



ALUMINIUM WINDOW & SLIDING DOOR FRAMES, LOUVRES, HOODS **POWDERCOATED**

DURALLOY ANOTEC - SILVER GREY MATT (27251272) OR SIMILAR



EXTERNAL TIMBER-LOOK FENCING



2 METAL DECK ROOF, **GUTTER, DOWNPIPE**

COLORBOND SURFMIST OR SIMILAR



ALUMINIUM PRIVACY SLATS

FIXED ALUMINIUM PRIVACY SCREENS



4 INTERPON POWDERCOAT

COLOUR - ANODIC BRONZE (GY114A) OR SIMILAR



BOWRAL BRICKS -

-'CHILLINGHAM WHITE' RUNNING BOND OR SIMILAR



6 ENTRANCE DOOR

DULUX PAINT RENDER COLOUR - PIPE CLAY (S16A1) OR SIMILAR



PLANTER BOX, **RETAINING WALL**

SANDSTONE



8 FENCE



9 SOFFIT

TIMBER-LOOK PANEL- URBANLINE SELEKTA CLAD (DARK CEDAR) OR SIMILAR



10 ENTRANCE PAVERS

BLUESTONE TILES

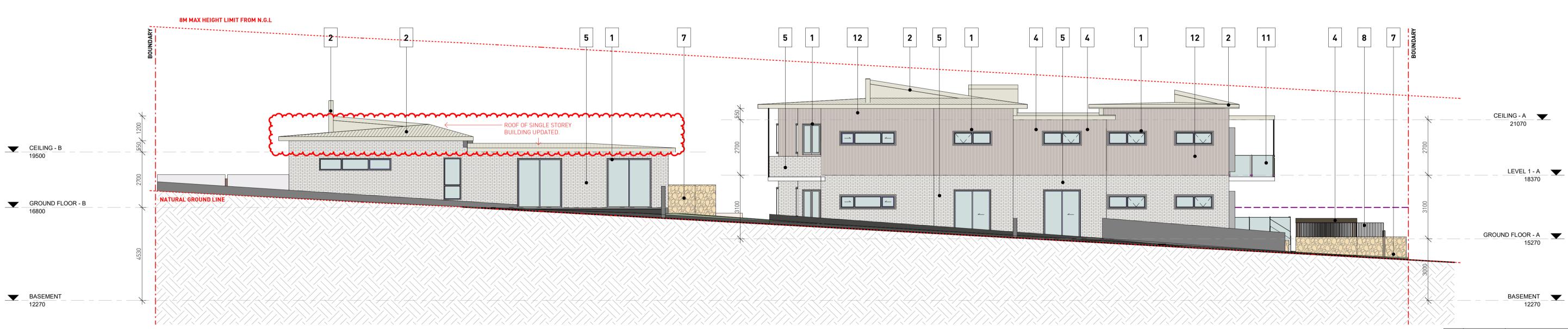


11 FRAMELESS GLASS BALUSTRADE



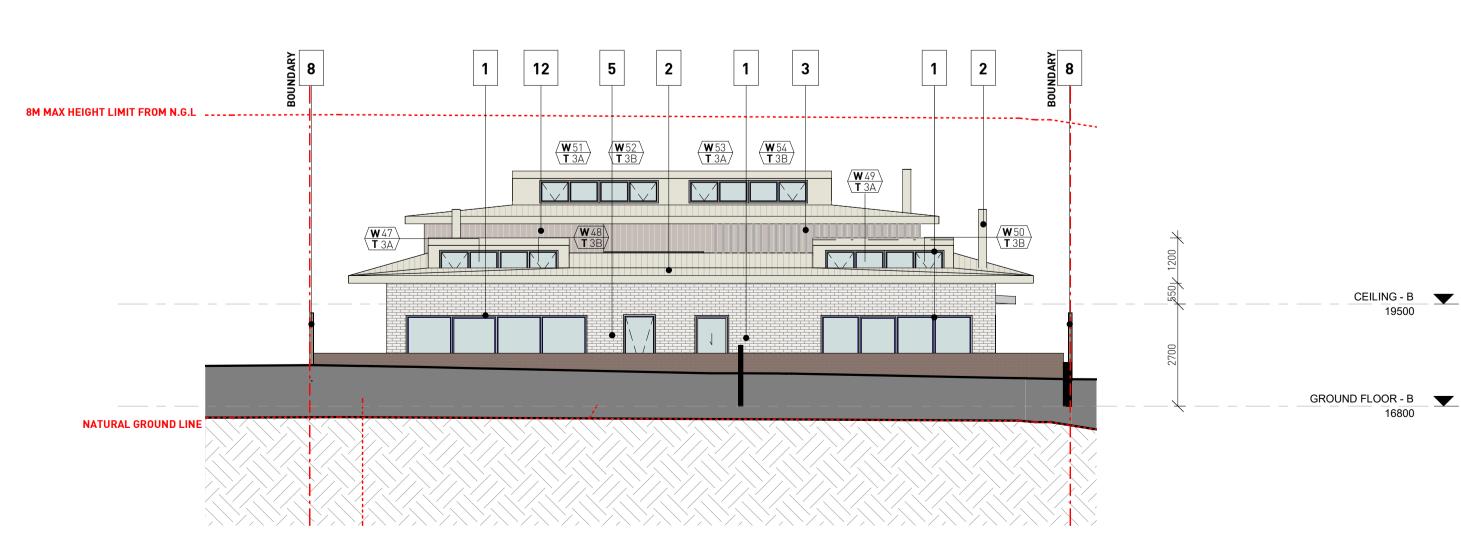
12 WEATHERTEX CLADDING

- WEATERGROOVE SMOOTH 75MM OR SIMILAR



PLANS APPROVED BY THE LAND AND **ENVIRONMENT COURT OF NSW** PROCEEDINGS NO: LEC2020/0034912 **DATED: 18 June 2021**

WEST ELEVATION



NORTH ELEVATION

