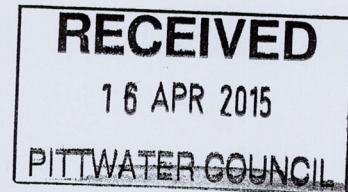


14 April 2015



General Manager  
Pittwater Council  
PO Box 882  
Mona Vale NSW 1660

Dear Sir/Madam,

**Development Application No. N0421/14  
292 Hudson Parade, Clareville**

---

For Council's information, please find enclosed Construction Certificate No. 2015/5453 issued for stage 1: alterations and additions to the existing dwelling (excluding front fence) at the above address, accompanied by:

- Copy of Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Home Warranty Insurance Certificate
- Cheque for \$36.00 being the prescribed fee to receive the above certificate.

**NB:** Please forward receipt for the above fee to **Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660.**

Yours Faithfully,

A handwritten signature in cursive script that reads "Tom Bowden".

**Tom Bowden  
Insight Building Certifiers Pty Ltd**

16/4/15 PRVC \$36-00 Rec: 376851 P: 35713



# Construction Certificate Determination

issued under the Environmental  
Planning and Assessment Act 1979  
Section 109C (1) (b), 81A (2) and 81A (4)

**Certificate No. 2015/5453**

<b>Council</b>	Pittwater
<b>Determination</b> Date of issue	14 April 2015
<b>Subject land</b> Address Lot No, DP No.	292 Hudson Parade, Clareville Lot 10 DP 228119
<b>Applicant</b> Name Address Contact No.	Mr Alan & Mrs Donna Priestley 292 Hudson Parade, Clareville NSW 2107 0405 319 174
<b>Owner</b> Name Address Contact No.	Mr Alan & Mrs Donna Priestley 292 Hudson Parade, Clareville NSW 2107 0405 319 174
<b>Description of Development</b> Type of Work	Stage 1: Alterations & Additions to the Existing Dwelling (Excluding Front Fence)
<b>Builder or Owner/Builder</b> Name Contractor Licence No/Permit	MD & D McDonald 189326C
<b>Value of Work</b> Building	\$992,203.00

## Attachments

- Copy of completed Construction Certificate Application Form
- Long Service Corporation receipt no. 194896 dated 20 March 2015
- BASIX Certificate no. A202607 dated 3 November 2014
- Driveway Access Profiles issued by Pittwater Council dated 30 January 2015
- Section 139 Consent issued by Pittwater Council dated 26 March 2015



## Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp.

- Architectural Plans & Construction Specification reference no. 1325, drawing no's. DA01 (REV A), DA02, DA03, DA04 (REV A), DA05, DA06, DA07 (REV A), DA08 & DA10, prepared by JAH Design Services dated October 2014
- Structural Details reference no's. P-11-263092-2A & P-11-263092-3 prepared & endorsed by Civil & Structural Engineering Design Services Pty Ltd dated 12 December 2014
- Completed Form 2 (Parts A & B) of Pittwater Council Geotechnical Risk Management Policy, endorsed by Civil & Structural Engineering Design Services Pty Ltd dated 5 November 2014 & 4 November 2014, respectively
- Stormwater Management Details drawing no. P-11-263092 prepared & endorsed by Civil & Structural Engineering Design Services Pty Ltd dated 19 November 2014
- Schedule of External Finishes & Materials prepared by unknown, undated
- Sydney Water approval dated 27 March 2015

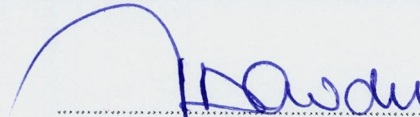
## Certificate

I hereby certify that the above Plans, documents or Certificates, satisfy:

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signed



Date of endorsement  
Certificate No.

14 APR 2015  
2015/5453

### Certifying Authority

Name of Accredited Certifier  
Accreditation No.  
Accreditation Authority  
Contact No.  
Address

Tom Bowden  
BPB0042  
Building Professionals Board  
(02) 9999 0003  
13/90 Mona Vale Road, Mona Vale NSW 2103

### Development Consent

Development Application No.  
Date of Determination

N0421/14  
5 March 2015

### BCA Classification

1a & 10a



20 MAR 2015

# APPLICATION FOR A CONSTRUCTION CERTIFICATE

Environmental Planning and Assessment Act 1979 & Environmental Planning and Assessment Regulation 2000

## Description of Building Work

Stage 1: ALTERATIONS AND ADDITIONS ONLY

## Estimated cost of work

\$992,203.00

## BCA Classification(s)

1a & 10a

## Development Consent Reference no.

N0421/14

## Date of Issue

5/3/2015

## Modified Consent Reference no. (if applicable)

## Date of Issue (if applicable)

## Property Address

Unit/Street no.

292

Street name

HUDSON PARADE

Suburb

CLAREVILLE

Post code

2107

Lot no.

10

DP no.

228119

## Accompanying Documents

- i. Appropriate Architectural Plans and Specifications
- ii. All information required by Part 3 of Schedule 1 Forms of the Regulation (see over)

I/We, the owner/s of the abovementioned property, hereby make application to Tom Bowden/Heath McNab of Insight Building Certifiers Pty Ltd ('Insight') for a Construction Certificate for the building work described above and, in doing so, I/we also declare that the documents provided and asserted by me as a copy of a development consent and incorporated plans are a true copy of same as issued by the relevant consent authority or the Land and Environment Court.

Owner 1 Name:

ALAN PRIESTLEY

Owner 2 Name:

DONNA PRIESTLEY

Owner's Signature:

*Alan Priestley*

Owner's Signature:

*Donna Priestley*

Date:

20/3/2015

Date:

20/3/2015

Owner's Address:

292 HUDSON PARADE CLAREVILLE

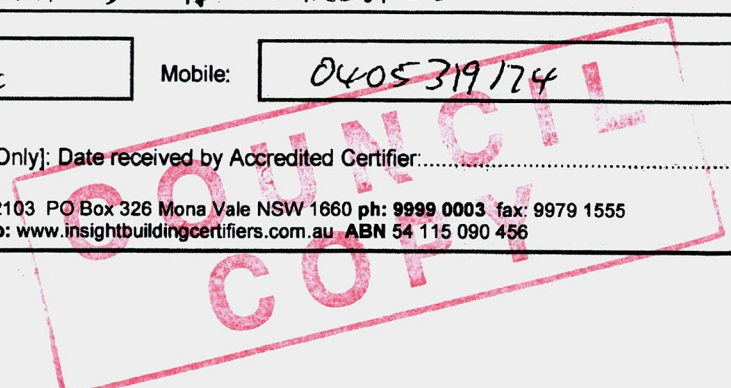
Daytime Telephone:

0405 319174

Mobile:

0405 319174

[Office Use Only]: Date received by Accredited Certifier: .....





## Environmental Planning & Assessment Regulations 2000

### Schedule 1 – Part 3(6) – Documents to accompany application for Construction Certificates

- (1) An application for a construction certificate must be accompanied by the following documents:
    - (a) if the development involves building work (including work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house):
      - (i) a detailed description of the development, and
      - (ii) appropriate building work plans and specifications,
    - (b) if the development involves building work (other than work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house or work that relates only to fire link conversion):
      - (i) a list of any existing fire safety measures provided in relation to the land or any existing building on the land, and
      - (ii) a list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work,
    - (c) if the development involves subdivision work, appropriate subdivision work plans and specifications,
    - (d) in the case of development to which clause 6A applies, such other documents as any BASIX certificate for the development requires to accompany the application.
  - (2) A detailed description of the development referred to in subclause (1) (a) (i) must indicate the following matters:
    - (a) for each proposed new building:
      - (i) the number of storeys (including underground storeys) in the building,
      - (ii) the gross floor area of the building (in square metres),
      - (iii) the gross site area of the land on which the building is to be erected (in square metres),
    - (b) for each proposed new residential building:
      - (i) the number of existing dwellings on the land on which the new building is to be erected,
      - (ii) the number of those existing dwellings that are to be demolished in connection with the erection of the new building,
      - (iii) the number of dwellings to be included in the new building,
      - (iv) whether the new building is to be attached to any existing building,
      - (v) whether the new building is to be attached to any other new building,
      - (vi) whether the land contains a dual occupancy,
      - (vii) the materials to be used in the construction of the new building (using the abbreviations set out in clause 7 of this Schedule).
  - (3) Appropriate building work plans and specifications referred to in subclause (1) (a) (ii) include the following:
    - (a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that show:
      - (i) a plan of each floor section, and
      - (ii) a plan of each elevation of the building, and
      - (iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground, and
      - (iv) the height, design, construction and provision for fire safety and fire resistance (if any),
    - (b) Specifications for the development:
      - (i) that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and
      - (ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used,
    - (c) a statement as to how the performance requirements of the *Building Code of Australia* are to be complied with (if an alternative solution, to meet the performance requirements, is to be used),
    - (d) a description of any accredited building product or system sought to be relied on for the purposes of section 79C (4) of the Act,
    - (e) copies of any compliance certificate to be relied on,
    - (f) if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building,
    - (g) in the case of development to which clause 6A applies, such other matters as any BASIX certificate for the development requires to be included in the plans and specifications.
  - (3A) An application for a construction certificate that relates only to fire link conversion need only be accompanied by a document that describes the design and construction, and mode of operation, of the new fire alarm communication link.
  - (4) Appropriate subdivision work plans and specifications referred to in subclause (1) (c) include the following:
    - (a) details of the existing and proposed subdivision pattern (including the number of lots and the location of roads),
    - (b) details as to which public authorities have been consulted with as to the provision of utility services to the land concerned,
    - (c) details engineering plans as to the following matters:
      - (i) earthworks,
      - (ii) roadworks,
      - (iii) road pavement,
      - (iv) road furnishings,
      - (v) stormwater drainage,
      - (vi) water supply works,
      - (vii) sewerage works,
      - (viii) landscaping works,
      - (ix) erosion control works,
    - (d) copies of any compliance certificates to be relied on.
- 6A BASIX certificate required for certain development**
- (1) This clause applies to:
    - (a) BASIX affected development, and
    - (b) BASIX optional development in relation to which a person made a development application that has been accompanied by a BASIX certificate or BASIX certificates (despite there being no obligation under clause 2A for it to be so accompanied).
  - (2) In addition to the documents required by clause 6, an application for a construction certificate for any development to which this clause applies must also be accompanied by a BASIX certificate or BASIX certificates for the development, being either the BASIX certificate applicable to the development when the relevant development consent was granted or some other BASIX certificate or BASIX certificates that has or have been issued no earlier than 3 months before the date on which the application is made.
  - (3) If the proposed development involves the alteration, enlargement or extension of a BASIX affected building that contains more than one dwelling, a separate BASIX certificate is required for each dwelling concerned.





# Levy Online Payment Receipt

Building and Construction

ALAN & DONNA PRIESTLEY  
292 HUDSON PDE  
CLAREVILLE NSW 2107

## Application Details:

Applicant Name:	ALAN & DONNA PRIESTLEY
Levy Number:	5089381
Application Type:	CC
Application Number:	N0421/14
Approving Authority:	PITTWATER COUNCIL

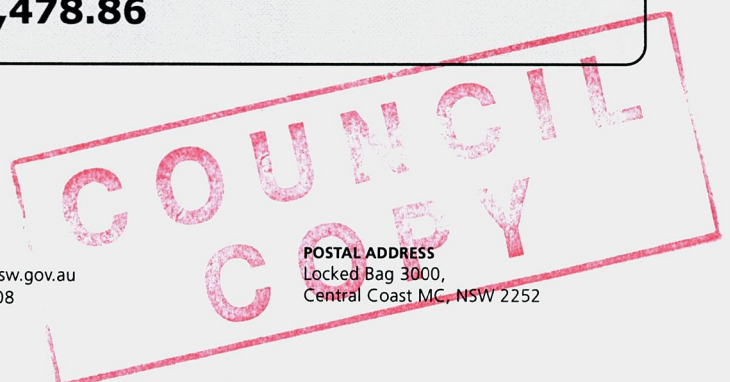
## Work Details:

Site Address:	292 HUDSON PDE CLAREVILLE NSW 2107
Value of work:	\$990,000
Levy Due:	\$3,465.00

## Payment Details:

LSC Receipt Number:	194896
Payment Date:	20/03/2015 10:13:42 AM
Bank Payment Reference:	793963168
Levy Paid:	\$3,465.00
Credit card surcharge:	\$13.86
<b>Total Payment Received:</b>	<b>\$3,478.86</b>

This plan / document  
forms part of  
Construction Certificate  
no. 2015 / 5453





# BASIX<sup>®</sup> Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

Certificate number: A202607

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 18/09/2014 published by Planning & Infrastructure. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Director-General

Date of issue: Monday, 03, November 2014

To be valid, this certificate must be lodged within 3 months of the date of issue.



**Planning & Infrastructure**

### Description of project

<b>Project address</b>	
Project name	MR. & MRS. PRIESTLEY
Street address	292 Hudson Parade Clareville 2107
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 228119
Lot number	10
Section number	0
<b>Project type</b>	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

This plan / document forms part of Construction Certificate no. 2015 / 5453

<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)
Name / Company Name: JAH Design Services
ABN (if applicable): 22630690834

**COUNCIL COPY**



**Fixtures and systems**

	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Hot water</b>			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	✓	✓	✓
<b>Fixtures</b>			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	✓	✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	✓	✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	✓	✓	✓



**Construction**

Show on DA Plans

Show on CC/CDC Plans & specs

Certifier Check

**Insulation requirements**

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications	✓	✓	✓
concrete slab on ground floor.	nil				
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)				
external wall: cavity brick	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
flat ceiling, flat roof: framed	ceiling: R2.08 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			



## Glazing requirements

## Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

## Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
W1	SE	1.575	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	✓	✓	✓
W2	SE	1.575	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	✓	✓	✓
W3	SE	1.575	0	0	eave/verandah/pergola/balcony	standard aluminium, single clear, (or	✓	✓	✓



## Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
W4	SE	1.575	0	0	>=600 mm eave/verandah/pergola/balcony	U-value: 7.63, SHGC: 0.75) standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	NW	4.455	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W5A, W8A	NE	3.96	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W5B, W8B	SW	3.96	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W6	NW	1.89	0	0	>=900 mm eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W7	NW	1.89	0	0	>=900 mm eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W8	NW	4.455	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W9	NE	1.92	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W10	NE	1.125	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W11	NW	4.455	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W11A, W11B	NW	3.96	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W11B, W11C	NW	3.96	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W12	NW	1.575	0	0	eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			



## Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
W13	NW	4.455	0	0	>=900 mm eave/verandah/pergola/balcony	U-value: 7.63, SHGC: 0.75) standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W14	NE	1.89	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W15	NE	0.787	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W16	NE	4.56	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W17	SE	1.6	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W18	SE	1.6	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W19	SW	4.56	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W20	NW	5.83	0	0	>=600 mm eave/verandah/pergola/balcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D1	SE	2.64	0	0	>=900 mm eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D2	NW	10.08	0	0	>=900 mm eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D3	SW	6.72	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D4	SE	5.67	0	0	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D5	NW	10.08	0	0	eave/verandah/pergola/balcony	standard aluminium, single clear, (or U-value: 5.7, SHGC: 0.47)			



## Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
D6	SW	5.04	0	0	>=900 mm eave/verandah/pergola/balcony	U-value: 7.63, SHGC: 0.75 standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D7	SE	2.94	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D8	NE	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D9	NE	5.67	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			



## Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.





