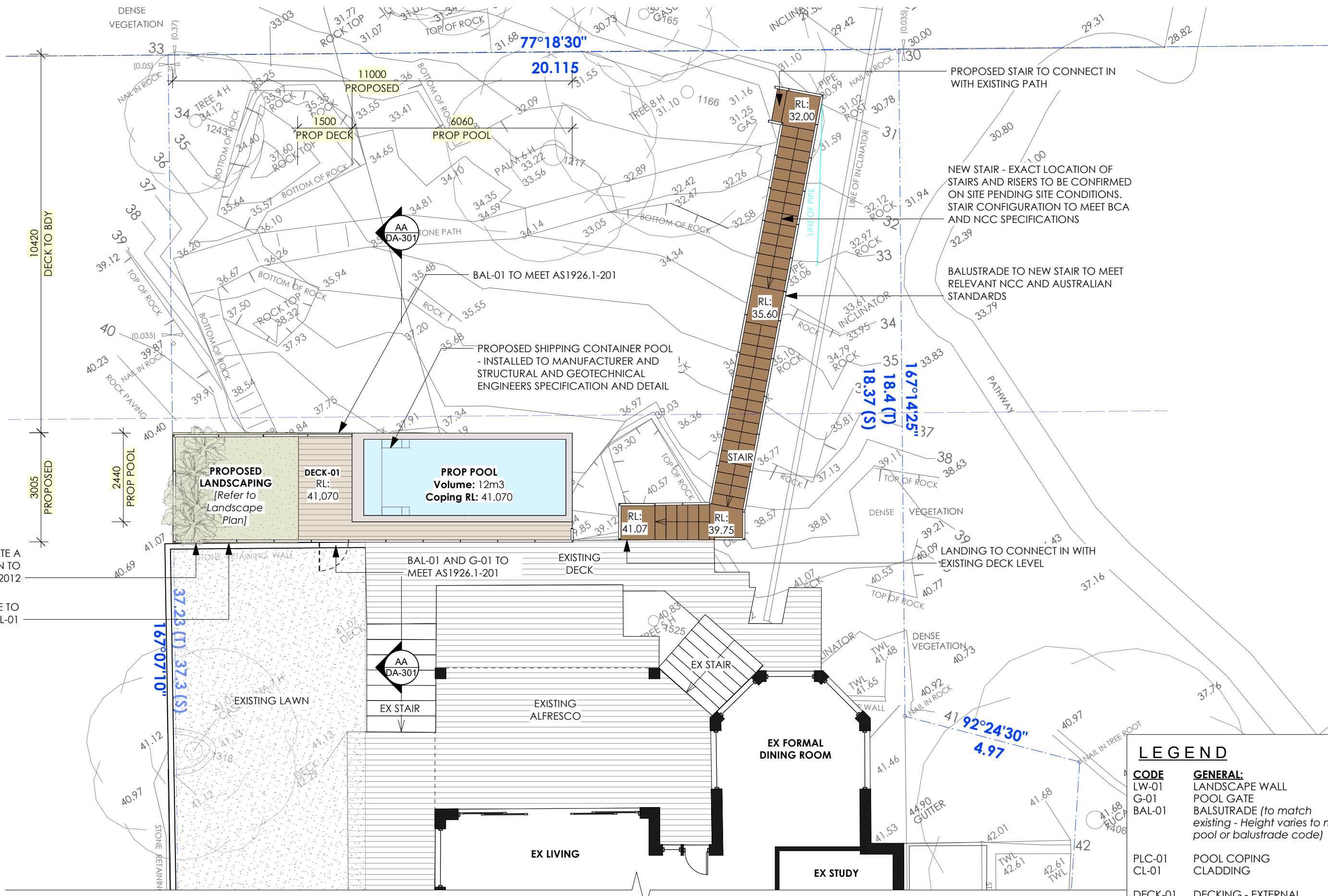
SCALE AS NOTED@A3 **DA-102**

DRAWN JGW/AC

JOB NO. 2328

ISSUE **H**

Issue	Description	Date
H	DA - Revisions	30/08/2024
G	Development Application - Revised	20/08/2024
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
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BAL-01 TO INCORPORATE A 1.8M FOR 0.9M RETURN TO MEET AS1926.1-2012

1.2m POOL FENCE TO BOUNDARY - BAL-01

PROPOSED STAIR TO CONNECT IN WITH EXISTING PATH

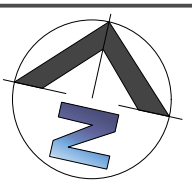
NEW STAIR - EXACT LOCATION OF STAIRS AND RISERS TO BE CONFIRMED ON SITE PENDING SITE CONDITIONS. STAIR CONFIGURATION TO MEET BCA AND NCC SPECIFICATIONS