ISSUED FOR APPROVAL ISSUED FOR APPROVAL 03/09/20 ISSUED FOR COORDINATION 01/09/20 31/08/20 ISSUED FOR COORDINATION 24/08/20 ISSUED FOR COORDINATION 21/08/20 ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED, BASEMENT AMENDED, WINDOW TAGS ADDED ISSUED FOR COORDINATION; REVISED PLANNING ITEMS ISSUED FOR COORDINATION 29/07/20 24/07/20 ISSUED FOR PRE-DA MEETING ISSUED FOR INFORMATION



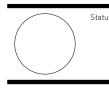
P 61 2 9264 5005 Nominated Architects: Mark G Broadley [5823] Stuart D Hill [6459] Michael Aaron Vega [8004]

Verify all dimensions on site prior to commencement of work. Refer all discrepancies to the Architect for determination. Use figured dimensions in preference to scaling. This drawing is copyright and must not be retained, copied or used without the written consent of Giles Tribe Architects.

Built Property

54 BARDO ROAD NEWPORT 2106 NSW

NORTH & WEST ELEVATIONS

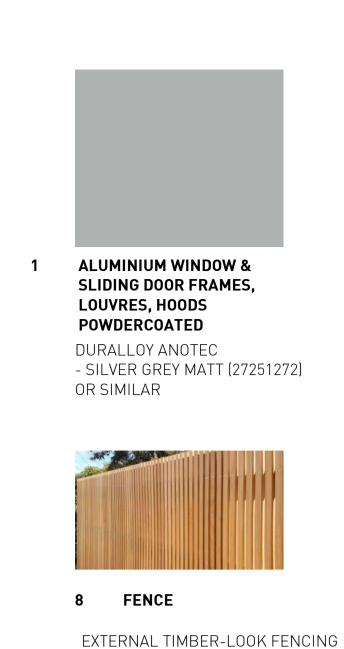


Drawn: YL

06/19/20

²⁰⁰⁵⁵ **DA010 J** Reviewed VY







TIMBER-LOOK PANEL- URBANLINE

2DA011

METAL DECK ROOF,

GUTTER, DOWNPIPE

COLORBOND SURFMIST OR SIMILAR



ALUMINIUM PRIVACY SLATS

FIXED ALUMINIUM

PRIVACY SCREENS

BLUESTONE TILES



4 INTERPON POWDERCOAT

COLOUR - ANODIC BRONZE

(GY114A) OR SIMILAR





BOWRAL BRICKS -

-'CHILLINGHAM WHITE'