# PITTWATER COUNCIL

## Information for Access Driveway Profiles 1 July 2014 – 30 June 2015

To: Alan and Donna Priestley  
Postal Address: 292 Hudson Parade  
Clareville

Date: 30 January 2015

Receipt No: 373356  
Amount: \$220

### ACCESS DRIVEWAY PROFILE AT: 292 Hudson Parade Clareville 2107

- The proposed vehicular access driveway profile shall be as per the enclosed plan Extra Low
- **Type of Construction:** Domestic
  - **For Residential single & dual occupancy** - 25MPa Concrete, 150mm thick with SL82 mesh
  - **For Other** - 25MPa Concrete, 180mm thick with SL92 mesh
- **Slab Construction:** Vehicular access slab 8.8m long, 4m wide at gutter crossing to 4m wide at the boundary. Remove existing driveway and construct layback. Sawcut bitumen edge for construction joint.
- Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage. Refer to relevant attached profile.
- All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised Contractors only;
- Quotations for the work specified above should be obtained from any of the contractors on Council's list and should be for the whole of the work stated;
- Construction of vehicular access will be strictly in accordance with the profile supplied (REFER TO NOTE 4); AND
- A formwork inspection by Council is required prior to construction. (minimum 24 hour notice)

1. NOTE THAT THIS INFORMATION SHEET DOES NOT CONSTITUTE AN APPROVAL TO COMMENCE OR PROCEED WITH ANY WORK ON SITE.
2. A SECTION 139 CONSENT UNDER THE *ROADS ACT – 1993* IS REQUIRED (FORM UEA311).
3. A PENALTY APPLIES IF CONSENT IS NOT OBTAINED PRIOR TO COMMENCING WORK.
4. THE PROFILE SUPPLIED CATERS FOR THE AUSTRALIAN STANDARD B85 PERCENTILE VEHICLE (A STANDARD SEDAN EG HOLDEN COMMODORE). OWNERS WITH SPECIAL VEHICLE REQUIREMENTS NEED TO PROVIDE AN ALTERNATE DRIVEWAY DESIGN (PREPARED BY A QUALIFIED TRAFFIC ENGINEER) TO SUIT THEIR PARTICULAR VEHICLE(S), WHICH IS ACCEPTABLE TO COUNCIL.

David Munday  
PROJECT ENGINEER  
Telephone: 9970 1248

This plan / document  
is part of  
Construction Certificate  
no. 2015 / 5453

COUNCIL  
COPY





Ross McWhirter, Project Leader Road Reserve Management  
8am to 4:30pm Mon - Fri  
Phone 9970 1207 Mobile 0419 629007

26 March 2015

Cre8ive Building Projects  
147 Garden Street  
**NORTH NARRABEEN NSW 2101**

Dear Sir,

**Re: SECTION 139 CONSENT (*Roads Act 1993*) – 292 Hudson Parade, Clareville**

Council grants the applicant(s), Cre8ive Building Projects, consent to construct a driveway crossing in the public road reserve at 292 Hudson Parade, Clareville.

Note:- The driveway profile supplied caters for the Australian Standard B85 percentile vehicle (a standard sedan eg Holden Commodore). Owners with special vehicle requirements need to provide an alternate driveway design (prepared by a qualified traffic engineer) to suit their particular vehicle(s), which is acceptable to Council.

This Section 139 Consent is granted, subject to the following conditions: -

1. The Applicant(s) shall, at all times, keep indemnified Council from and against all actions, suits, proceedings, losses, costs, damages, changes, claims and demands in any way arising out of or by reason of anything done or omitted to be done by the Applicant(s) in respect of the work in question.
2. The Applicant(s), at all times for the duration of this Consent, will not interrupt or otherwise disturb traffic or pedestrian flow in the public road without first obtaining the consent of Council. Lighting, fencing, traffic control and advanced warning signs shall be provided for the protection of the works and for the safety and convenience of the public and others during the currency of the works.
3. In the event that the driveway construction requires the use of a mobile concrete pump in the road reserve, separate approval must be obtained from Council for that activity. Form No. UEA313 (*Application to Stand Construction Plant on a Public Road Reserve*) must be lodged with the applicable fees.
4. The Applicant(s) shall be responsible for the cost of all service and utility adjustments associated with the construction of the driveway. Contact "Dial Before You Dig" (1100) at least two working days before the works are due to start for information on the location of underground pipes and cables.
5. Compliance with the requirements contained in the "Information for Access Driveway Profiles" dated 30 January 2015.
6. **Prior to construction**, the driveway formwork and reinforcing steel is required to be inspected by Council (provide minimum 24 hour notice). Any necessary structural

This plan and drawings forms part of  
**Construction Certificate**  
no. 2015/5453

**COUNCIL COPY**



engineering certification of any supporting structure must be provided to Council prior to construction.

7. Owner(s) who wish to have a coloured driveway or a cosmetic driveway constructed with bricks, pavers, patterned, stamped, sealed or stencilled in lieu of a standard concrete driveway, agree to indemnify Council in respect to liability and damage to the driveway. Any works authorised by Council in relation to the driveway within the public road reserve following the construction of the coloured or cosmetic driveway, shall be restored in standard plain concrete. Should you wish to restore the driveway in the same cosmetic finish, you may seek Council permission to engage a contractor to do this work at full cost to yourself.
8. The Applicant(s) shall make good any damage caused to the property of any person or any property of Council by reason of the carrying out of any work by the Applicant(s) under the Conditions of this Consent. Disturbed areas of the nature strip are to be reinstated with grass turf.
9. Should the Applicant(s) fail to comply with any of these conditions or any requirement of Council as provided, then this Consent shall permanently lapse and any part of the work remaining within the road at that time shall be deemed to be an obstruction or encroachment under *Section 107 of the Roads Act 1993*.
10. This Consent receipt must be held on the job and produced to any Officer of Council when called upon.
11. The Applicant(s) shall accept all responsibility for public safety during the construction of the works.
12. Compliance with the conditions of Development Consent No. N0421/14 that relate to the road reserve and hours of construction.
13. Landscaping treatment will only be approved if deemed by Council to be appropriate to the local environment and streetscape.
14. COUNCIL IS TO BE ADVISED WHEN THE WORKS HAVE BEEN COMPLETED. Upon receipt of this advice, Council will inspect the works to determine if they are satisfactory. Any works deemed by Council to be unsatisfactory are to be rectified to Council's reasonable satisfaction.

Yours sincerely



Ross McWhirter

**PROJECT LEADER ROAD RESERVE MANAGEMENT**

- Enclosures:*
- *Information for Access Driveway Profiles*
  - *Driveway profile ( Extra Low )*
  - *List of Council Authorised & Accredited Concrete Contractors for Vehicle Footpath Crossings and Associated Works.*



NOTE: LANDSCAPING TO BE COMPLETED IN ACCORDANCE WITH LANDSCAPE PLAN REFERENCE NO. 141078, PLAN NO. L-01 (REVISION D), PREPARED BY SPACE LANDSCAPE DESIGN DATED 21 JANUARY 2015, AS APPROVED BY PITTSWATER COUNCIL.

NOTE: SEDIMENT & EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED DURING THE LIFE OF THE PROJECT.

NOTE: IF THE EXISTING SWIMMING POOL SAFETY BARRIER IS FOUND TO BE DEFICIENT OR IS TO BE ALTERED OR MODIFIED AS PART OF THIS DEVELOPMENT THEN THE EXISTING SWIMMING POOL IS TO BE SURROUNDED BY A SWIMMING POOL SAFETY BARRIER THAT COMPLIES WITH THE CURRENT REQUIREMENTS OF THE SWIMMING POOLS ACT I.E. AUSTRALIAN STANDARD AS1926.1-2012

SITE RATIOS - EXISTING:	
SITE AREA	695.60m <sup>2</sup>
FOOTPRINT OF RESIDENCE	120.45m <sup>2</sup>
PORCH + TERRACE	31.02m <sup>2</sup>
PAVED AREAS & DRIVEWAY	128.41m <sup>2</sup>
<b>SUM TOTAL</b>	<b>279.88m<sup>2</sup></b>
<b>SITE COVERAGE %</b>	<b>40.2%</b>
<b>EXISTING LANDSCAPED AREA</b>	<b>59.8%</b>

SITE RATIOS - PROPOSED:	
SITE AREA	695.60m <sup>2</sup>
FOOTPRINT OF RESIDENCE	218.97m <sup>2</sup>
TERRACE	35.27m <sup>2</sup>
PAVED AREAS & DRIVEWAY	68.59m <sup>2</sup>
<b>UM TOTAL</b>	<b>322.83m<sup>2</sup></b>
<b>ESS VARIATION OF 6%</b>	<b>41.73m<sup>2</sup></b>
<b>TOTAL</b>	<b>281.10m<sup>2</sup></b>
<b>SITE COVERAGE %</b>	<b>40.4%</b>
<b>PROPOSED LANDSCAPED AREA</b>	<b>59.6%</b>

**insight** building certifiers pty ltd  
 CONSTRUCTION CERT. NO 2015 / 5 4 5 3  
**CONSTRUCTION CERTIFICATE PLANS**

I certify that the work completed in accordance with these plans & specifications will comply with the regulations referred to in Section 81A(5)(a) of the Environmental Planning & Assessment Act 1979.

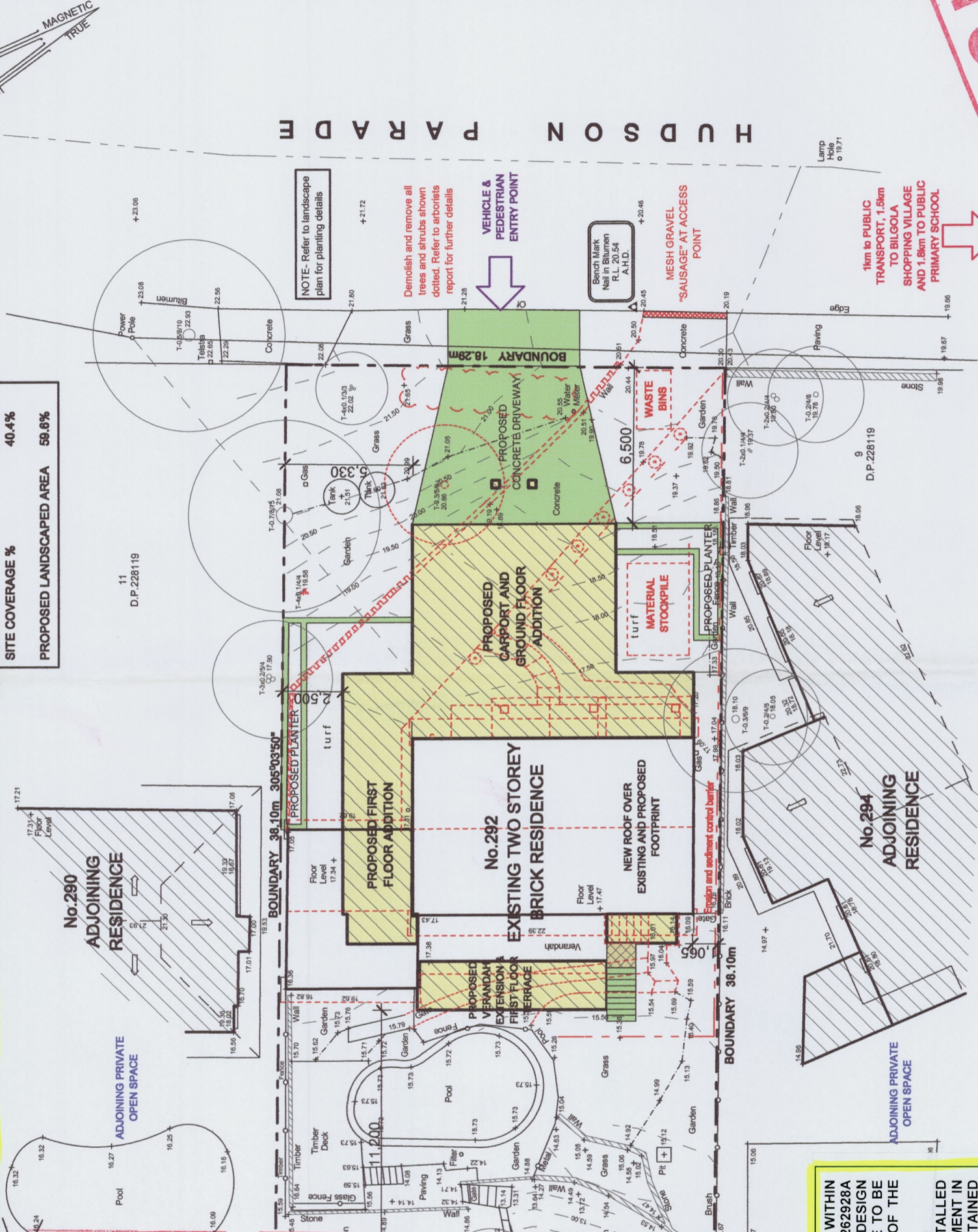
**Insight** 14 APR 2015  
 T. Bowden Accreditation No. BPS0042

**WARNING**  
 The stamping of this plan is the responsibility of Insight Building Certifiers Pty Ltd. The applicant's responsibility to ensure the structural adequacy of this project. The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.

Note: Proposed stormwater will connect to the existing system which drains to the rear of the property and is pumped to the street

NOTE: ALL RECOMMENDATIONS CONTAINED WITHIN GEOTECHNICAL REPORT REFERENCE NO. P-11-262928A PREPARED BY CIVIL & STRUCTURAL ENGINEERING DESIGN SERVICES PTY LTD DATED 16 SEPTEMBER 2014 ARE TO BE INCORPORATED AND MAINTAINED OVER THE LIFE OF THE DEVELOPMENT.

NOTE: TREE PROTECTION MEASURES TO BE INSTALLED AND MAINTAINED OVER THE LIFE OF THE DEVELOPMENT IN ACCORDANCE WITH ALL RECOMMENDATIONS CONTAINED WITHIN ARBORIST REPORT PREPARED BY GROWING MY WAY DATED OCTOBER 2014 & ASSESSMENT LETTER DATED JANUARY 2015 & CONDITION D13 (A TO E) OF THE DEVELOPMENT CONSENT.



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**NOTES**  
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 The Builder is to give all notices, obtain all permits and pay all fees.  
 Finished ground levels on the plan are subject to site conditions.  
 Do not scale from drawings. Use figured dimensions only and report any discrepancies to the designer prior to commencement.  
 All figured dimensions to be checked on site.