BALUSTRADE TO NEW STAIR TO MEET RELEVANT NCC AND AUSTRALIAN STANDARDS

PROPOSED SHIPPING CONTAINER POOL - INSTALLED TO MANUFACTURE AND STRUCTURAL AND GEOTECHNICAL ENGINEERS SPECIFICATION AND DETAIL

LEGEND	
CODE	GENERAL:
LW-01	LANDSCAPE WALL
G-01	POOL GATE
BAL-01	BALUSTRADE (to match existing - Height varies to meet pool or balustrade code)
PLC-01	POOL COPING
CL-01	CLADDING
DECK-01	DECKING - EXTERNAL
PF/PH	POOL FILTER / POOL HEATER
EX	EXISTING

**01 GROUND PLAN**  
Scale: 1:100



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**Palm Beach Project**  
 TITLE Proposed Site and Pool Plan  
 CLIENT Dayna Lemessurier  
 AT 1158 Barrenjoey Road, Palm Beach

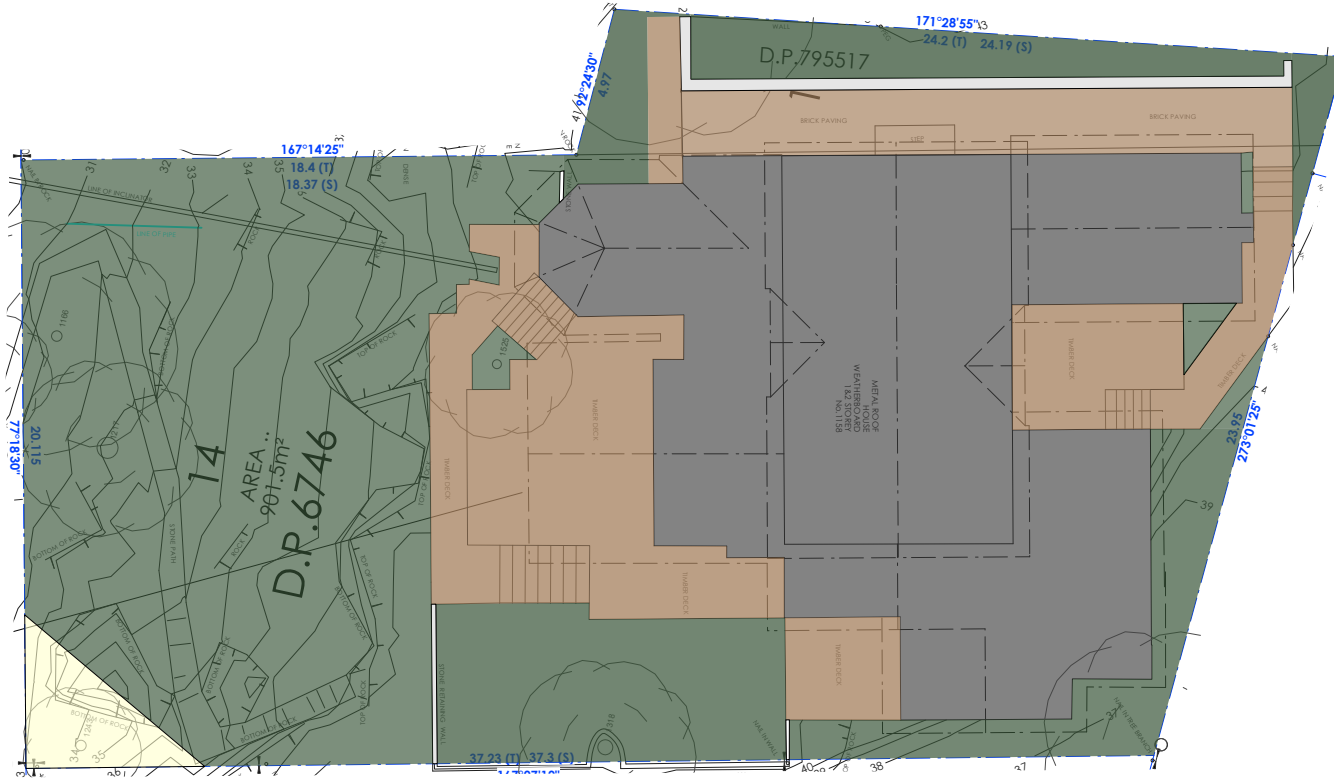
DATE 30/08/2024 DWG  
 SCALE AS NOTED @ A3 **DA-110**  
 DRAWN JGW/AC  
 JOB NO. 2328 ISSUE **H**

Issue	Description	Date
H	DA - Revisions	30/08/2024
G	Development Application - Revised	20/08/2024
F	Development Application	27/06/2024
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01