RUNNING BOND OR SIMILAR

ENTRANCE DOOR

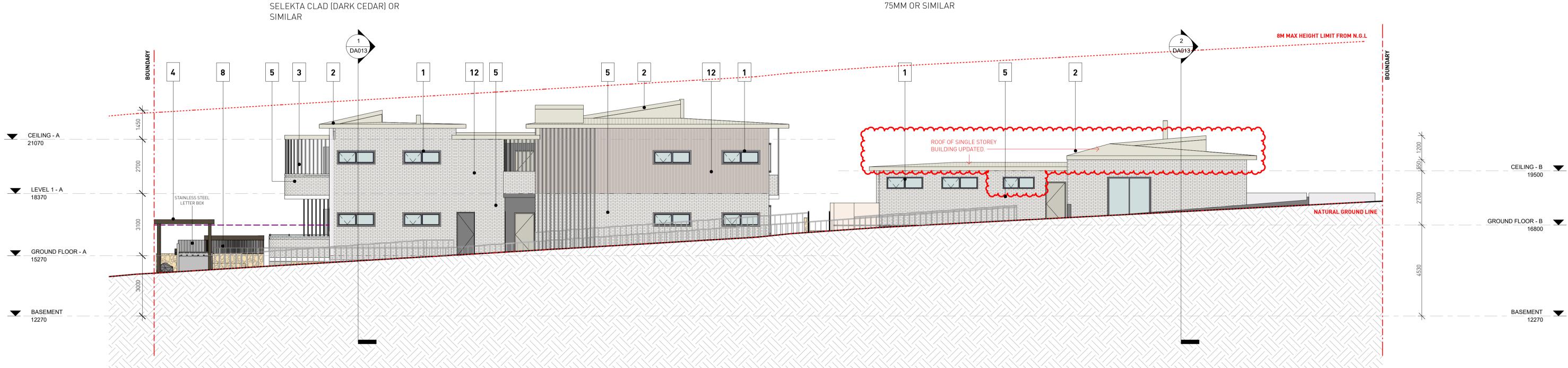
DULUX PAINT RENDER COLOUR

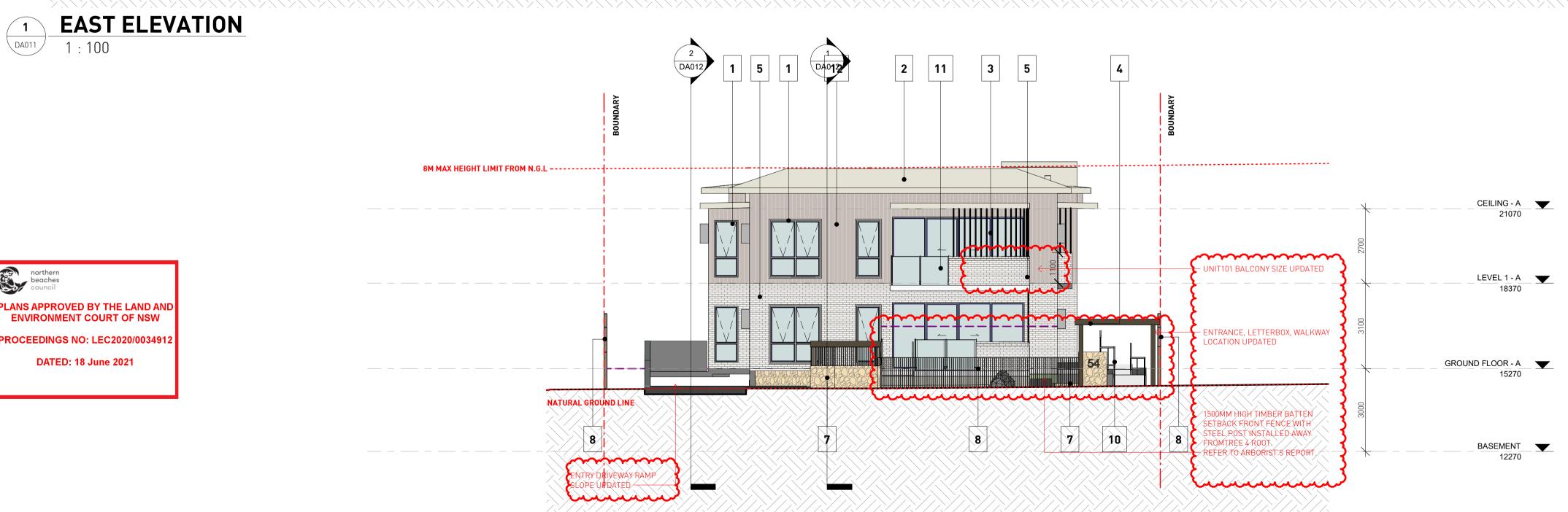
- PIPE CLAY (S16A1) OR SIMILAR

PLANTER BOX,