**BASIX INFORMATION REQUIREMENTS:**  
**LIGHTING:**  
 A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps  
**WATER COMMITMENTS:**  
 All new Shower heads, toilets and taps shall have a minimum 3 Star rating  
**INSULATION REQUIREMENTS:**  
 External walls: The external walls shall be brick veneer and cavity brick construction.  
 Suspended Floors: The new suspended floor with enclosed sub-floor shall meet minimum R0.6 (down) (or R1.30 including construction).  
 Ceilings: The new flat roof ceilings shall meet minimum R2.08 (up).  
 Roof: The roof shall have foil backed blanket (50mm) and be of medium colour (solar absorption 0.475-0.70)

**WINDOWS & GLAZED DOORS:**  
 All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.  
 Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate  
 Shading devices: Shading devices shall be installed in accordance with the Basix certificate  
 Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate

**A Amendment to Courtyard and retention of tree on north-eastern boundary**

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 Client: MR. & MRS. PRIESTLEY  
 Project Name: PROPOSED ALTERATIONS + ADDITIONS  
 282 HUDSON PARADE  
 LOT 10, DP 228119  
 CLAREVILLE NSW 2107

**JAH DESIGN SERVICES**  
 9 LOGWOOD AVENUE, FRENCHS-FOREST NSW 2286  
 Ph: 02 883 9751 EMAIL: jah@jahdesign.com.au MOBILE: 0410410084

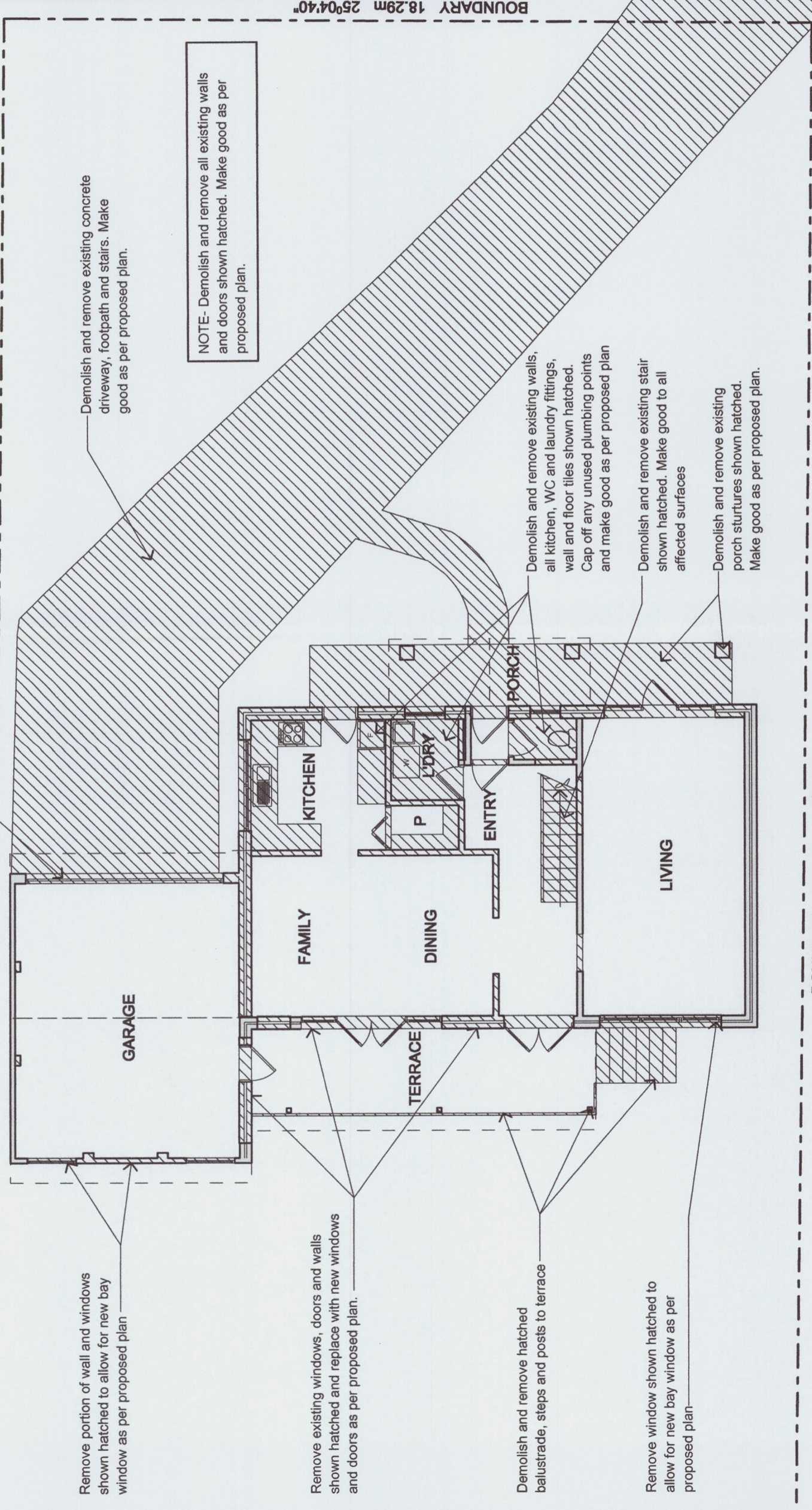
**SITE PLAN**  
 Scale: 1:200 @ A3  
 Date: October 2014  
 Status: DA submission  
 Checked By: JAH  
 Project No: 1325  
 Drawing No: DA01  
 Plot Date: 17/02/2015

**1:200**  
**SITE PLAN**  
**& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT**



**NOTE: ALL DEMOLITION WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF AS 2601-2001 THE DEMOLITION OF STRUCTURES ALSO IN COMPLIANCE WITH WORK COVER AUTHORITY OF NSW REQUIREMENTS, INCLUDING BUT NOT LIMITED TO:**

- PROTECTION OF SITE WORKERS AND THE GENERAL PUBLIC
- ERECTION OF HOARDINGS WHERE APPROPRIATE
- ASBESTOS HANDLING AND DISPOSAL WHERE APPLICABLE
- ANY DISUSED SERVICE CONNECTIONS SHALL BE CAPPED OFF



Remove portion of wall and windows shown hatched to allow for new bay window as per proposed plan

Remove existing windows, doors and walls shown hatched and replace with new windows and doors as per proposed plan.

Demolish and remove hatched balustrade, steps and posts to terrace

Remove window shown hatched to allow for new bay window as per proposed plan

Demolish and remove existing concrete driveway, footpath and stairs. Make good as per proposed plan.

**NOTE:** Demolish and remove all existing walls and doors shown hatched. Make good as per proposed plan.

Demolish and remove existing walls, all kitchen, WC and laundry fittings, wall and floor tiles shown hatched. Cap off any unused plumbing points and make good as per proposed plan

Demolish and remove existing stair shown hatched. Make good to all affected surfaces

Demolish and remove existing porch structures shown hatched. Make good as per proposed plan.

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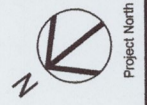
**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

**WATER COMMITMENTS:**  
Features: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

**INSULATION REQUIREMENTS:**  
External walls: The external walls shall be brick veneer and cavity brick construction.  
Suspended Floors: The new suspended floor with enclosed sub-floor shall meet minimum R0.6 (down) (or R1.30 including construction).  
Ceilings: The new flat roof ceilings shall meet minimum R2.08 (up).  
Roof: The roof shall have foil backed blanket (55mm) and be of medium colour (solar absorption 0.475-0.70)

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Client  
**MR. & MRS. PRIESTLEY**  
Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**282 HUDSON PARADE**  
**LOT 10, DP 228119**  
**CLAREVILLE NSW 2107**

**JAH**  
**DESIGN SERVICES**  
ABN 22 630 600 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 02 9451 2751 EMAIL jah@jahdesign.com.au MOBILE 0410410094

<b>EXISTING GROUND FLOOR</b>	
Scale: 1:100 @ A3	Date: October 2014
Status: DA submission	Checked By: JAH
Project No: 1325	Drawing No: DA02
Plot Date: 17/02/2015	

This plan / document forms part of Construction Certificate no. 2015 / 5453

**1 EXISTING GROUND FLOOR 1:100**



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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
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**WATER COMMITMENTS:**  
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**INSULATION REQUIREMENTS:**  
The external walls shall be brick veneer and cavity brick construction.  
Suspended Floors: The new suspended floor with enclosed sub-floor shall meet minimum R0.6 (down) (or R1.30 including construction).  
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Project North

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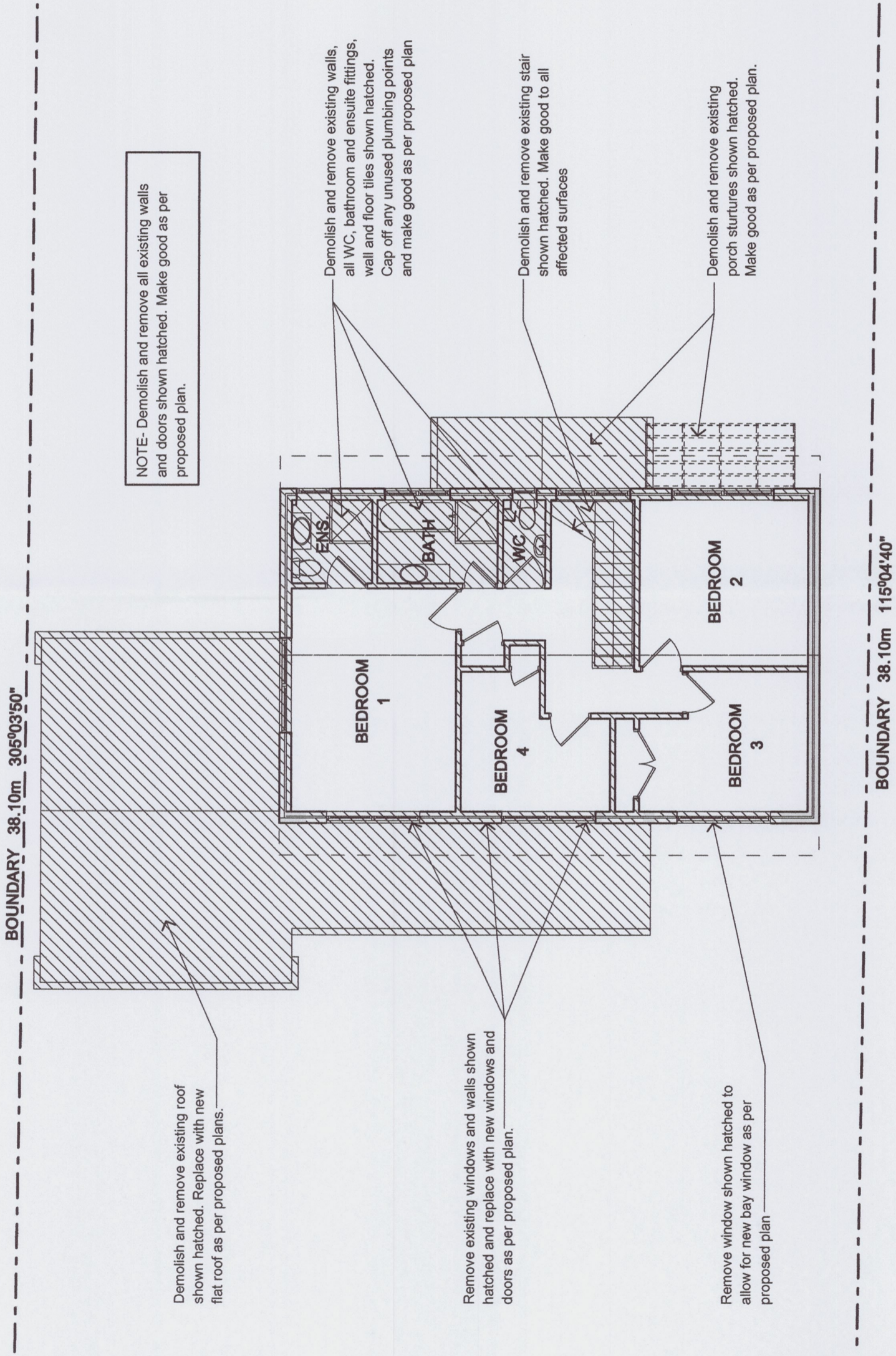
Client  
**MR. & MRS. PRIESTLEY**  
Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**282 HUDSON PARADE**  
**LOT 10, DP 228119**  
**CLAREVILLE NSW 2107**



9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 02 9451 9751 EMAIL jah@jahdesign.com.au MOBILE 0415410064

**Drawing Title:**

<b>EXISTING FIRST FLOOR</b>
Scale: <b>1:100</b>
Date: <b>October 2014</b>
Status: <b>DA submission</b>
Checked By: <b>JAH</b>
Project No: <b>1325</b>
Drawing No.: <b>DA03</b>
Plot Date: <b>17/02/2015</b>



This plan / document forms part of Construction Certificate no. 2015 / 5453

**1 EXISTING FIRST FLOOR 1:100**



**NOTE: EXTERNAL WALLS WITHIN 900MM OF ALLOTMENT BOUNDARY ARE TO ACHIEVE A FIRE RESISTANCE LEVEL (FRL) OF 60/60/60 & ARE TO EXTEND TO THE UNDERSIDE OF THE NON-COMBUSTIBLE ROOF COVERING IN ACCORDANCE WITH THE REQUIREMENTS OF 3.7.1.5 OF THE BUILDING CODE OF AUSTRALIA (BCA).**

**NOTE: THE SURFACE OR NOSING OF ANY STAIR TREAD IS TO BE SLIP RESISTANT IN ACCORDANCE WITH THE REQUIREMENTS OF 3.9.1.3 (G) OF THE BUILDING CODE OF AUSTRALIA (BCA).**

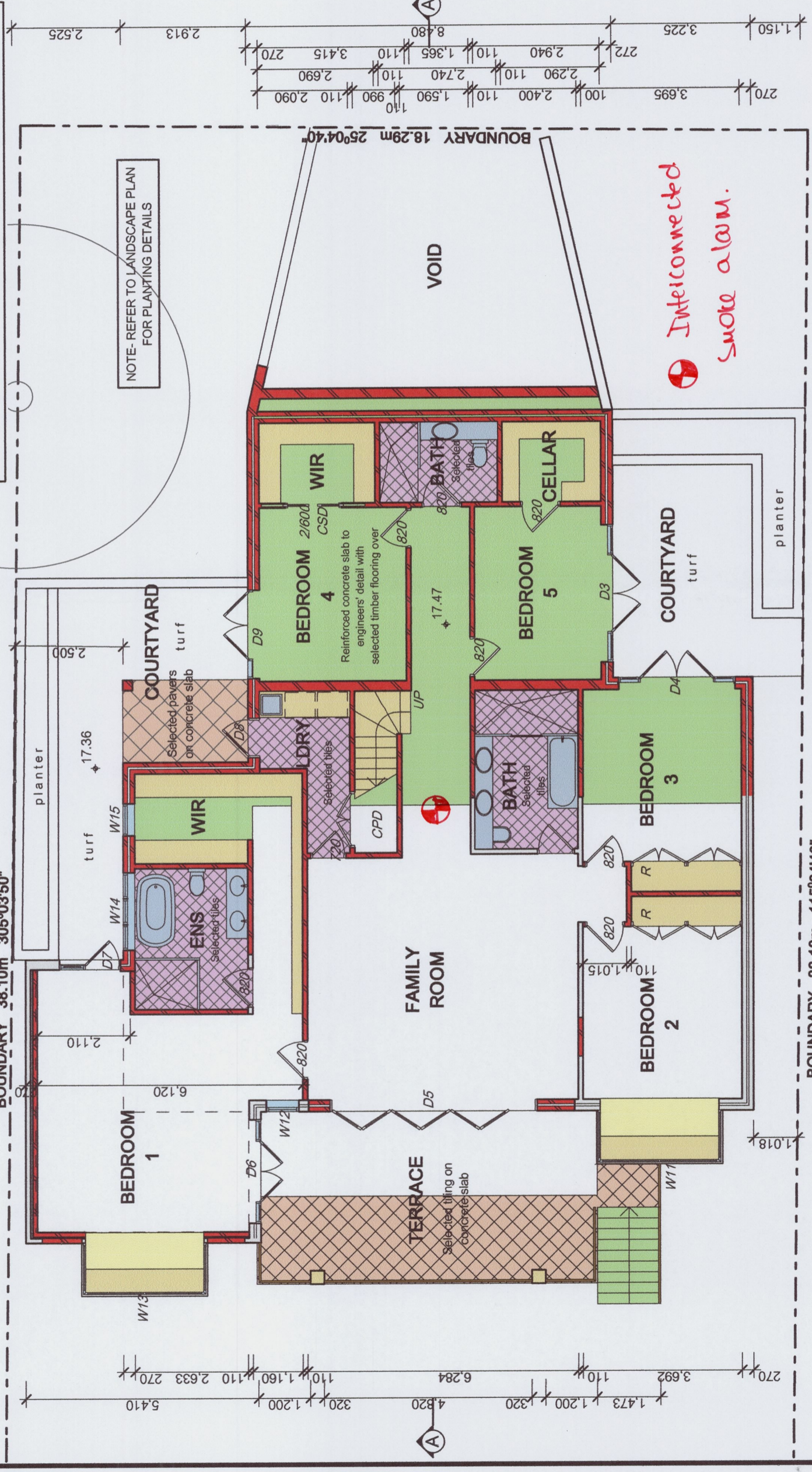
**NOTE: FOR ALL NEW OPENABLE WINDOWS WITHIN A BEDROOM WITH A FLOOR LEVEL 2M OR MORE ABOVE A SURFACE BENEATH ARE TO BE PROTECTED IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BUILDING CODE OF AUSTRALIA (BCA) VOLUME 2.**

**DOOR SCHEDULE**

D 1	1100w x 2400h
D 2	4800w x 2100h
D 3	3200w x 2100h
D 4	2700w x 2100h
D 5	4800w x 2100h
D 6	2400w x 2100h
D 7	1400w x 2100h
D 8	900w x 2100h
D 9	2100w x 2100h
CD 1	3000w x 2100h
CD 2	3000w x 2100h

Selected Timber and Glass Front Door  
 Aluminium Framed 6L Bi-fold Door  
 Aluminium Framed 2 x 900w French Doors with 2 x Sidelights  
 Aluminium Framed 2 x 900w French Doors with 2 x Sidelights  
 Aluminium Framed 6L Bi-fold Door  
 Aluminium Framed 2 x 750w French Doors with 2 x Sidelights  
 Aluminium Framed 900w Door with Sidelight  
 Selected Timber and Glass Door  
 Aluminium Framed French Doors with Sidelight  
 Selected Panel lift door  
 Selected Panel lift door

Note: The Builder shall check measure all windows and doors on site prior to ordering.