# Existing Site Area

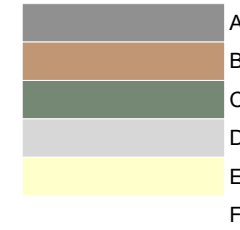
Scale: 1:250



## EXISTING

### SITE & LANDSCAPE AREAS

#### LEGEND



#### NAME

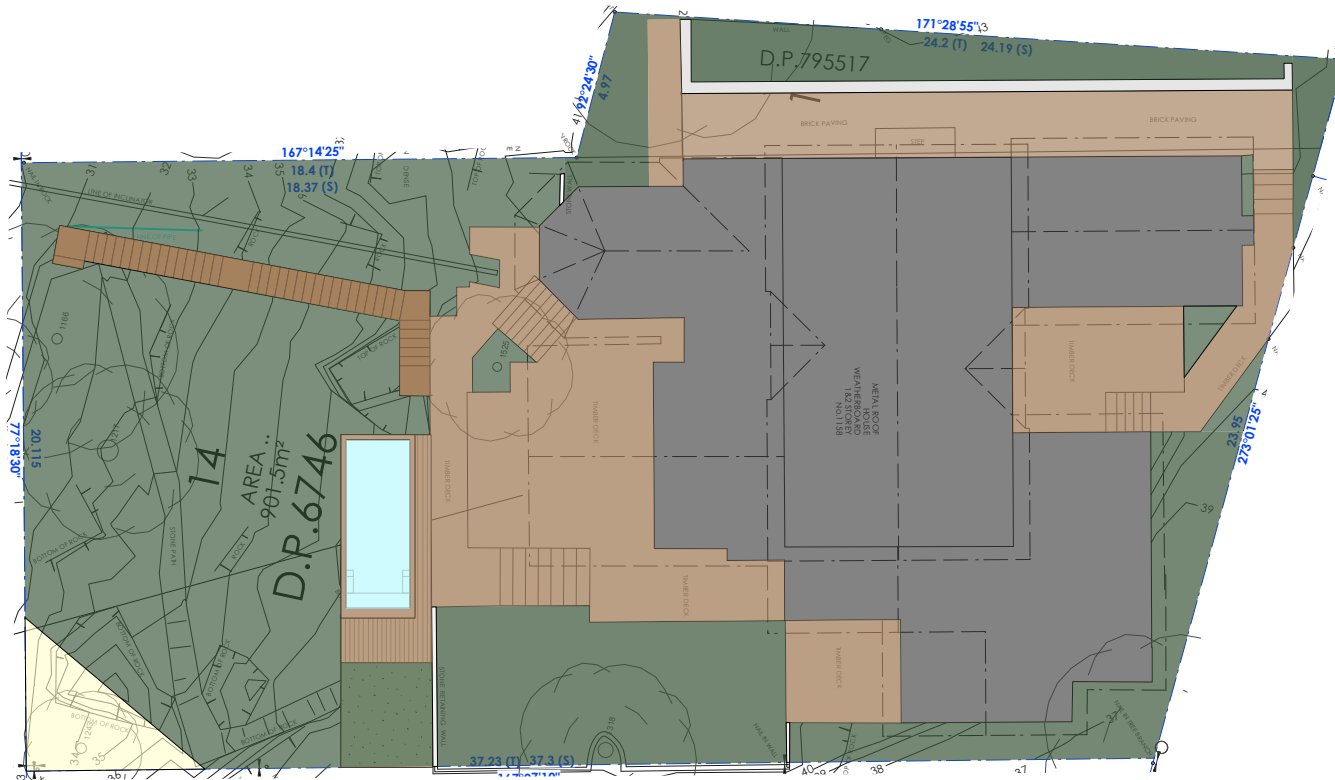
#### AREA (m2):

Site Area (From Survey)	-	<b>901.50</b>
Site Area (Minus SP2)	-	<b>886.50</b>
Built Form	-	275.70
Decks & Paving	-	186.20
Landscape	-	415.26
Landscape Walls	-	9.55
Area - SP2	-	15.00
6% Site Area - Impervious	-	53.19
Control 60% C4 Zone	-	531.90
		(Site Area minus SP2)
<b>Landscape Area</b>		<b>468.45</b>
		Landscape Area = (C + F)
		52.84%

02

# Proposed Site Area

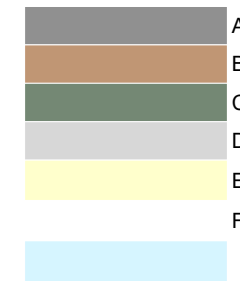
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## PROPOSED

### SITE & LANDSCAPE AREAS

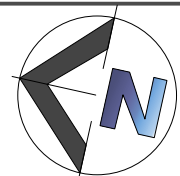
#### LEGEND



#### NAME

#### AREA (m2):

Site Area (From Survey)	-	<b>901.50</b>
Site Area (Minus SP2)	-	<b>886.50</b>
Built Form	-	275.70
Decks & Paving	-	212.16
Landscape	-	378.50
Landscape Walls	-	9.55
Area - SP2	-	15.00
6% Site Area - Impervious	-	53.19
Pool	-	11.70
Control 60% C4 Zone	-	531.90
		(Site Area minus SP2)
<b>Landscape Area</b>		<b>431.69</b>
		48.70%