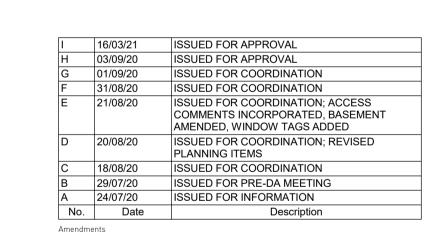
SANDSTONE

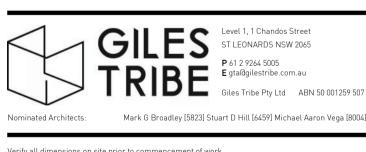
RETAINING WALL











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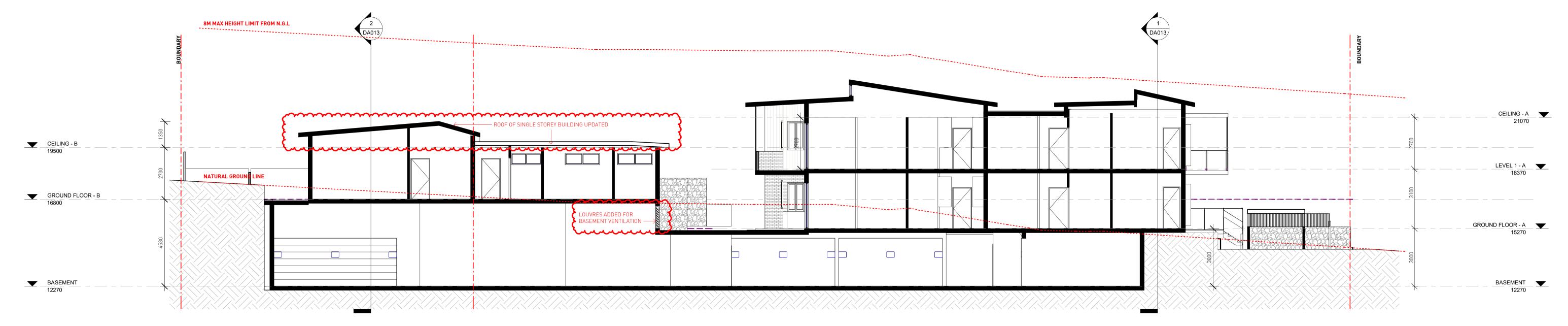
Built Property