This plan / document forms part of Construction Certificate no. 2015 / 5 4 5 3

**NOTES**

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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
 A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

**WATER COMMITMENTS:**  
 All new Shower heads, toilets and taps shall have a minimum 3 Star rating

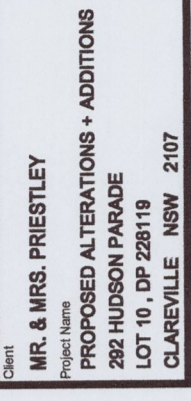
**INSULATION REQUIREMENTS:**  
 External walls: The external walls shall be brick veneer and cavity brick construction.  
 Suspended Floors: The new suspended floor with enclosed sub-floor shall meet minimum R0.6 (down) (or R1.30 including construction).  
 Ceilings: The new flat roof ceilings shall meet minimum R2.0 (up).  
 Roof: The roof shall have full backed blankets (50mm) and be of medium colour (solar absorption 0.475-0.70)

**WINDOWS & GLAZED DOORS:**  
 All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.  
 Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate  
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**A Amendment to Courtyard and retention of tree on north-eastern boundary**

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Client  
**MR. & MRS. PRIESTLEY**  
 Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**282 HUDSON PARADE**  
**LOT 10, DP 228119**  
**CLAREVILLE NSW 2107**



9 LOCKWOOD AVENUE, FRENCHS FOREST, NSW, 2086  
 Ph. 02 9451 5951 EMAIL: jah@jahdesign.com.au MOBILE: 0410000400

**PROPOSED GROUND FLOOR**  
 Scale: 1:100 @ A3 Date: October 2014  
 Status: DA submission Checked By: JAH  
 Project No: 1325 Drawing No.: DA04  
 Plot Date: 17/02/2015

**1 PROPOSED GROUND FLOOR 1:100**



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Roof: The roof shall have foil backed blanket (50mm) and be of medium colour (solar absorption 0.475-0.70)

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Client

MR. & MRS. PRIESTLEY

Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
282 HUDSON PARADE  
LOT 10, DP 228119  
CLAREVILLE NSW 2107



**DESIGN SERVICES**  
ASB 22 630 690 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2066  
PH: 02 9451 5781 EMAIL: j.priestley@jahdesign.com.au MOBILE: 04100004

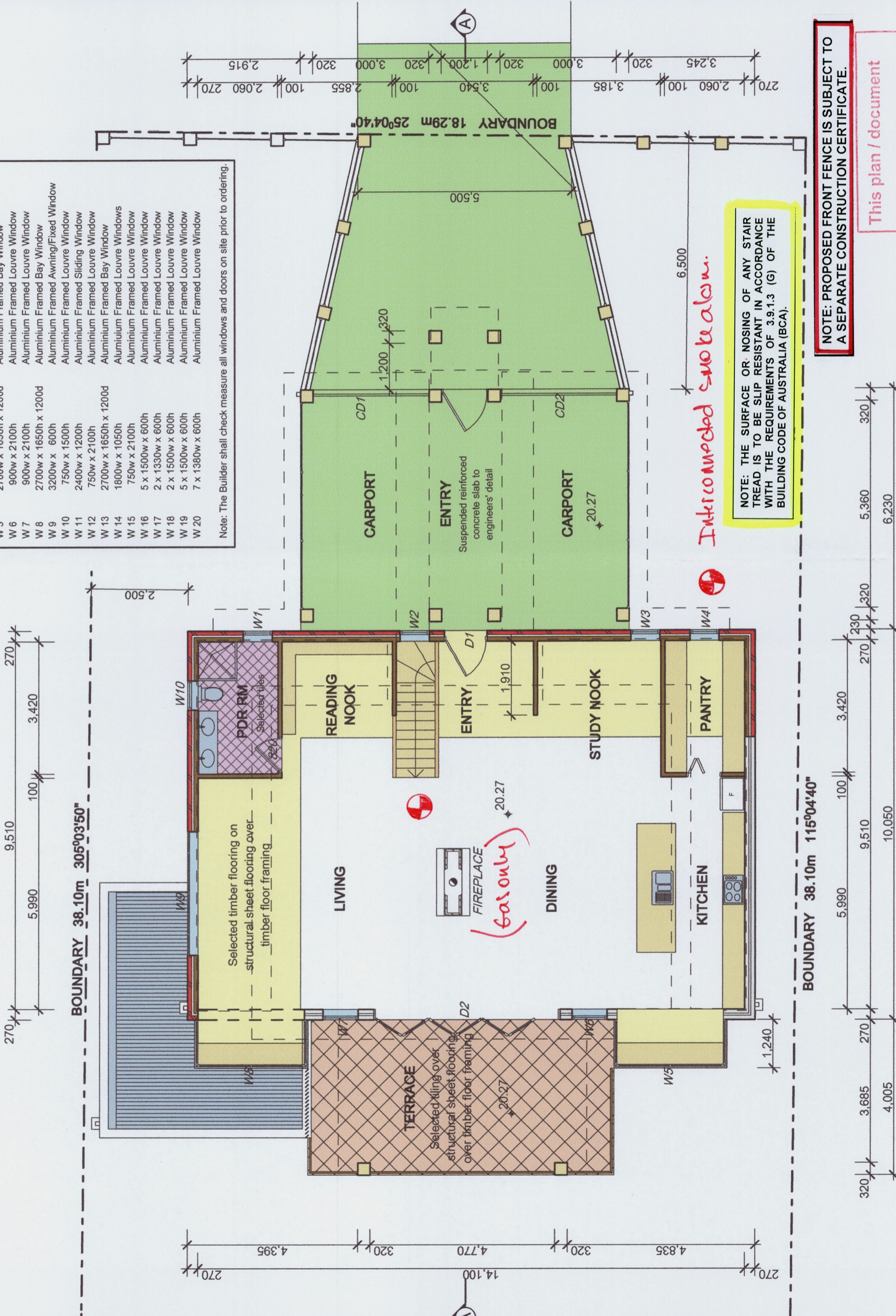
**PROPOSED FIRST FLOOR**

Scale:	1:100 @ A3	Date:	October 2014
Status:	DA submission	Checked By:	JAH
Project No.:	1325	Drawing No.:	DA05
Plot Date:	17/02/2015		

**WINDOW SCHEDULE**

W 1	750w x 2100h	Aluminium Framed Louvre Window
W 2	750w x 2100h	Aluminium Framed Louvre Window
W 3	750w x 2100h	Aluminium Framed Louvre Window
W 4	750w x 2100h	Aluminium Framed Louvre Window
W 5	2700w x 1650h x 1200d	Aluminium Framed Louvre Window
W 6	900w x 2100h	Aluminium Framed Louvre Window
W 7	2700w x 1650h x 1200d	Aluminium Framed Louvre Window
W 8	3200w x 600h	Aluminium Framed Louvre Window
W 9	750w x 1500h	Aluminium Framed Louvre Window
W 10	2400w x 1200h	Aluminium Framed Louvre Window
W 11	750w x 2100h	Aluminium Framed Louvre Window
W 12	2700w x 1650h x 1200d	Aluminium Framed Louvre Window
W 13	1800w x 1050h	Aluminium Framed Louvre Windows
W 14	750w x 2100h	Aluminium Framed Louvre Window
W 15	5 x 1500w x 600h	Aluminium Framed Louvre Window
W 16	2 x 1330w x 600h	Aluminium Framed Louvre Window
W 17	2 x 1500w x 600h	Aluminium Framed Louvre Window
W 18	5 x 1500w x 600h	Aluminium Framed Louvre Window
W 19	7 x 1380w x 600h	Aluminium Framed Louvre Window
W 20		Aluminium Framed Louvre Window

Note: The Builder shall check measure all windows and doors on site prior to ordering.



**1 PROPOSED FIRST FLOOR 1:100**

**NOTE: PROPOSED FRONT FENCE IS SUBJECT TO A SEPARATE CONSTRUCTION CERTIFICATE.**

This plan / document forms part of Construction Certificate no. 2015 / 5453



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**WATER COMMITMENTS:**  
All new Shower heads, toilets and taps shall have a minimum 3 Star rating

**INSULATION REQUIREMENTS:**  
External walls: The external walls shall be brick veneer and cavity brick construction.  
Suspended Floors: The new suspended floor with enclosed sub-floor shall meet minimum R1.0 (down) (or R1.30 including construction).  
Ceilings: The new flat roof ceilings shall meet minimum R2.08 (up).  
Roof: The roof shall have foil backed blanket (55mm) and be of medium colour (solar absorption 0.475-0.70)

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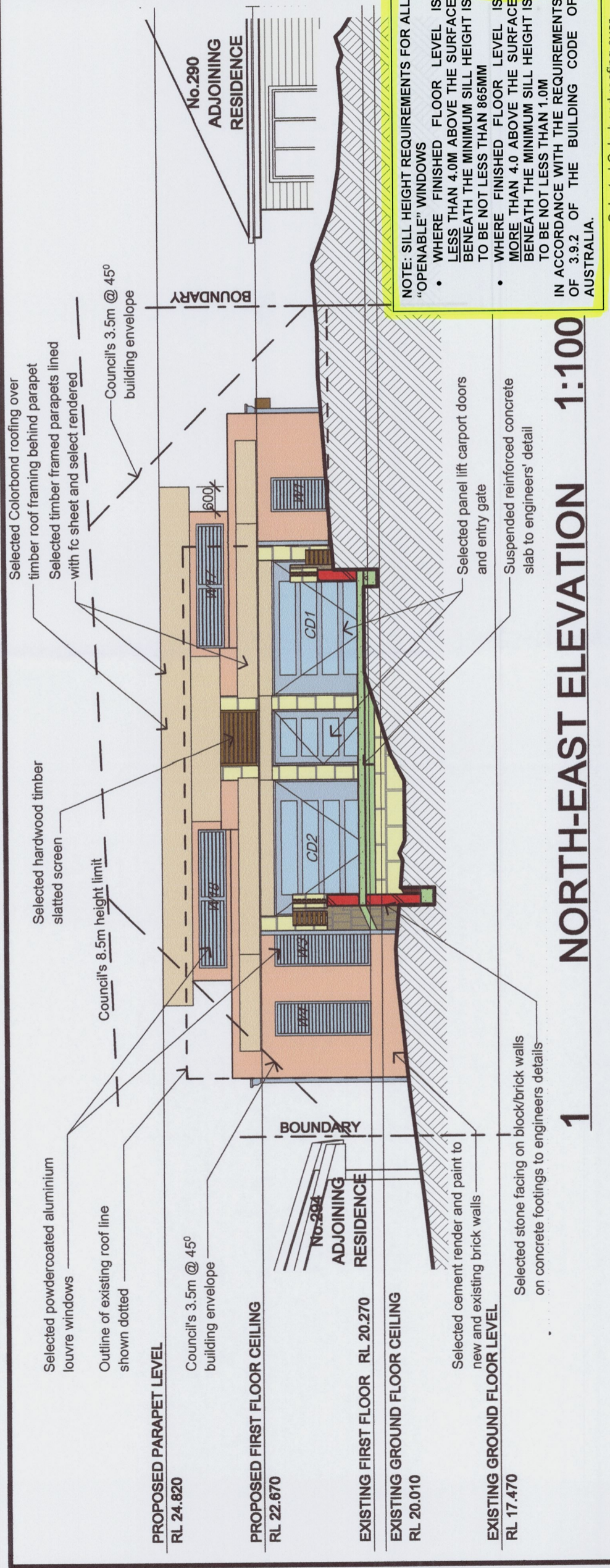
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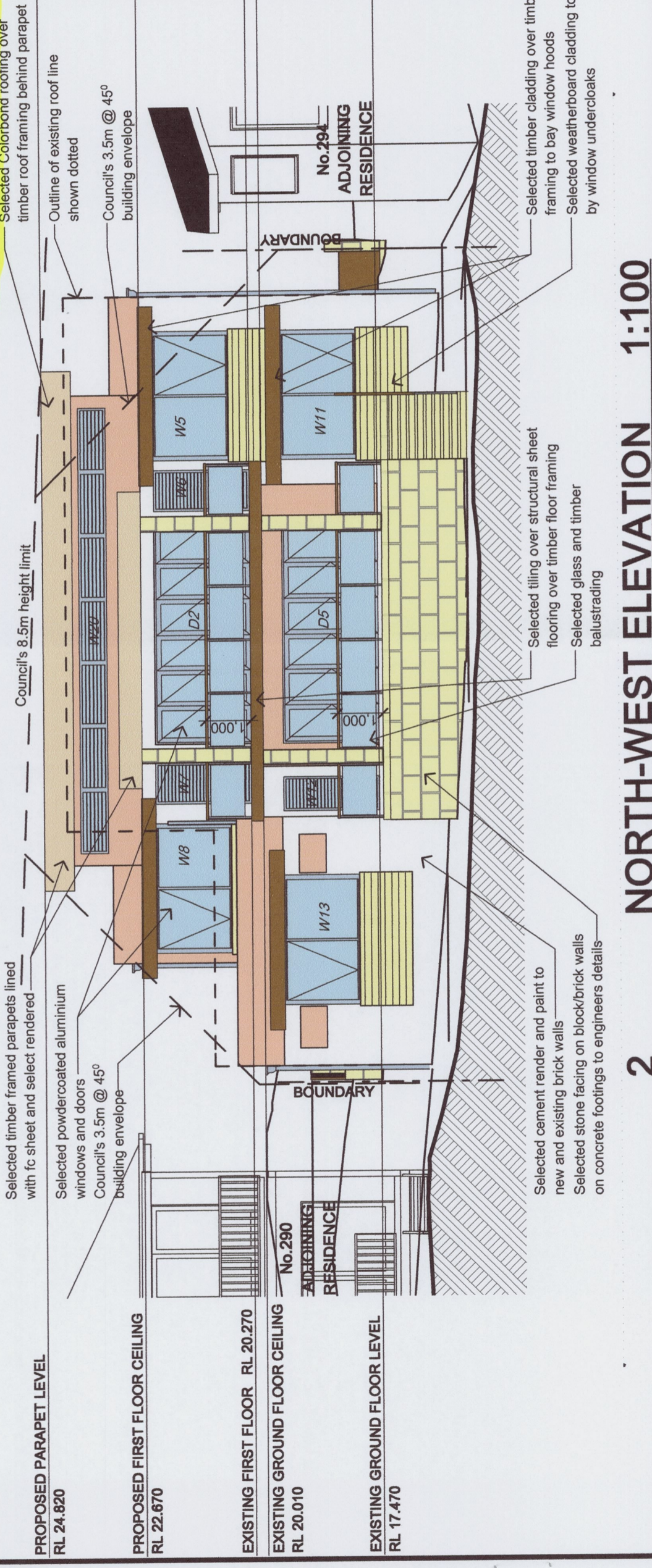
Client: **MR. & MRS. PRIESTLEY**  
Project Name: **PROPOSED ALTERATIONS + ADDITIONS**  
**282 HUDSON PARADE**  
**LOT 10, DP 228119**  
**CLAREVILLE NSW 2107**

**JAH**  
**DESIGN SERVICES**  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 02 9451 4751 EMAIL: jah@jahdesign.com.au MOBILE 0410410004

ELEVATIONS	
Scale: 1:100 @ A3	Date: October 2014
Status: DA submission	Checked By: JAH
Project No: 1325	Drawing No: DA06
Plot Date: 17/02/2015	



**1 NORTH-EAST ELEVATION 1:100**



**2 NORTH-WEST ELEVATION 1:100**



**NOTES**

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**BASIX INFORMATION REQUIREMENTS:**