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## Palm Beach Project

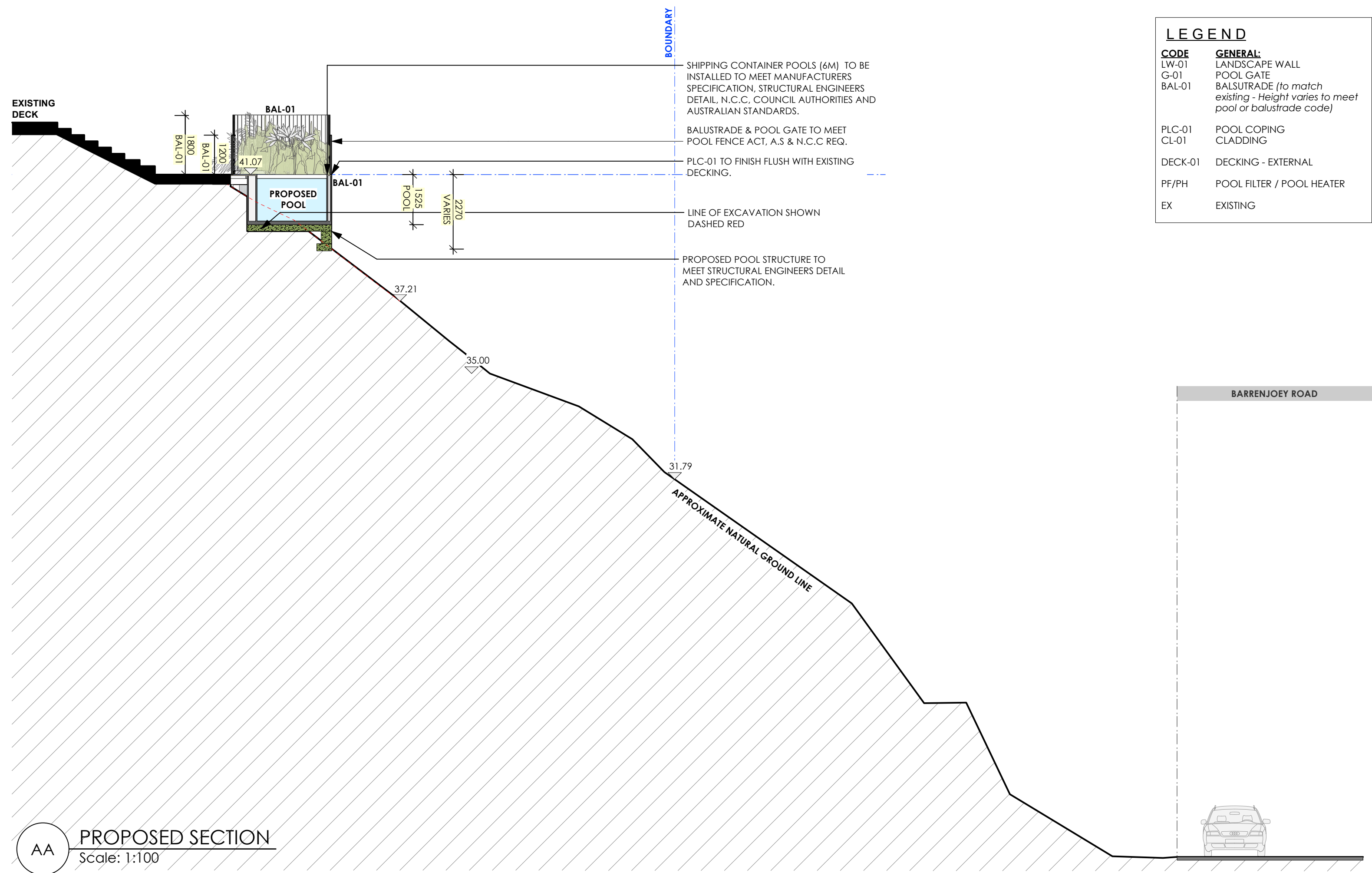
TITLE Site Calculations Plan  
 CLIENT Dayna Lemessurier  
 AT 1158 Barrenjoey Road, Palm Beach

DATE 30/08/2024  
 SCALE AS NOTED @ A3  
 DRAWN JGW/AC  
 JOB NO. 2328

DWG DA-111  
 ISSUE H

Issue	Description	Date
H	DA - Revisions	30/08/2024
G	Development Application - Revised	20/08/2024
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
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LEGEND	
CODE	GENERAL:
LW-01	LANDSCAPE WALL
G-01	POOL GATE
BAL-01	BALUSTRADE (to match existing - Height varies to meet pool or balustrade code)
PLC-01	POOL COPING
CL-01	CLADDING
DECK-01	DECKING - EXTERNAL
PF/PH	POOL FILTER / POOL HEATER
EX	EXISTING