54 BARDO ROAD NEWPORT 2106 NSW

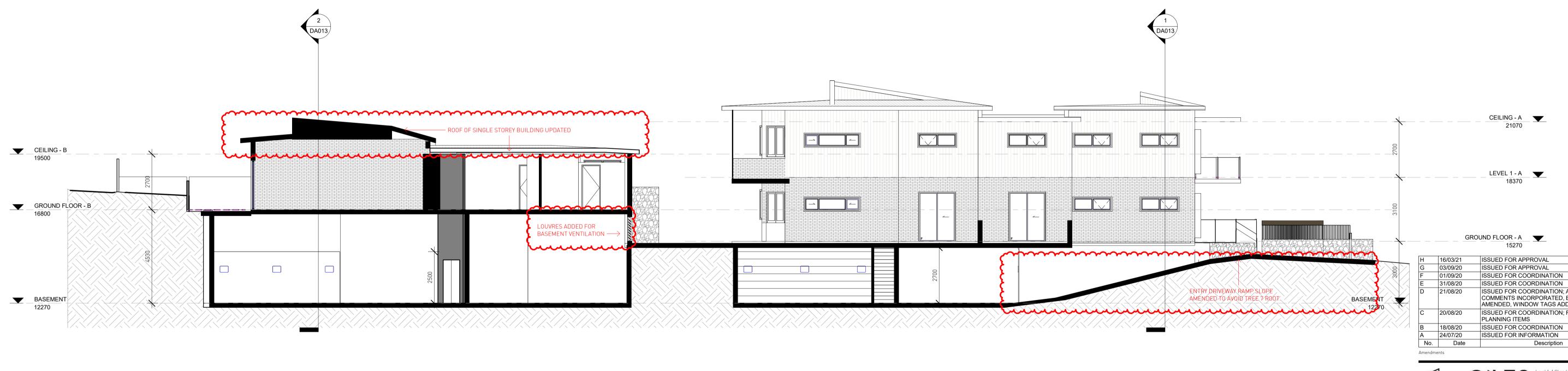
SOUTH & EAST ELEVATIONS



²⁰⁰⁵⁵ **DA011I** 06/19/20 Reviewed VY

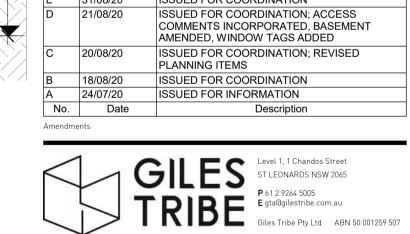






SECTION BB1:100





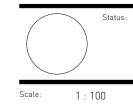
Nominated Architects: Mark G Broadley [5823] Stuart D Hill [6459] Michael Aaron Vega [8004] Verify all dimensions on site prior to commencement of work. Refer all discrepancies to the Architect for determination.