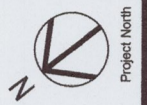
**LIGHTING:**  
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

**WATER COMMITMENTS:**  
All new Shower heads, toilets and taps shall have a minimum 3 Star rating

**INSULATION REQUIREMENTS:**  
External walls: The external walls shall be brick veneer and cavity brick construction.  
Suspended Floors: The new suspended floor with enclosed sub-floor shall meet minimum R0.6 (down) (or R1.30 including construction).  
Ceilings: The new flat roof ceilings shall meet minimum R2.08 (up).  
Roof: The roof shall have foil backed blanket (55mm) and be of medium colour (solar absorption 0.475-0.70)

**WINDOWS & GLAZED DOORS:**  
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**A Amendment to Courtyard and retention of tree on north-eastern boundary**



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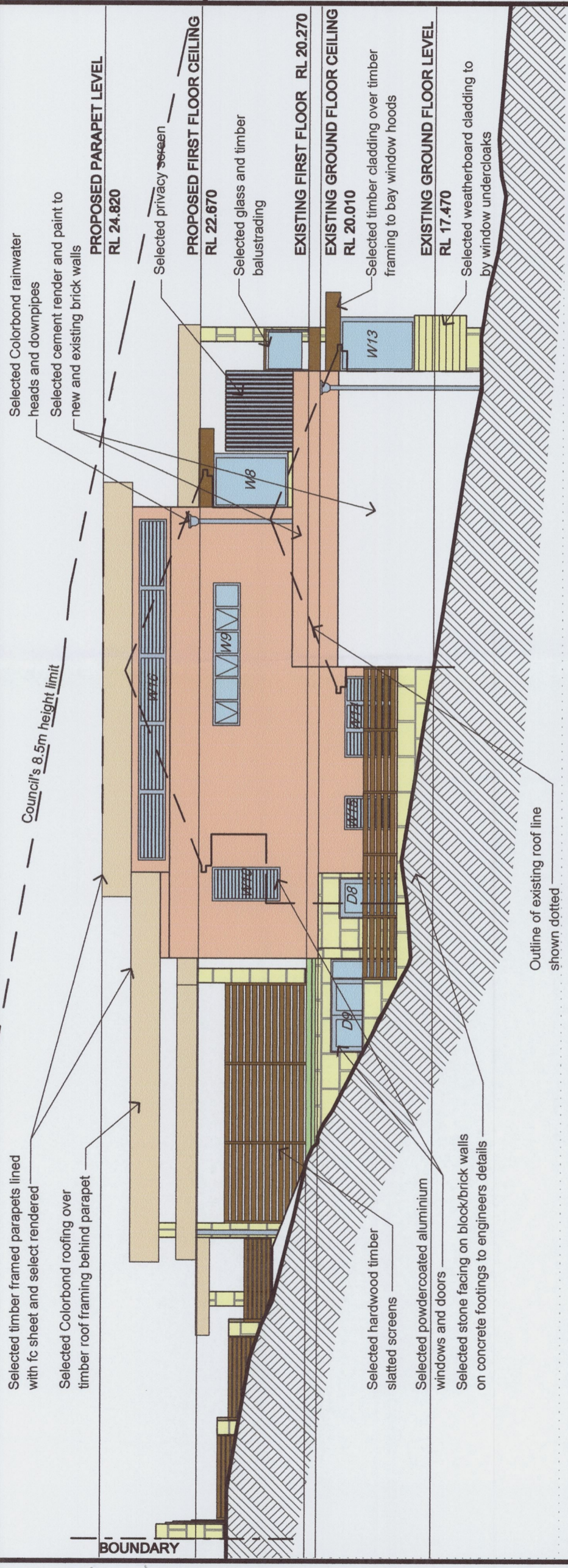
Client: **MR. & MRS. PRIESTLEY**  
Project Name: **PROPOSED ALTERATIONS + ADDITIONS**  
**292 HUDSON PARADE**  
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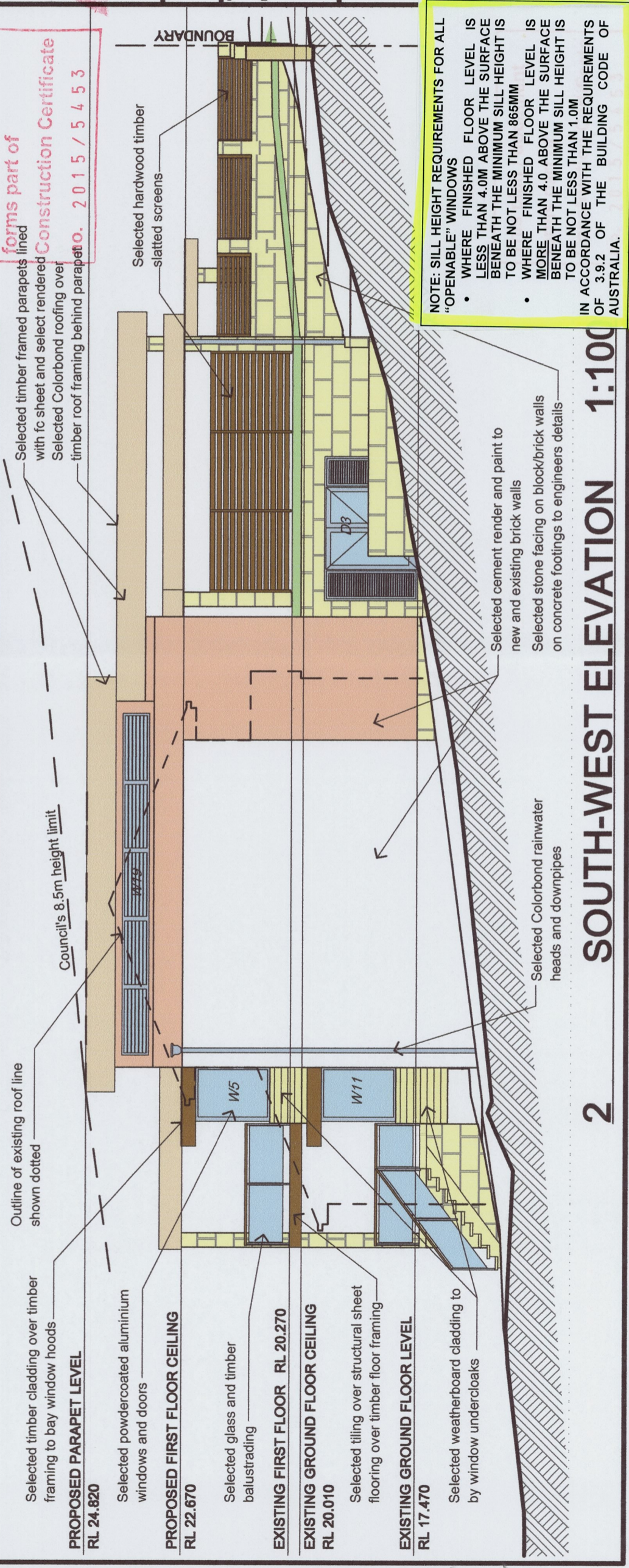
**ELEVATIONS**

File:	1:100 @ A3	Date:	October 2014
Title:	DA submission	Checked By:	JAH
Project No.:	1325	Drawing No.:	DA07

Date: 17/02/2015



**1 NORTH-WEST ELEVATION 1:100**



**2 SOUTH-WEST ELEVATION 1:100**

**NOTE: SILL HEIGHT REQUIREMENTS FOR ALL "OPENABLE" WINDOWS**

- WHERE FINISHED FLOOR LEVEL IS LESS THAN 4.0M ABOVE THE SURFACE BENEATH THE MINIMUM SILL HEIGHT IS TO BE NOT LESS THAN 865MM
- WHERE FINISHED FLOOR LEVEL IS MORE THAN 4.0 ABOVE THE SURFACE BENEATH THE MINIMUM SILL HEIGHT IS TO BE NOT LESS THAN 1.0M

IN ACCORDANCE WITH THE REQUIREMENTS OF 3.9.2 OF THE BUILDING CODE OF AUSTRALIA.



- Building to incorporate BASIX commitments to comply with the attached BASIX Certificate No. A202607 dated 3 November 2014
- Smoke Alarms to be installed in accordance with AS 3786-1993 'Smoke alarms' & Part 3.7.2 - 'Smoke Alarms' of the Building Code of Australia (Please Note: Smoke alarms to be interconnected where there is more than one alarm)
- Termite Management to comply with AS 3660 - 2000 'Termite Management - New Building Work'
- Glazing to comply with AS 1288 - 2006 'Glass in Buildings - Selection & Installation' and AS 2047 - 1999 'Windows in Buildings - Selection & Installation'
- Heating appliances to comply with Part 3.7.3 'Heating appliances' of the Building Code of Australia
- Waterproofing of wet areas to comply with AS 3740 - 2004 'Waterproofing of Wet Areas in Residential Buildings'
- Doors to fully enclosed sanitary compartments to comply with Part 3.8.3 'Facilities' of the Building Code of Australia
- External Glazing & Cladding being of minimal reflectance (maximum of 20%)
- External Finishes being in natural, recessive, non-reflective colours and textures
- Stair construction to comply with Part 3.9.1 - 'Stair Construction' of the Building Code of Australia (Please Note: all stair treads are to have a surface that is slip resistant in accordance with Part 3.9.1.3 of the Building Code of Australia)
- Balustrades construction to comply with Part 3.9.2.3 - 'Balustrades' of the Building Code of Australia
- All new operable windows within a bedroom with a floor level 2m or more above a surface beneath to be protected in accordance with Part 3.9.2.5 of the Building Code of Australia
- Damp-proof membrane must be 'high impact', 0.2mm thick polyethylene film

Outline of existing roof line shown dotted

Selected Colorbond roofing over timber roof framing behind parapet

Council's 8.5m height limit

Proposed Parapet Level RL 24.820

Selected privacy screen

Proposed First Floor Ceiling RL 22.670

Selected tiling over structural sheet flooring over timber floor framing

Existing First Floor RL 20.270

Existing Ground Floor Ceiling RL 20.010

Existing Ground Floor Level RL 17.470

Selected glass and timber balustrading

Selected stone facing on block/brick walls on concrete footings to engineers details

Selected powdered coated aluminium windows and doors

Reinforced concrete slab and footings to engineers' detail with selected timber flooring over

New plasterboard wall and ceiling linings

Reinforced concrete slab and footings to engineers' detail with selected timber flooring over

New plasterboard wall and ceiling linings

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New plasterboard wall and ceiling linings

**NOTES**

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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
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**WATER COMMITMENTS:**  
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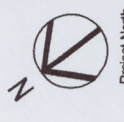
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External walls: The external walls shall be brick veneer and cavity brick construction.  
Suspended Floors: The new suspended floor with enclosed sub-floor shall meet minimum R0.6 (down) (or R1.30 including construction).

**Ceilings:**  
The new flat roof ceilings shall meet minimum R2.08 (up).

**Roof:**  
The roof shall have foil backed blanket (65mm) and be of medium colour (solar absorption 0.475-0.70)

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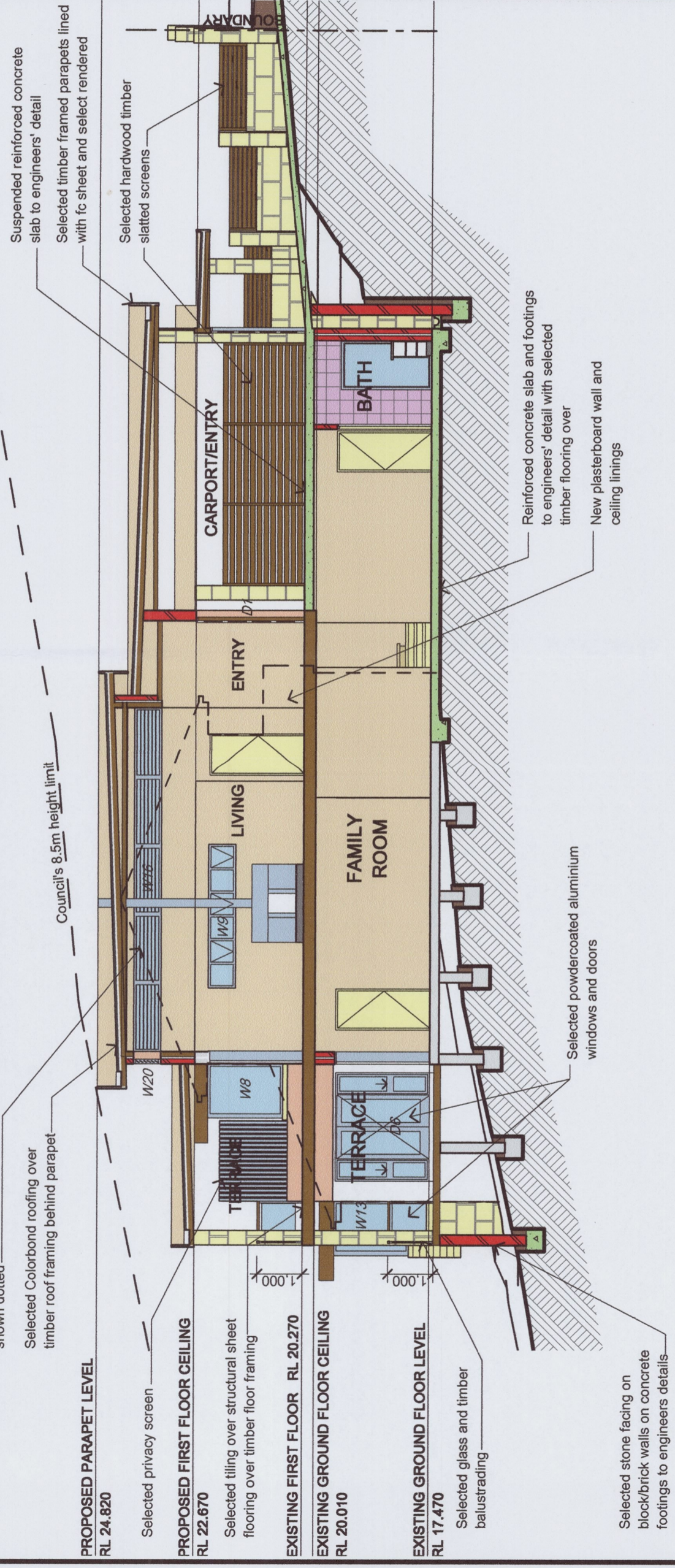
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**282 HUDSON PARADE**  
**LOT 10, DP 228119**  
**CLAREVILLE NSW 2107**



<b>SECTION</b>	
Scale: 1:100 @ A3	Date: October 2014
Status: DA submission	Checked By: JAH
Project No: 1325	Drawing No: DA08
Plot Date: 17/02/2015	