**AA PROPOSED SECTION**  
Scale: 1:100

AA

**WRAY AND CUTCLIFFE**  
ARCHITECTS

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**Palm Beach Project**

**TITLE** Proposed Long Section AA

**CLIENT** Dayna Lemessurier

**AT** 1158 Barrenjoey Road, Palm Beach

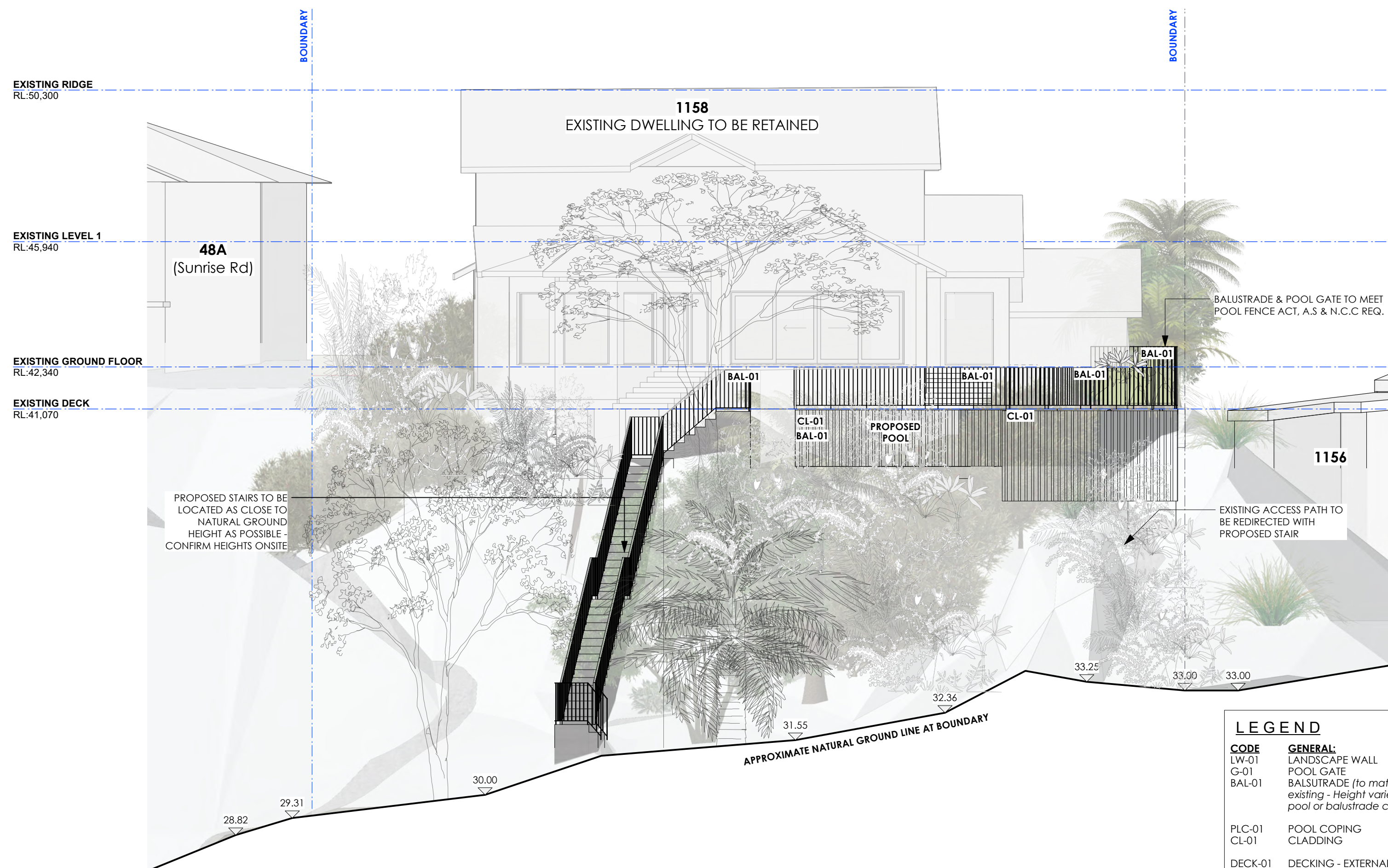
**DATE** 30/08/2024 **DWG**

**SCALE** AS NOTED @ A3 **DA-301**

**DRAWN** JGW/AC

**JOB NO.** 2328 **ISSUE H**

Issue	Description	Date
H	DA - Revisions	30/08/2024
G	Development Application - Revised	20/08/2024
F	Development Application	27/06/2024
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D	Schematic Design Issue	17/05/2024