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Built Property

54 BARDO ROAD NEWPORT 2106 NSW

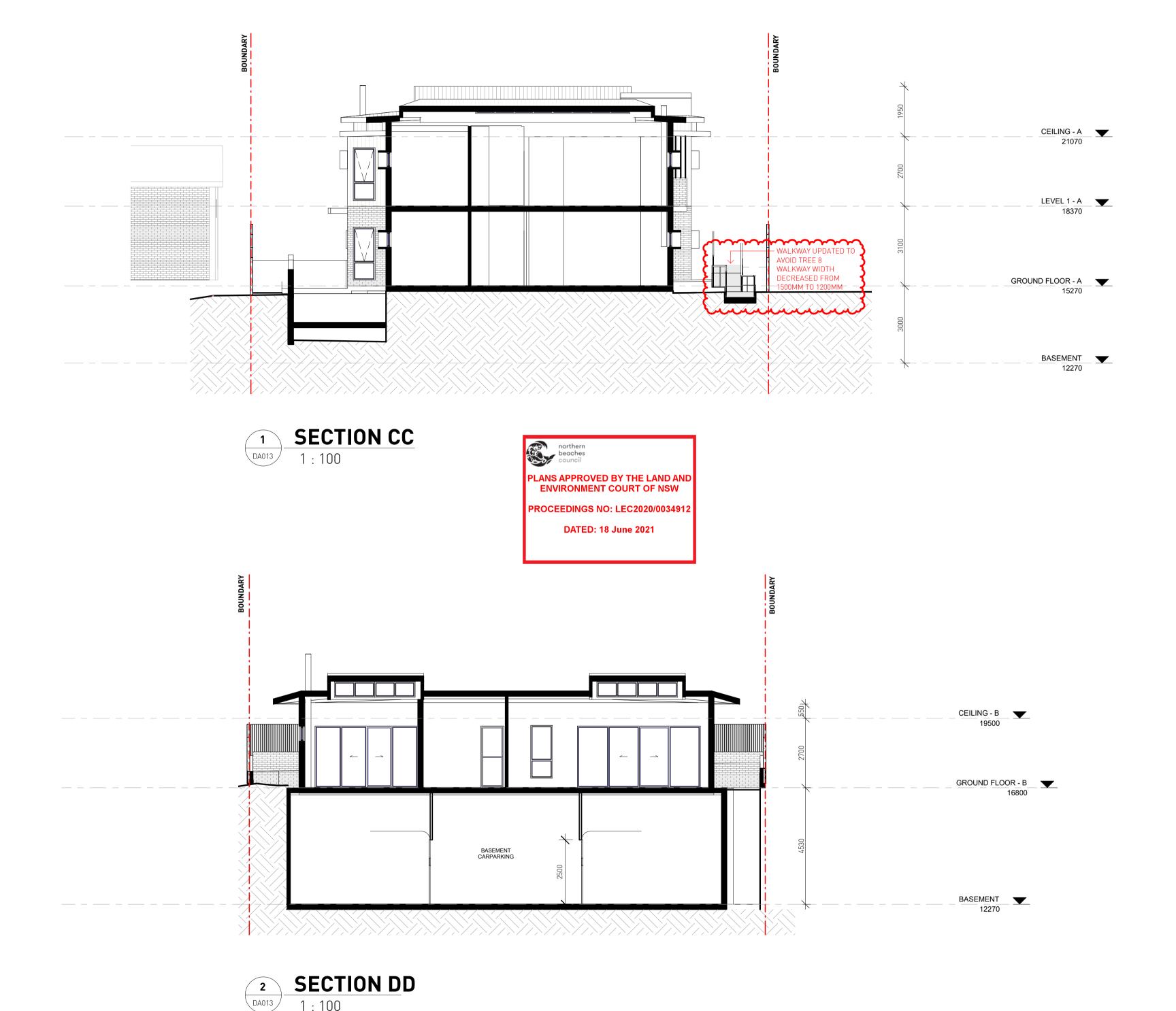
SECTION AA & BB

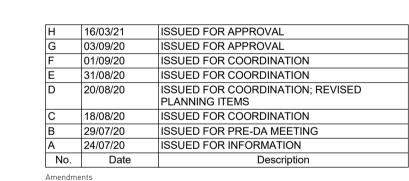


FOR APPROVAL

Date: 06/19/20 Drawn: YL

²⁰⁰⁵⁵ **DA012 H** Reviewed VY







Nominated Architects: Mark G Broadley [5823] Stuart D Hill [6459] Michael Aaron Vega [8004]