This plan / document forms part of Construction Certificate no. 2015 / 5 4 5 3



**1 SECTION A-A 1:100**



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Project North

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Client

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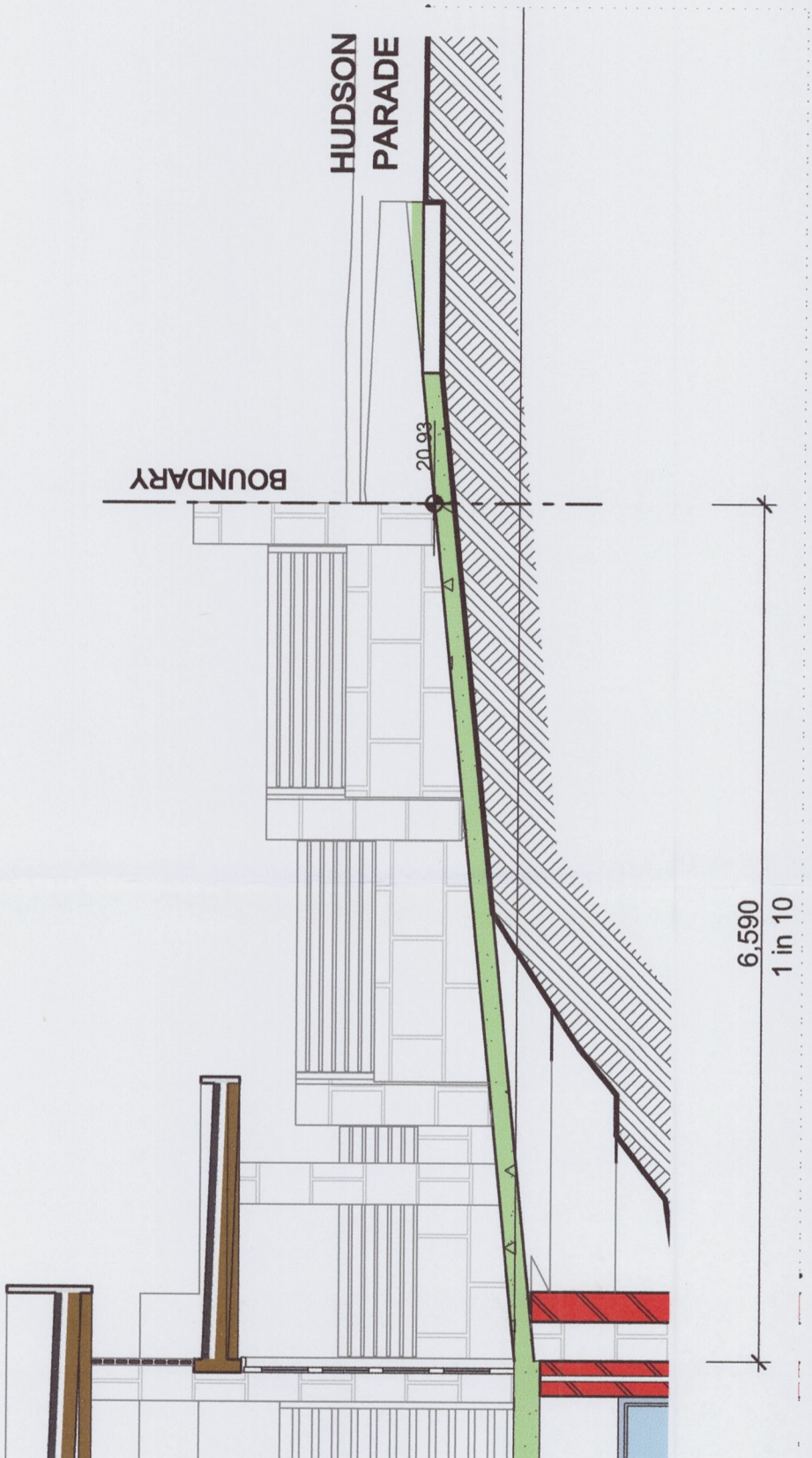
Project Name  
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**DESIGN SERVICES**  
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9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
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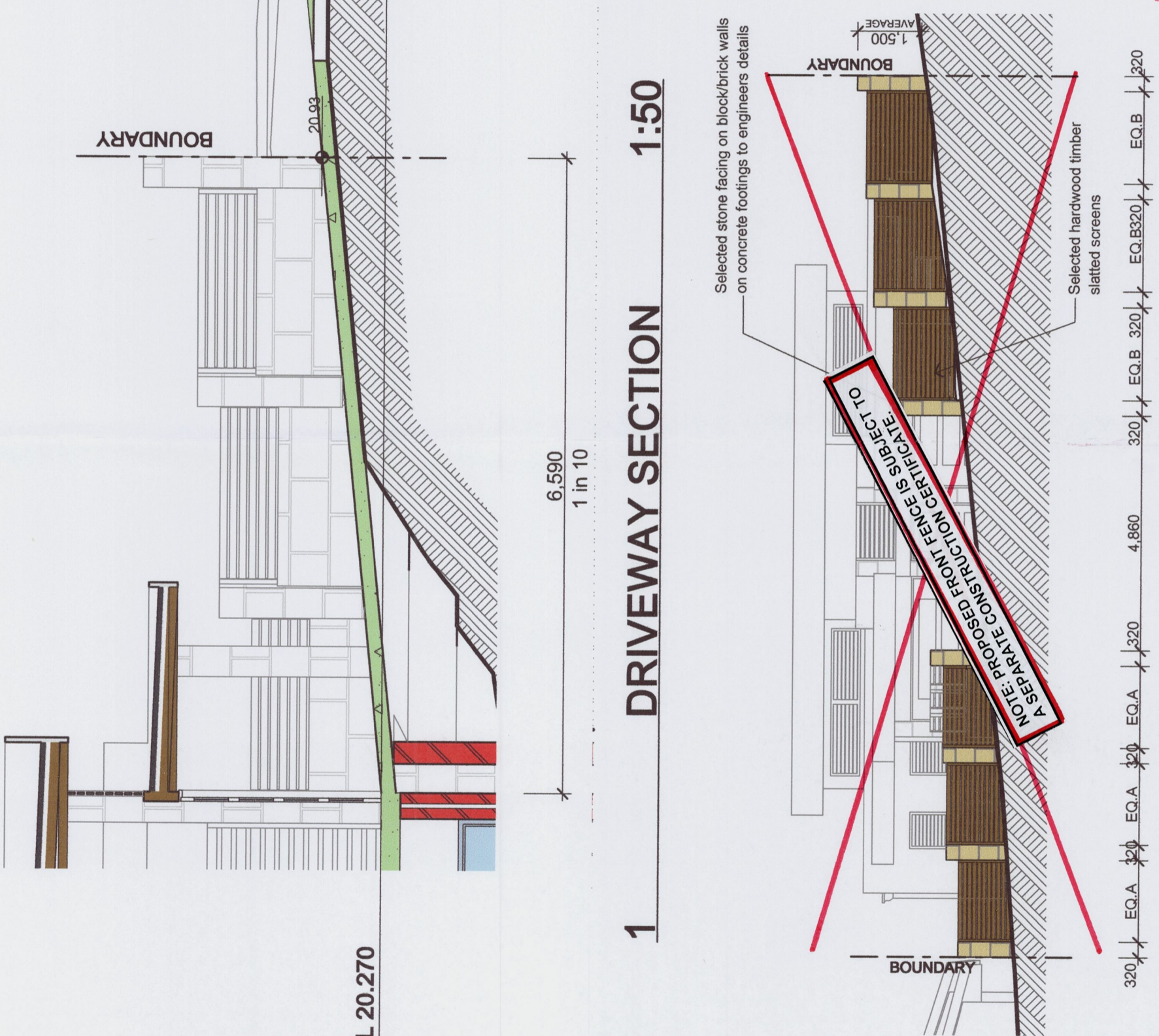
**DRIVEWAY SECTION & FENCE**

Scale:	1:50, 1:100 @ A3	Date:	October 2014
Status:	DA submission	Checked By:	JAH
Project No:	<b>1325</b>	Drawing No.:	<b>DA10</b>
Plot Date:	17/02/2015		



**PROPOSED CARPORT RL 20.270**

**1 DRIVEWAY SECTION 1:50**



**2 FRONT FENCE ELEVATION 1:100**

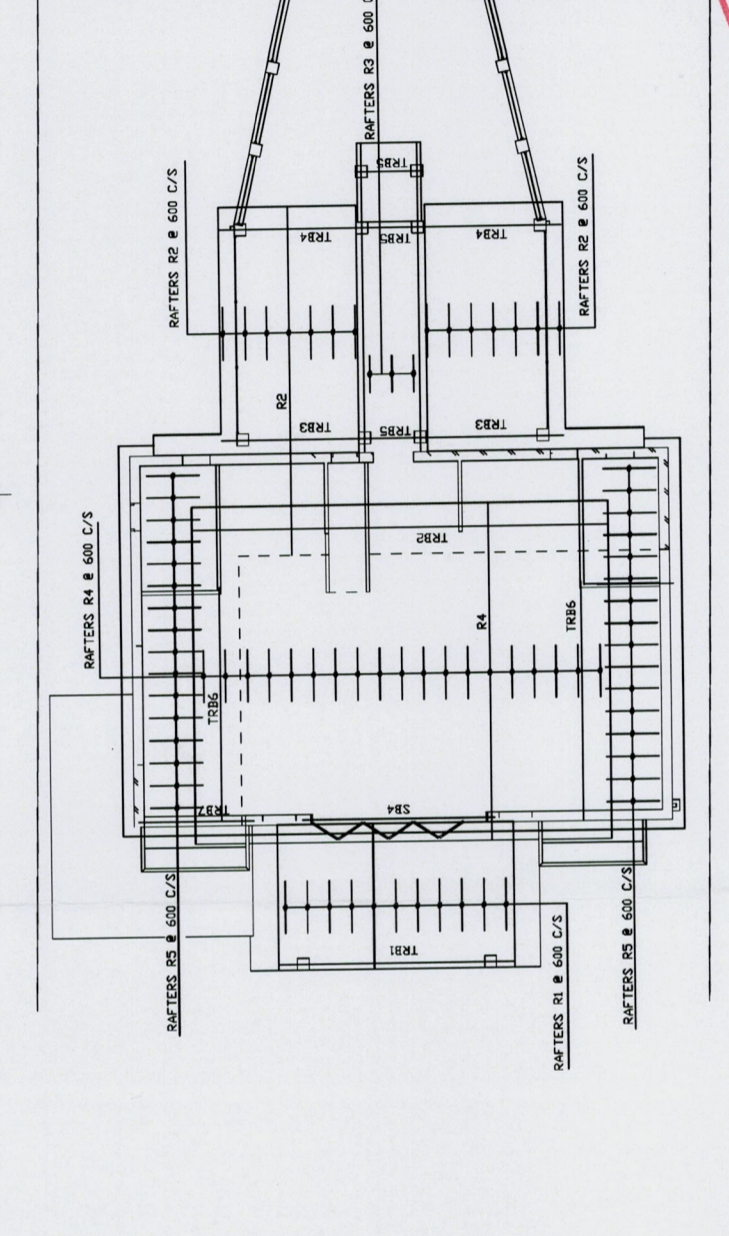
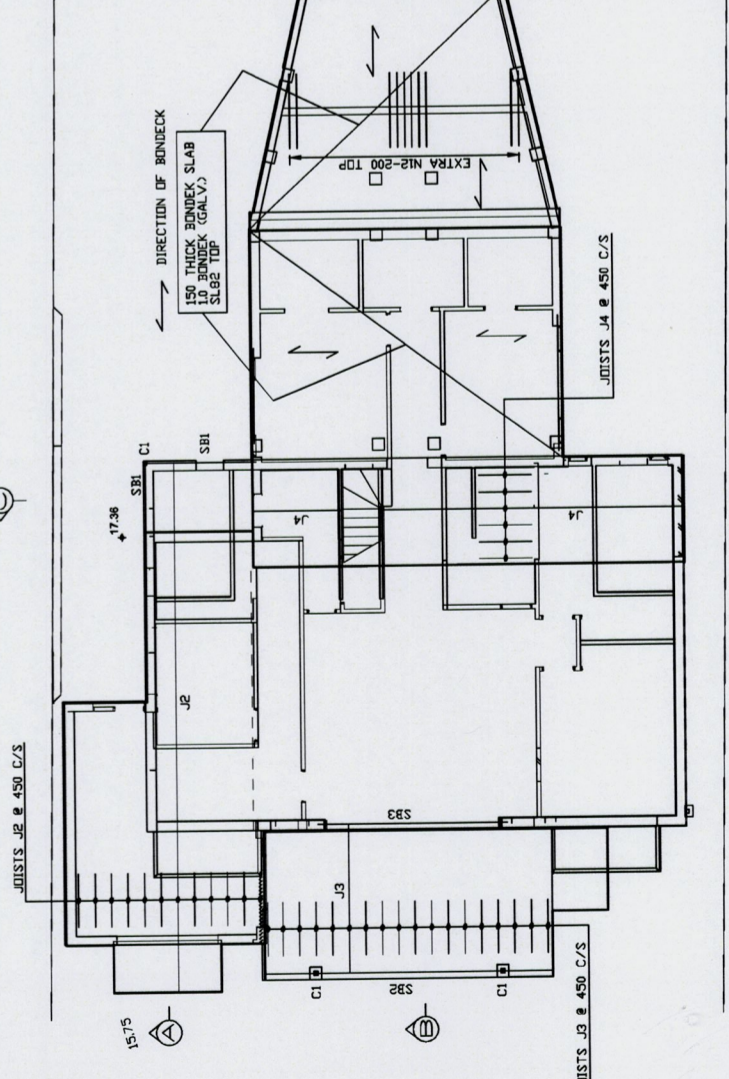
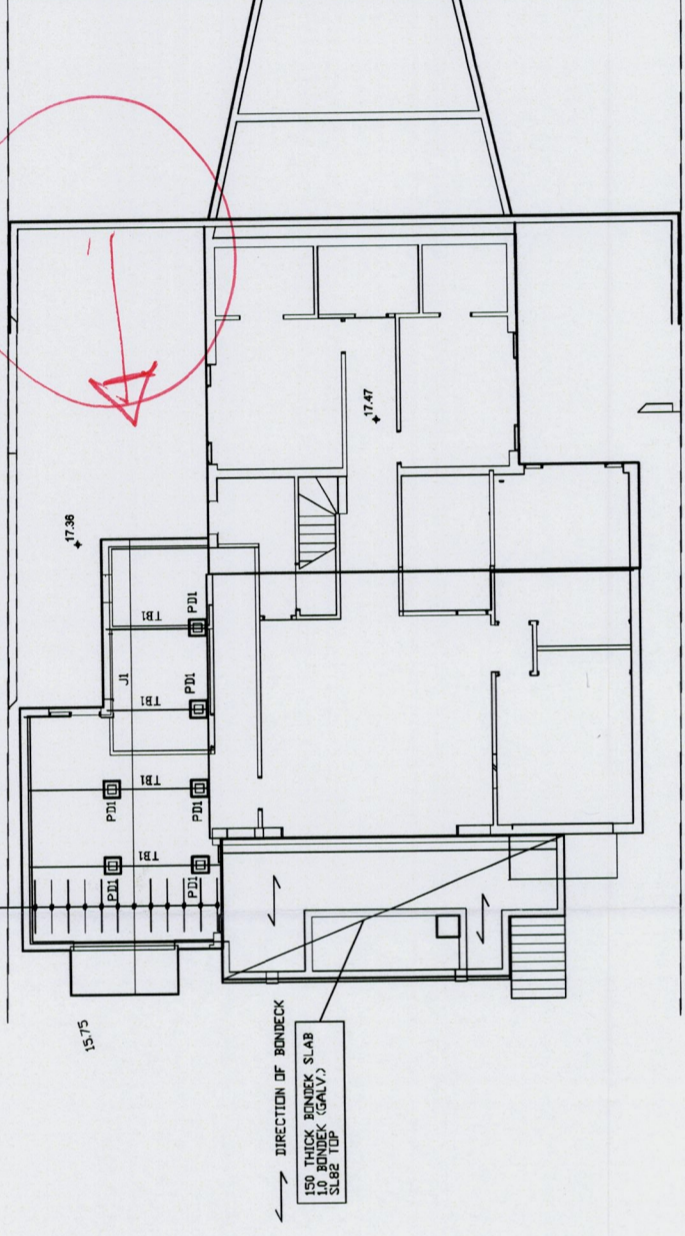
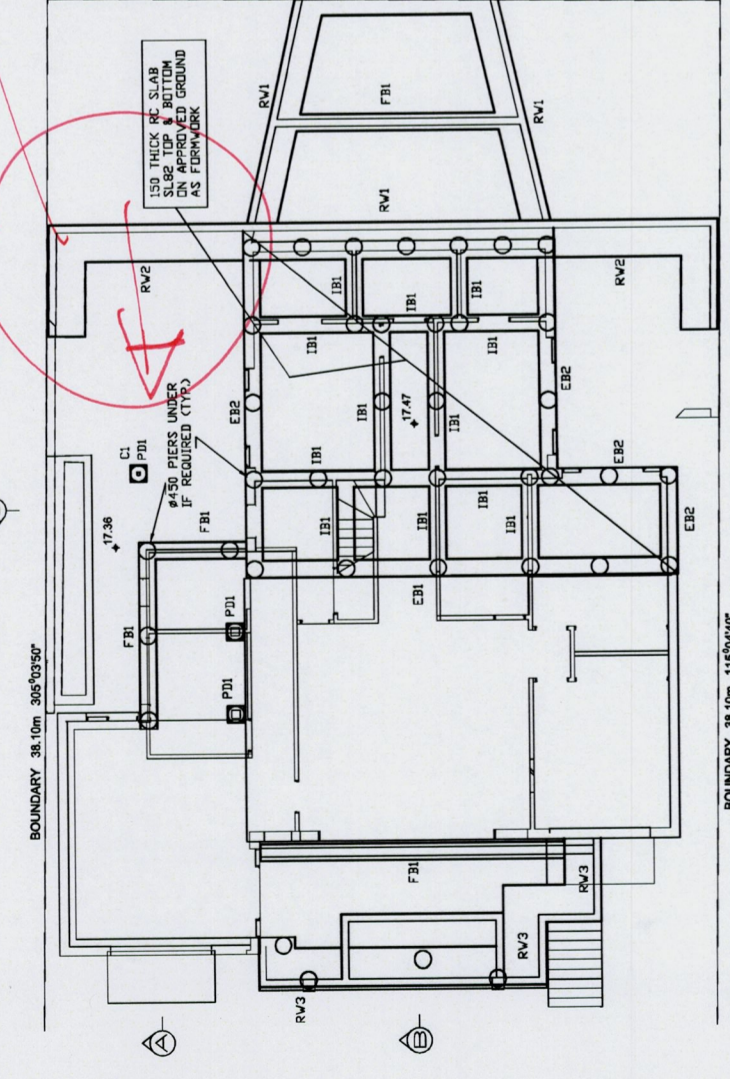
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Note: All existing walls to be retained in accordance with condition B6

Retaining wall. to be located on site in accordance with allotment requirements.