01 Proposed Northern Elevation  
Scale: 1:100

LEGEND		
CODE	GENERAL:	
LW-01	LANDSCAPE WALL	
G-01	POOL GATE	
BAL-01	BALUSTRADE (to match existing - Height varies to meet pool or balustrade code)	
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DECK-01	DECKING - EXTERNAL	
PF/PH	POOL FILTER / POOL HEATER	
EX	EXISTING	

  
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<b>TITLE</b>	Proposed Northern Elevation
<b>CLIENT</b>	Dayna Lemessurier
<b>AT</b>	1158 Barrenjoey Road, Palm Beach

<b>DATE</b>	30/08/2024	<b>DWG</b>	
<b>SCALE</b>	ASNOTED@A3	<b>DA-401</b>	
<b>DRAWN</b>	JGW/AC	<b>ISSUE</b>	H
<b>JOB NO.</b>	2328		

Issue	Description	Date
H	DA - Revisions	30/08/2024
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EXISTING RIDGE  
RL:50,300

1158  
EXISTING  
DWELLING TO BE  
RETAINED

EXISTING LEVEL 1  
RL:45,940

EXISTING GROUND FLOOR  
RL:42,340

EXISTING DECK  
RL:41,070

BOUNDARY

42.02

42.02

40.73

40.00

41.07

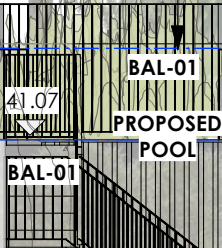
38.63

33.83

32.39

30.80

29.99



BAL-01

BAL-01

PROPOSED  
POOL

BALUSTRADE & POOL GATE TO MEET POOL  
FENCE ACT, A.S & N.C.C REQ.

PROPOSED  
STAIR

APPROXIMATE NATURAL GROUND  
LINE AT BOUNDARY

LEGEND		
CODE	GENERAL:	
LW-01	LANDSCAPE WALL	
G-01	POOL GATE	
BAL-01	BALUSTRADE (to match existing - Height varies to meet pool or balustrade code)	
PLC-01	POOL COPING	
CL-01	CLADDING	
DECK-01	DECKING - EXTERNAL	
PF/PH	POOL FILTER / POOL HEATER	
EX	EXISTING	

01 Proposed Eastern Elevation  
Scale: 1:100

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ARCHITECTS  
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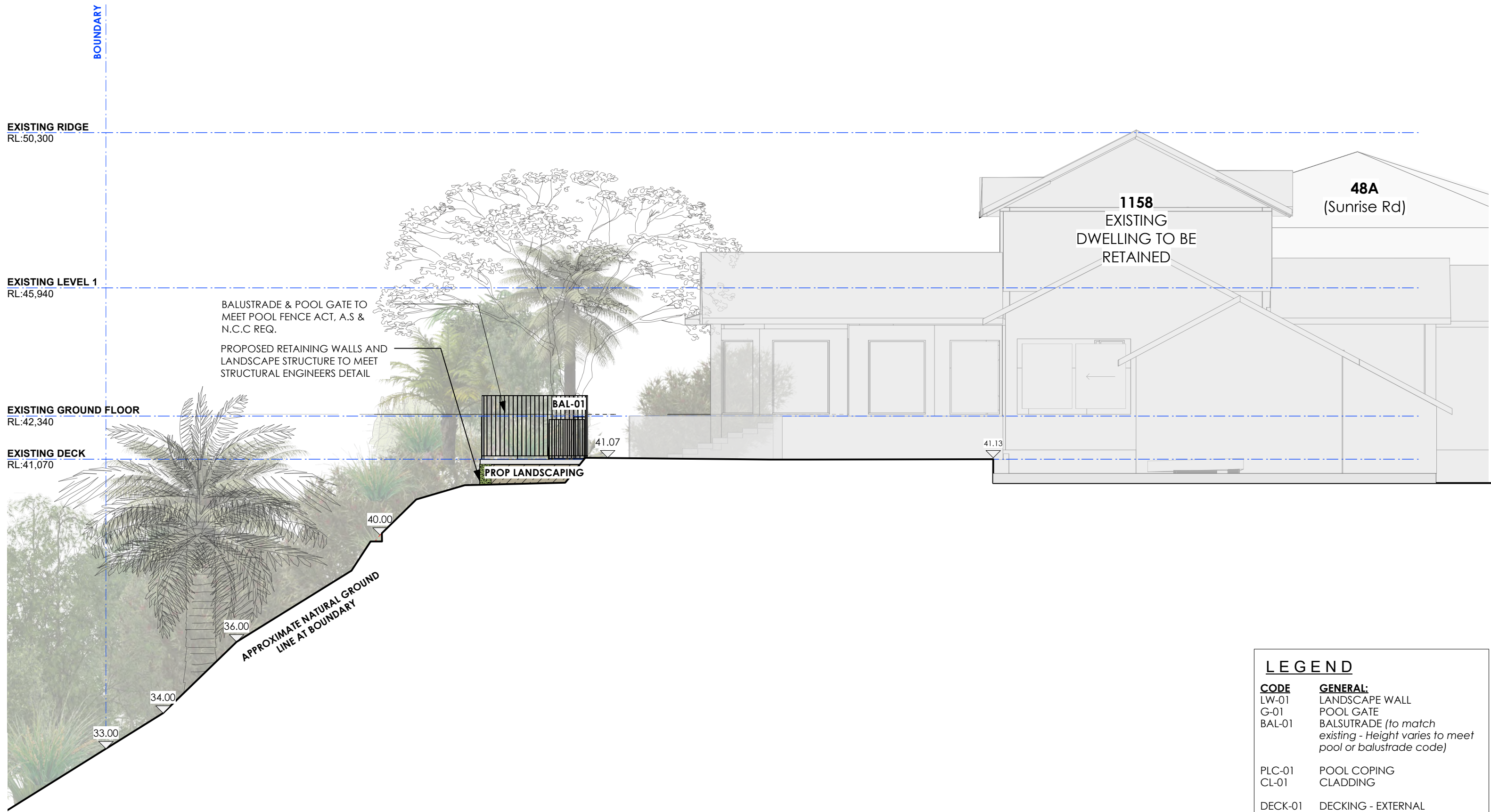
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\* Waterproof/ Weatherproofing Details to Master Builders Industry Guidelines and to meet performance standards as well as Australian Standards.