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Built Property

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SECTION CC & DD

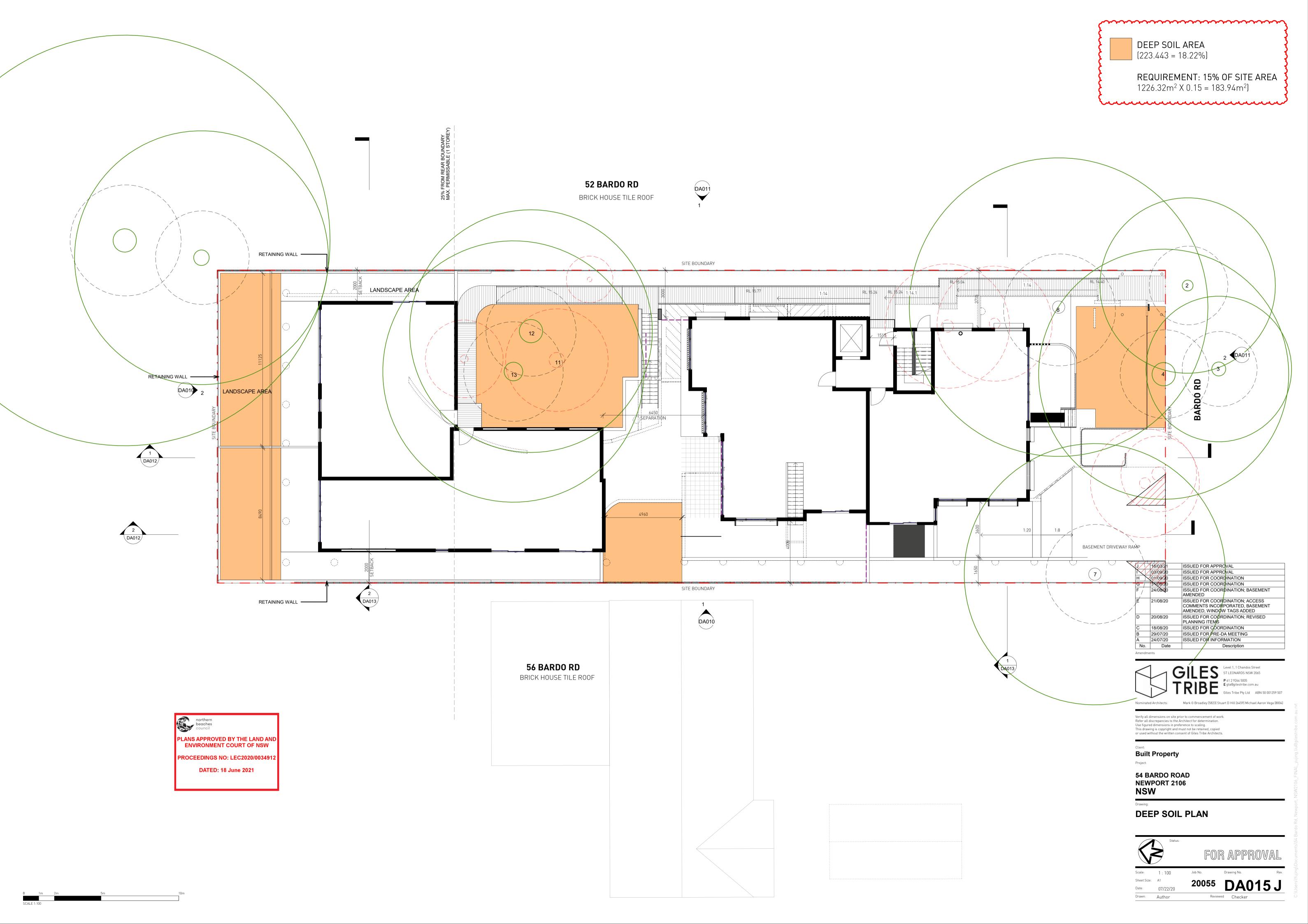


Drawn: YL

Date: 06/19/20

²⁰⁰⁵⁵ **DA013 H**

Reviewed VY



WINDOW SCHEDULE

TYPE 8

TYPE 9

TYPE 10

TYPE 11

TYPE 7

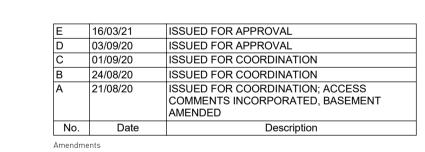


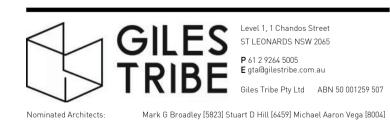
TYPE 12

TYPE 13

LEGEND

F FIXED F.L FLOOR LEVEL





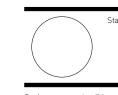
Verify all dimensions on site prior to commencement of work.
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Ctient:
Built Property

Project:

54 BARDO ROAD
NEWPORT 2106

WINDOW SCHEDULE



Drawn: YL

NSW

FOR APPROVAL

Scale: 1:50
Sheet Size: A1
Date: 08/20/20

 Job No.
 Drawing No.
 Rev.

 20055
 DA019
 E

 Reviewed
 VY



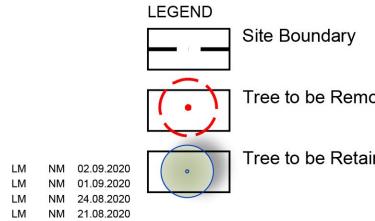
NOT FOR CONSTRUCTION

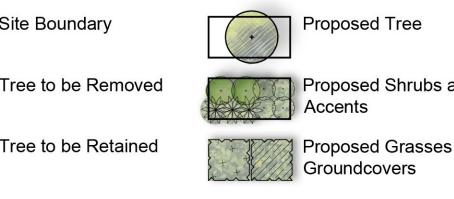
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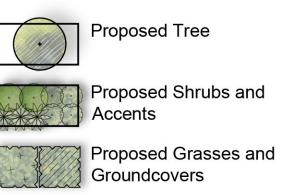
The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

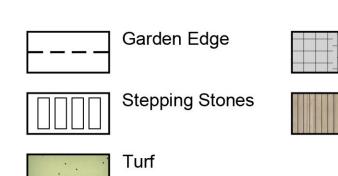
For submisson For submisson Draft for comment A Draft for comment Issue Revision Description

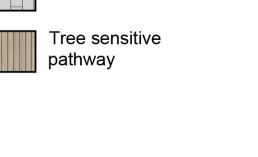
Drawn Check Date











Paving

SITE IMAGE Client: Landscape Architects Level 1, 3-5 Baptist Street Redfern NSW 2016 Australia Newport 2106 Tel: (61 2) 8332 5600 Fax: (61 2) 9698 2877