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### GENERAL NOTES

- G1 THESE NOTES SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER DOCUMENTS AND DRAWINGS FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE ARCHITECT OR ENGINEER BEFORE COMMENCING WORK.
- G2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
- G3 SETTING OUT DIMENSIONS SHALL BE VERIFIED BY AN INDEPENDENT SURVEYOR OR AN INDEPENDENT ENGINEER IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G4 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE S.A CODE AND THE S.A STANDARDS OF THE RELATIVE CONCERNED.
- G5 EXCAVATIONS SHALL BE PROTECTED AGAINST COLLAPSE BY THE CONSTRUCTION OF SHIELDING WALLS AND UNDERPINNING OR SHORING OR UNDERPINNING PROVIDED BY ENGINEER. PROVISIONS FOR PROTECTIVE MEASURES SHALL BE PROVIDED BY THE ENGINEER.
- G6 FOUNDATIONS AND WORKING LEVELS SHALL BE DESIGNED FOR AN ALLOWABLE INTENSITY OF BEARING CAPACITY OF 200 kPa. THE DESIGNER SHALL OBTAIN APPROVAL OF THE FOUNDATION MATERIAL BEFORE PLACING CONCRETE.
- G7 FOOTINGS SHALL BE PLACED UNDER WALLS AND COLUMNS UNLESS OTHERWISE NOTED.
- G8 SUB-GRADE SHALL BE FILL OR OTHER MATERIAL ON CUT OR FILL. REMOVE SOFT SPOTS AND REPAIR BY COMPACTING TO 95% OF PROPOSED COMPACTION STANDARD. FILLERS MUST EXCEED 50 mm TO 5% DRY WEIGHT. DURING PROPER SETTLEMENT TO SLABS.

- C1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3602.
- C2 CONCRETE QUALITY SHALL BE AS TABULATED AND SHALL BE VERIFIED BY TESTS.
- C3 CLEAR CONCRETE COVER TO REINFORCEMENT SHALL BE AS FOLLOWS UNLESS OTHERWISE SHOWN.  
CAST IN FORMS COMPLYING WITH AS 3602

ELEMENT	MINIMUM COVER TO REINFORCEMENT ON THE EXPOSED SURFACE	MINIMUM COVER TO REINFORCEMENT ON THE ADJACENT SURFACE	MINIMUM COVER TO REINFORCEMENT ON THE BOTTOM SURFACE	MINIMUM COVER TO REINFORCEMENT ON THE TOP SURFACE
RAFTERS	45	45	45	45
STAIR FOOTINGS	50	50	50	50
STRIP FOOTINGS	50	50	50	50
SLAB ON GROUND	40	40	40	40
WALLS	40	40	40	40
COLUMNS	40	40	40	40
RETAINING WALLS	40	40	40	40
BEAMS	40	40	40	40
RAFTERS	40	40	40	40
SLABS	40	40	40	40
CONCRETE WALLS	40	40	40	40
SLAB ON GROUND	40	40	40	40
WALLS	40	40	40	40
COLUMNS	40	40	40	40
BEAMS	40	40	40	40
RAFTERS	40	40	40	40
SLABS	40	40	40	40
CONCRETE WALLS	40	40	40	40

- NOTE: 1. SLABS POURED OVER A MEMBRANE ON THE GROUND ARE INCLUDED AS CONDITION 2.  
2. SLABS EXPOSED TO CORROSIVE VAPOURS, CONDENSING GROUND WATER, SEA WATER OR OTHER AGGRESSIVE ENVIRONMENT SHALL BE PROTECTED AS FOLLOWS:  
AS 3602:2005 PART 5.1.1.2
- C4 SIZES OF ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
- C5 CONSTRUCTION JOINTS SHALL NOT BE USED WITHOUT THE APPROVAL OF THE ENGINEER.
- C6 BEAM JOINTS ARE TO BE WELDED OR BOLTED OR BOLTED TO THE REINFORCEMENT.
- C7 ALL REINFORCEMENT SHALL BE AS TABULATED UNLESS OTHERWISE SHOWN. REINFORCEMENT SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- C8 REINFORCEMENT IS REPRESENTED UNLESS OTHERWISE SHOWN AS PER THE REINFORCEMENT PRODUCTION.
- C9 SIZES IN REINFORCEMENT MADE IN POSITIVE OTHER THAN SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER, WHERE THE LAP LENGTH IS NOT SHOWN IT SHALL BE SUFFICIENT TO DEVELOP THE FULL STRENGTH OF THE REINFORCEMENT.
- C10 WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- C11 PIPES OR CEMENTS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
- C12 ALL REINFORCING BARS SHALL COMPLY WITH AS 3602:2005 PART 5.1.1.2. ALL FABRIC SHALL COMPLY WITH AS 1592 AND AS 1594 AND SHALL BE SUPPLIED IN FLAT SHEETS.
- C13 REINFORCING SYMBOLS:  
DEVELOPED BAR: S  
Y GRADE 500: Y  
X GRADE 500: X  
PLAIN BAR: P  
WELDED FABRIC: W  
N GRADE 500: N  
REINFORCED BAR: R
- C14 THE NUMBER IMMEDIATELY FOLLOWING THESE SYMBOLS IS THE BAR DIAMETER IN MILLIMETERS. PLAIN BAR REINFORCEMENT SHALL BE LAPPED AT ENDS AND COVERS AND LAPS IN POSITION OF MAXIMUM POSITIVE MOMENT SHALL NOT BE PERMITTED.
- C15 ALL REINFORCEMENT SHALL BE FULLY SUPPORTED ON INSULATED STEEL PLASTIC OR CONCRETE CHAMPS SPACED AT 400 AND 750 CENTERS WITH 150 mm UNDER AND ABOVE REINFORCEMENT RESPECTIVELY. BARS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
- C16 MINIMUM STOPPING TIME FOR FORMWORK SHALL BE AS RECOMMENDED IN AS 3602 OR AS DIRECTED BY ENGINEER.

**CIVIL & STRUCTURAL ENGINEERING**  
**DESIGN SERVICES PTY. LTD.** ACN 901 971 628  
CONSULTING STRUCTURAL, CIVIL, GEOTECHNICAL & ENVIRONMENTAL ENGINEERS  
PHONE 61-02 9975 3899  
FAX 61-02 9975 3843  
MOBILE 0487 733 899  
EMAIL [info@designservices.com.au](mailto:info@designservices.com.au)

CLIENT: MR & MRS PRIESTLEY  
PROJECT: STRUCTURAL DETAILS OF ADDITIONS  
192 HUDSON PARADE  
CLAREVILLE

Drawn By: JWS  
Checked By: E.A. BENNETT, M.I.E., Aust.  
Date: 12/12/2014  
Scale: AS SHOWN  
Drawing No: P-11-263092-2A  
Revision: A - 10/4/2015

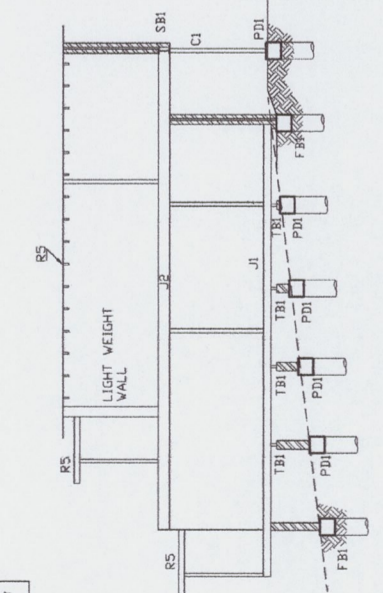
Structural Professional Engineer 2832  
**Mr Edward A. Bennett**  
MPE, Aust. Engng

Signature: \_\_\_\_\_ Date: 12/12/2014  
Seal: \_\_\_\_\_  
Register on the Regs in the Category of  
Civil/Structural/Geotechnical/Environmental  
National Professional Engineers Register

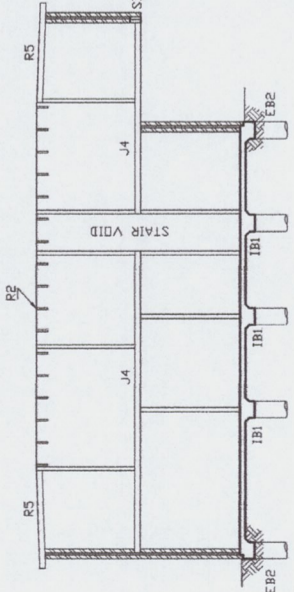
This plan / document forms part of Construction Certificate no. 2015 / 5453

THIS DRAWING MUST BE READ IN CONJUNCTION WITH DRAWING No. P-11-263092-3

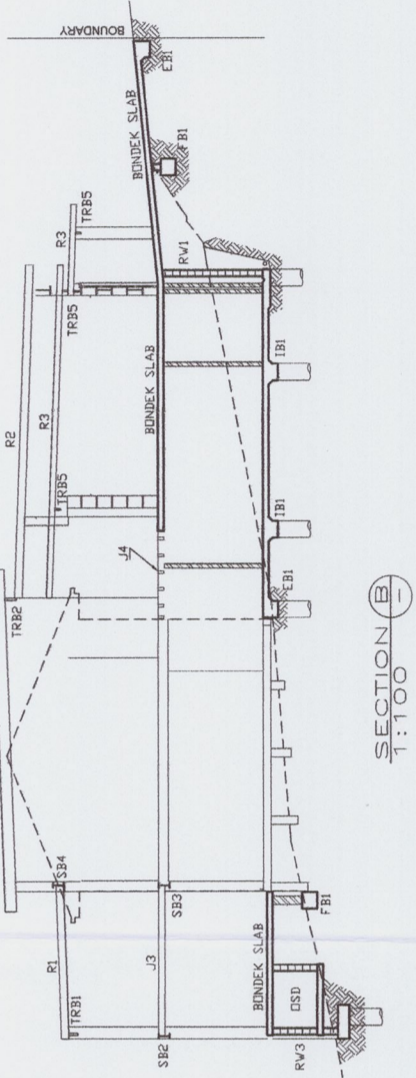




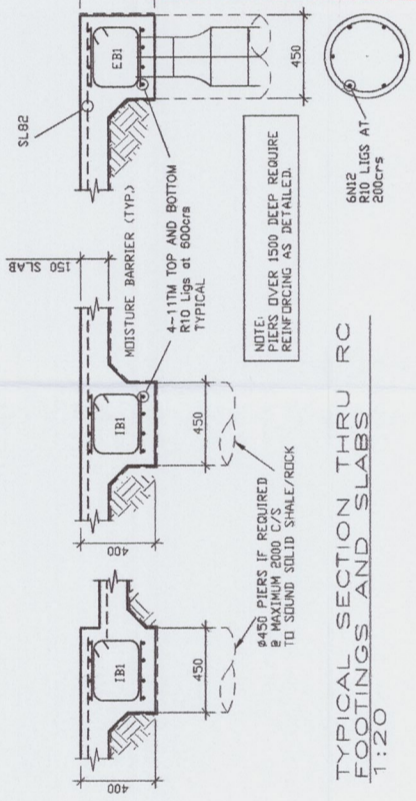
SECTION A  
1:100



SECTION B  
1:100

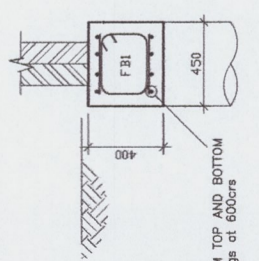
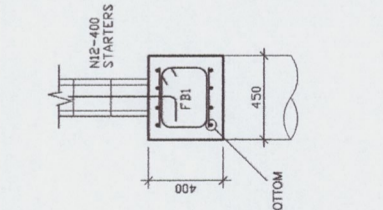
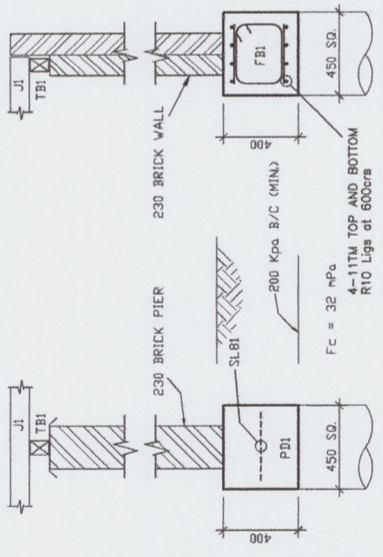


SECTION C  
1:100

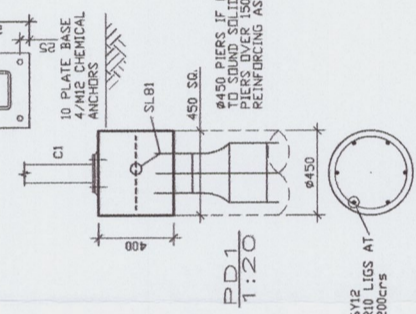


TYPICAL SECTION THRU RC FOOTINGS AND SLABS  
1:20

THIS DRAWING MUST BE READ IN CONJUNCTION WITH DRAWING No. P-11-263092-2



4-11M TOP AND BOTTOM  
R10 Lig at 600c/r



PD1  
1:20

**WARNING**  
The applicant's responsibility to obtain approval from Sydney Water or other utilities.  
The Structural Engineer of their responsibility to ensure the structural adequacy of this project.  
The Applicant, Structural Engineer or other Professional of their responsibility to ensure these slabs are consistent with the issued Construction Certificate Architectural Details.