TITLE	Proposed Eastern Elevation
CLIENT	Dayna Lemessurier
AT	1158 Barrenjoey Road, Palm Beach

DATE	30/08/2024	DWG
SCALE	ASNOTED@A3	DA-402
DRAWN	JGW/AC	ISSUE H
JOB NO.	2328	

Issue	Description	Date
H	DA - Revisions	30/08/2024
G	Development Application - Revised	20/08/2024
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
D	Schematic Design Issue	17/05/2024





BALUSTRADE & POOL GATE TO MEET POOL FENCE ACT, A.S & N.C.C REQ.  
 PROPOSED RETAINING WALLS AND LANDSCAPE STRUCTURE TO MEET STRUCTURAL ENGINEERS DETAIL

BAL-01  
 PROP LANDSCAPING

1158  
 EXISTING  
 DWELLING TO BE  
 RETAINED

48A  
 (Sunrise Rd)

APPROXIMATE NATURAL GROUND  
 LINE AT BOUNDARY

LEGEND	
CODE	GENERAL:
LW-01	LANDSCAPE WALL
G-01	POOL GATE
BAL-01	BALUSTRADE (to match existing - Height varies to meet pool or balustrade code)
PLC-01	POOL COPING
CL-01	CLADDING
DECK-01	DECKING - EXTERNAL
PF/PH	POOL FILTER / POOL HEATER
EX	EXISTING

01 Proposed Western Elevation  
 Scale: 1:100

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<b>TITLE</b>	Proposed Western Elevation
<b>CLIENT</b>	Dayna Lemessurier
<b>AT</b>	1158 Barrenjoey Road, Palm Beach