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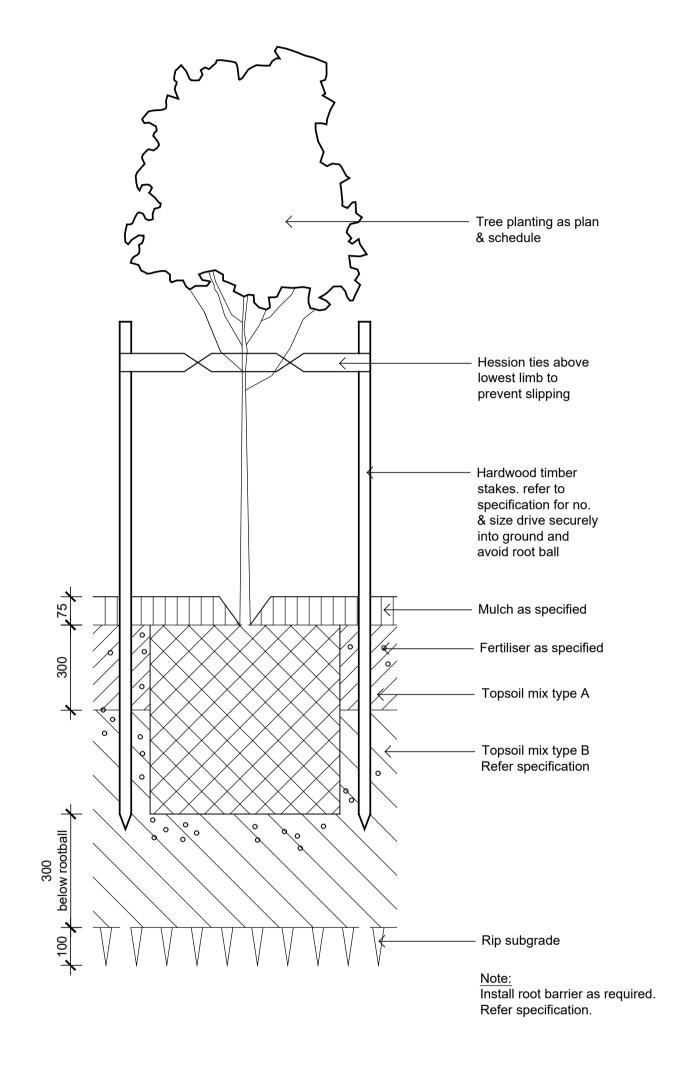
Built Property 54 Bardo Road

Landscape Plan

DEVELOPMENT APPLICATION Job Number: Drawing Number: SS20-4484 101 D

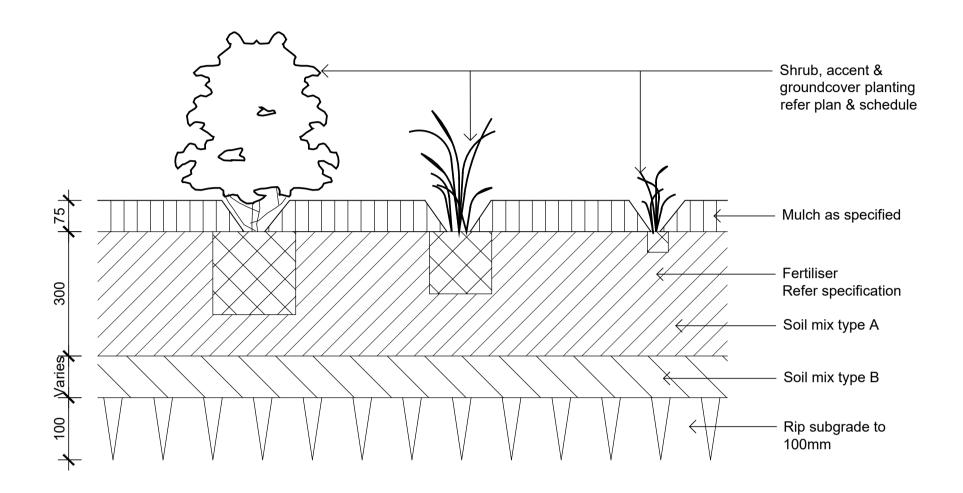
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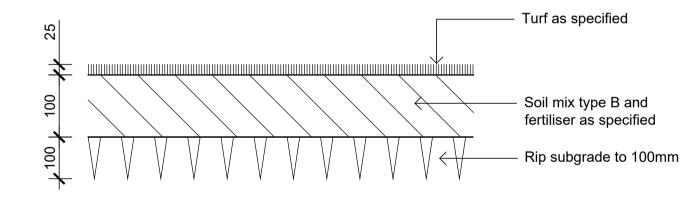


Detail 75-200L Tree Planting on Grade

LEGEND



Detail Shrub Accent & Groundcover Planting on Grade



Detail Turf on Even Grade

NOT FOR CONSTRUCTION

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For Development Application For submission B Draft for comment

A Draft for comment Issue Revision Description

KP NM 18.03.2021 LM NM 01.09.2020 LM NM 24.08.2020 LM NM 21.08.2020 Drawn Check Date



Built Property

54 Bardo Road Newport 2106

Landscape Details

DEVELOPMENT APPLICATION

Job Number:

Drawing Number: SS20-4484 501 D