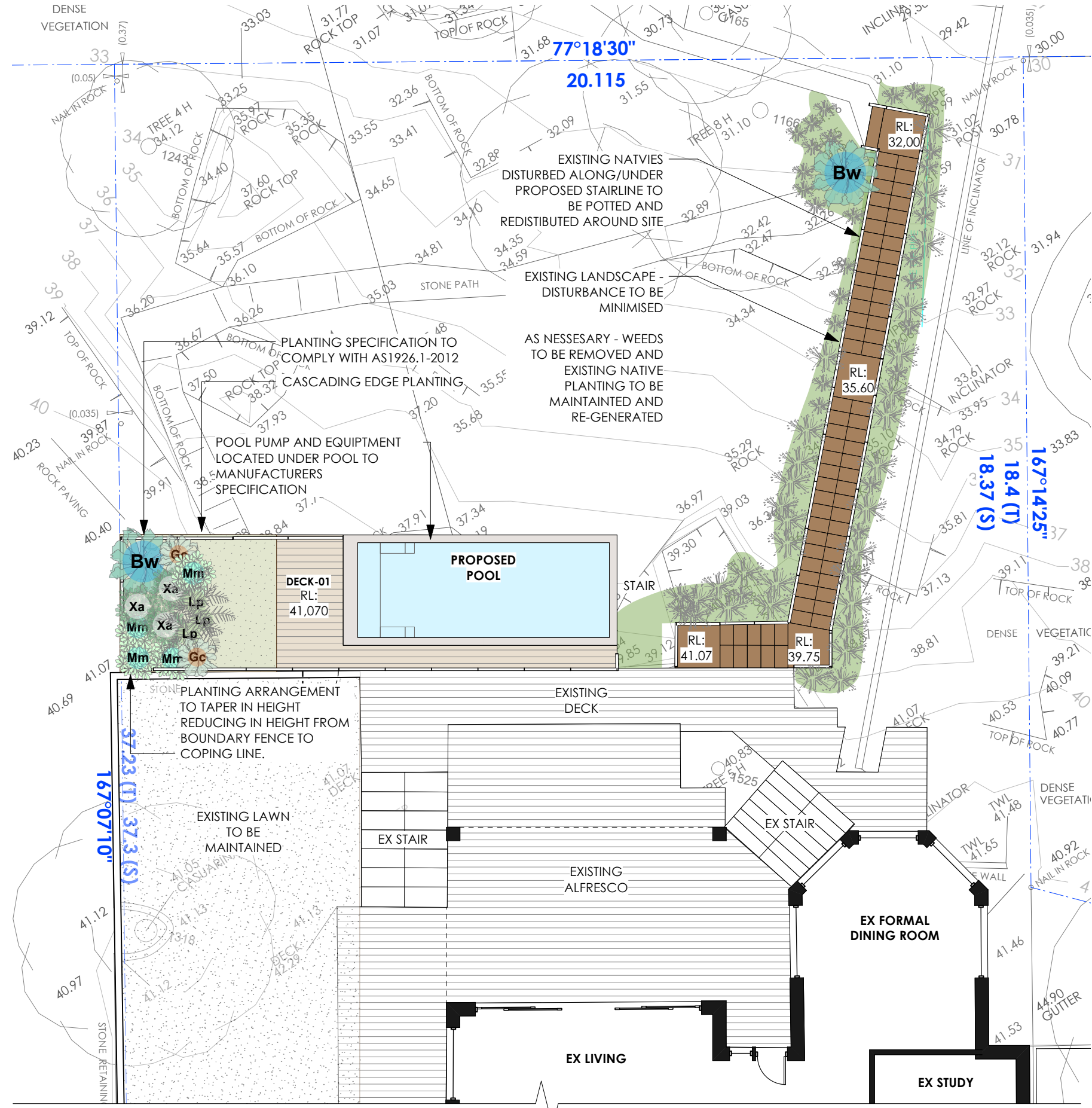
<b>DATE</b>	30/08/2024	<b>DWG</b>	
<b>SCALE</b>	ASNOTED@A3	<b>DA-403</b>	
<b>DRAWN</b>	JGW/AC	<b>ISSUE</b>	<b>H</b>
<b>JOB NO.</b>	2328		

Issue	Description	Date
H	DA - Revisions	30/08/2024
G	Development Application - Revised	20/08/2024
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
D	Schematic Design Issue	17/05/2024

# LANDSCAPE SCHEDULE:

LEGEND:	ID:	COMMON NAME:	LATIN NAME:	SPREAD:	HEIGHT:	POT SIZE:
	<b>Bw</b>	BURRAWANG	MACROZAMIA COMMUNIS	3 M	5 M	150mm
	<b>Gc</b>	COUSIN IT	'CASUARINA GLAUCA COUSIN'	1M	0.2M	150mm
	<b>Lp</b>	LITTLE PAL	LOMANDRA CONFERTIFOLI	2M	1M	150mm
	<b>Li</b>	DESIGNER VERDE	LIGULARIA	1M	1M	150mm
	<b>Mm</b>	MISS MUFFET	'PITOSPORUM'	1.5M	1M	150mm
	<b>Xa</b>	XANUDU	PHILODENDRON	0.7M	1M	150mm
<b>MIXED ROCKERY PLANTING: Refer to Northern Beaches 'Native Planting Guide'</b>						
		NATIVE VIOLET GROUND COVER	VIOLA HERACEA	1M	1M	150mm
		SEASPRAY	'DARWINIA CITRIODORA'	0.5-1m	0.5-1m	150mm
		SILVER LINING	'ADENANTHOS	1M	1M	150mm
		NATIVE GRASS	LOMANDRA SPP	1.5M	1.5M	150mm

# LANDSCAPE IMAGES:



## 01 PROPOSED LANDSCAPE PLAN

Scale: 1:100

**WRAY AND CUTCLIFFE**  
ARCHITECTS

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**Palm Beach Project**

TITLE	Landscape Plan and Schedule
CLIENT	Dayna Lemessurier
AT	1158 Barrenjoey Road, Palm Beach

DATE	30/08/2024	DWG	
SCALE	AS NOTED @ A3	<b>DA-502</b>	
DRAWN	JGW/AC	ISSUE	<b>H</b>
JOB NO.	2328		

Issue	Description	Date
H	DA - Revisions	30/08/2024
G	Development Application - Revised	20/08/2024
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
D	Schematic Design Issue	17/05/2024