GENERAL NOTES

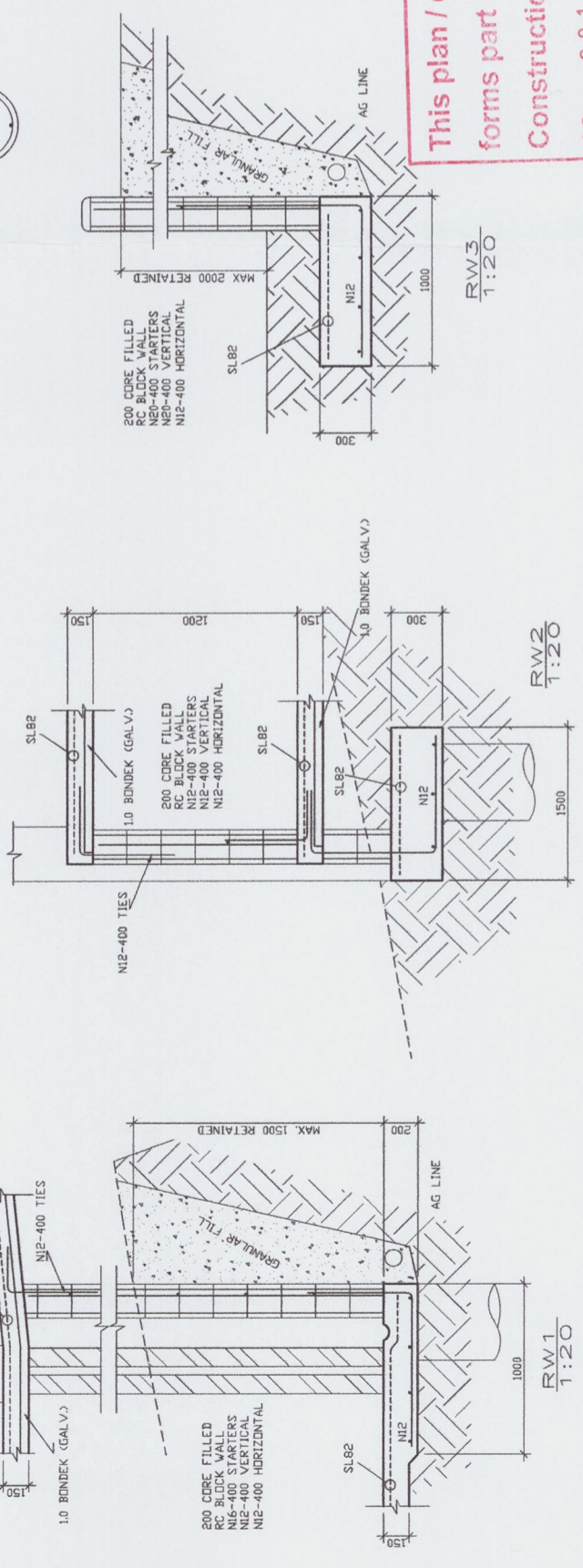
- G1 THESE NOTES SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS ISSUED DURING ENGINEERING PROCEEDINGS WITH THE WORK.
- G2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
- G3 SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY ON-SITE MEASUREMENT.
- G4 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERTRESSED.
- G5 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE SAA CODE AND THE B-1 LAMS AND ORDINANCES OF THE RELATIVE BUILDING AUTHORITY.
- G6 EXCAVATIONS SHALL NOT BE PERMITTED WITHIN 2 METRES OF AN EXISTING STRUCTURE WITHOUT PRIOR APPROVAL OR RECOMMENDATIONS FOR SHORING OR UNDERPINNING PROVIDED BY ENGINEER. FOUNDATIONS AND FOOTINGS
- F1 FOOTINGS HAVE BEEN DESIGNER ON AN AVAILABLE AUTHORITY OF BUREAU OF ENGINEERING. THE NUMBER SHALL BE SHOWN ON THE DRAWING WITHIN 2 METRES OF THE EXISTING CONCRETE.
- F2 FOOTINGS SHALL BE PLACED UNDER WALLS AND COLUMNS UNLESS OTHERWISE NOTED.
- SUB-GRADE
- S61 UNDER ALL SLABS ON GRADE, WHETHER ON CUT OR FILL, PROVIDE SOFT SPOTS AND DETAIL BY 50mm GRIT SAND COMPACTED TO 95% RELATIVE DENSITY IN ACCORDANCE WITH AS 3602.
- CONCRETE WORK
- C1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3602.
- C2 CONCRETE QUALITY SHALL BE AS VALIDATED AND SHALL BE VERIFIED BY TESTS.
- C3 CLEAR CONCRETE COVER TO REINFORCEMENT SHALL BE AS FOLLOWS UNLESS OTHERWISE SHOWN.  

ELEMENT	SLOPE	CONCRETE COVER TYPE	APERTURE	MINIMUM COVER TO REINFORCEMENT	MINIMUM COVER TO REINFORCEMENT
CAST IN FORMS CONCRETE WITH AS 509					
SLAB				20	20
WALL				25	25
COLUMN				40	40
BEAM				40	40
PILE				75	75
STEP FOOTING				75	75
FOUNDATIONS				75	75
FOUNDATIONS				75	75
FOUNDATIONS				75	75
FOUNDATIONS				75	75
FOUNDATIONS				75	75
FOUNDATIONS				75	75
FOUNDATIONS				75	75
FOUNDATIONS				75	75
FOUNDATIONS				75	75
- C4 REINFORCEMENT SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
- C5 ALL REINFORCEMENT SHALL BE SUPPLIED AS PER THE SCHEDULED MATERIALS AND AS SHOWN ON THE DRAWINGS.
- C6 WELDED JOINTS SHALL NOT BE USED IN REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
- C7 ALL REINFORCEMENT SHALL BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
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MEMBER SCHEDULE

C1	100 X 100 X 6 SHS
TRB1	150 X 63 HYSPAN
J1	200 X 45 HYSPAN
J2	300 X 63 HYSPAN OR HJ300-90
J3	170 X 63 HYSPAN OR HJ240-45
J4	150 X 75 HYSPAN OR HJ240-45
SBI	XXX
SBJ	XXX
SBJ	XXX
SBJ	XXX
TRB1	240 X 63 HYSPAN
TRB2	300 X 63 HYSPAN
TRB3	200 X 63 HYSPAN
TRB4	200 X 63 HYSPAN
TRB5	150 X 45 HYSPAN
TRB6	300 X 45 HYSPAN
TRB7	300 X 63 HYSPAN
R1	150 X 45 HYSPAN
R2	300 X 45 HYSPAN OR HJ300-90
R3	200 X 63 HYSPAN OR HJ240-45
R4	300 X 45 HYSPAN OR HJ300-90
R5	150 X 45 HYSPAN

**This plan / document forms part of Construction Certificate no. 2015 / 5453**



**CIVIL & STRUCTURAL ENGINEERING DESIGN SERVICES PTY. LTD.** AN 6139 182  
 CONSULTING STRUCTURAL, CIVIL, GEOTECHNICAL & ENVIRONMENTAL ENGINEERS  
 3 Veneeth Road BELDERS QLD 4081  
 PHONE 61-07-9975 3899 FAX 61-07-9975 9943  
 MOBILE 04-27 753 183 EMAIL hnd@designsp.com.au

DESIGNED BY  
 MR & MRS PRIESTLEY  
 STRUCTURAL DETAILS OF ADDITIONS  
 292 HUDSON PARADE  
 CLAREVILLE

Drawn By: DWS Scale: AS SHOWN  
 Checked by: E. A. BENNETT M.I.E. Aust. Drawing No: P-11-263092-3  
 Date: 12/12/2014

Registered Professional Engineer 19832  
**Mr Edward A. Bennett**  
 Signature: [Signature] Date: 12/12/2014  
 Register as the sign-off in the Category of Geotechnical  
 Civil/Structural/Geotechnical  
 Licensed Professional Engineer Register



**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER**  
**FORM NO. 2 – PART B – To be submitted with detailed design for Construction Certificate**

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I, EDWARD A BENNETT on behalf of  
 (insert name) (trading or company name)

**CIVIL & STRUCTURAL ENGINEERING  
 SERVICES PTY LTD  
 3 WANNITI ROAD  
 BELROSE NSW 2085**

on this the 4th November 2014  
 (date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009 and I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans for the Construction Certificate Stage and that I am satisfied that:

Please mark appropriate box

the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.  
 the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.

Geotechnical Report Details:

Report Title:	D-11-262 928 A
Report Date:	4/11/2014
Author:	EDWARD A BENNETT

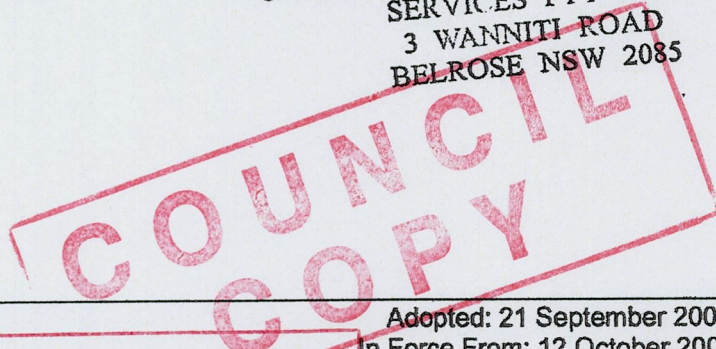
Documentation which relates to or is relied upon in report preparation:

X
X

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Signature ..... [Signature]  
 Name ..... EDWARD A BENNETT  
 Chartered Professional Status ..... NPEN  
 Membership No. NPEN 198230  
 Company.....

**CIVIL & STRUCTURAL ENGINEERING  
 SERVICES PTY LTD  
 3 WANNITI ROAD  
 BELROSE NSW 2085**



This plan / document  
 forms part of  
 Construction Certificate  
 no. 2015 / 5453



JULIE - FOR FORMÉ  
WITH STRUCTURES Done

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER  
FORM NO. 2 - PART A - To be submitted with detailed design for Construction Certificate

Development Application for CC 2015/5453  
Name of Applicant  
Address of site 292 HUDSON PARADE, CLAREVILLE

**PART A: Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design**

I, Edward A Bennett on behalf of CIVIL & STRUCTURAL ENGINEERING DESIGN SERVICES  
(insert name) (trading or company name) PTY. LTD.  
on this the 5th NOVEMBER 2014  
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development and that

Please mark appropriate box

- the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.  
 the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.

Geotechnical Report Details:

Report Title: D-11-262928A  
Report Date: 4-11-2014  
Author: Edward A Bennett  
Author's Company/Organisation:

CIVIL & STRUCTURAL ENGINEERING  
SERVICES PTY LTD

Structural Documents list:

3 WANNITI ROAD  
BELROSE NSW 2085

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Signature Edward A Bennett  
Name Edward Arthur Bennett  
Chartered Professional Status AGS  
Membership No. N.P.E.R. 198230  
Company

CIVIL & STRUCTURAL ENGINEERING  
SERVICES PTY LTD  
3 WANNITI ROAD  
BELROSE NSW 2085










COUNCIL  
COPY

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forms part of  
Construction Certificate  
no.



# EXTERNAL FINISHES & MATERIALS

292 HUDSON PARADE  
 CLAREVILLE  
 LOT 10, DP228119

 <p>Colorbond Roof, Gutters and Downpipes to be Colorbond "Wallaby"</p>	 <p>Eaves - Hardiegroove eaves lining shall be Taubmans Ornamental Pearl</p>
 <p>Stone work and columns- High Density Composite panels - Ledge Stone Natural Grey interlock</p>	 <p>Carpent and fence screening - Merbau</p>
 <p>Windows -Airlite Windows and doors shall be natural brushed aluminium.</p>	 <p>Courtyard tiles Amber Basalt Grey</p>
 <p>Carport and entry door - natural aluminium and opaque acrylic</p>	 <p>600 mm Main Roof surround, Carport and breeze way roof 600 mm surround first floor back deck roof border surround and roof of boxed windows - High Density Composite moulded panels - diamond plate silver standard</p>
 <p>External Walls and retaining walls. Brickwork soft sponge 10mm rendered smooth finish shall be Architectural Clareville Black</p>	 <p>Boxed Windows Scyon Stria Cladding Standard Profile 325 mm wide Clareville Black</p>

**COUPY**

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SITE RATIOS - EXISTING:	
SITE AREA	695.60m <sup>2</sup>
FOOTPRINT OF RESIDENCE	120.45m <sup>2</sup>
PORCH + TERRACE	31.02m <sup>2</sup>
PAVED AREAS & DRIVEWAY	128.41m <sup>2</sup>
<b>SUM TOTAL</b>	<b>279.88m<sup>2</sup></b>
<b>SITE COVERAGE %</b>	<b>40.2%</b>
<b>EXISTING LANDSCAPED AREA</b>	<b>58.8%</b>

SITE RATIOS - PROPOSED:	
SITE AREA	695.60m <sup>2</sup>
FOOTPRINT OF RESIDENCE	218.97m <sup>2</sup>
TERRACE	35.27m <sup>2</sup>
PAVED AREAS & DRIVEWAY	68.59m <sup>2</sup>
<b>SUM TOTAL</b>	<b>322.83m<sup>2</sup></b>
<b>LESS VARIATION OF 6%</b>	<b>41.73m<sup>2</sup></b>
<b>TOTAL</b>	<b>281.10m<sup>2</sup></b>
<b>SITE COVERAGE %</b>	<b>40.4%</b>
<b>PROPOSED LANDSCAPED AREA</b>	<b>59.6%</b>

**NOTES**

All work is to comply with the Building Code of Australia, the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards by the Standards Association of Australia. The Builder is to give all notices, obtain all permits and pay all fees. Finished ground levels on the plan are subject to site conditions. Do not scale from drawings. Use figured dimensions only and report any discrepancies to the designer prior to commencement. All figured dimensions to be checked on site.

**BASIC INFORMATION REQUIREMENTS:**

**LOADINGS:**  
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or LED. Lamps

**WATER COMMITMENTS:**  
Features:  
At new Shower heads, toilets and taps shall have a maximum 3 Star rating

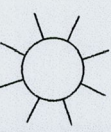
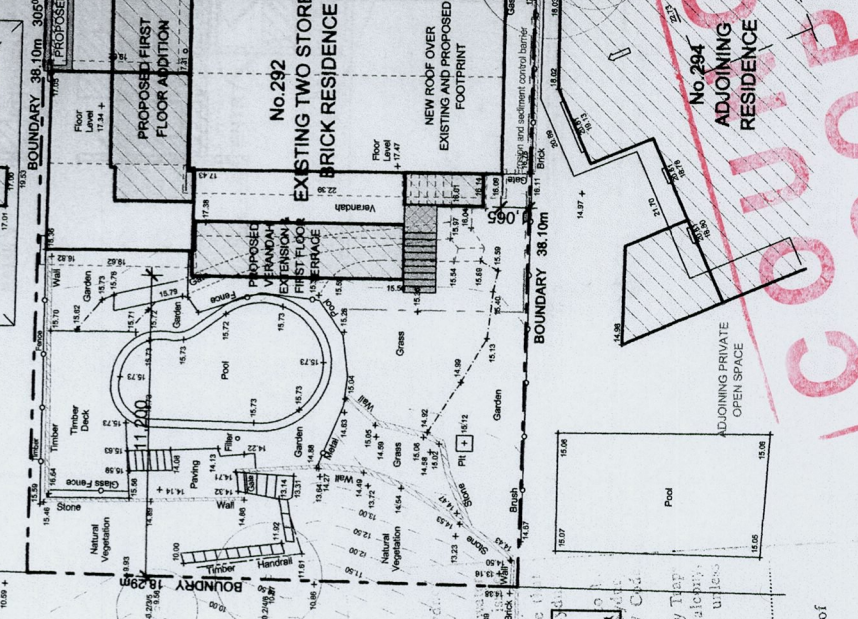
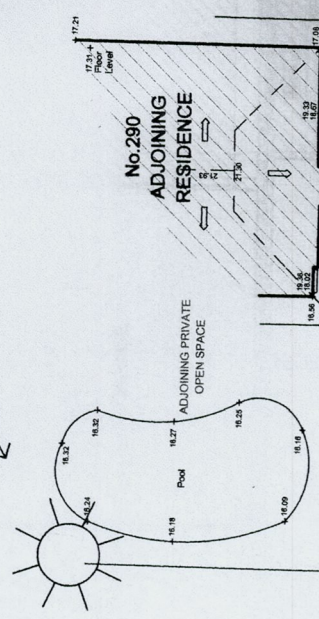
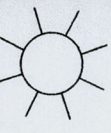
**INSULATION REQUIREMENTS:**  
External walls: The external walls shall be brick, veneer and crack brick construction.  
Superficial Floors: The new superficial floor with enclosed sub-floor shall meet minimum R0.6 (down) for R1.30 (backing construction).  
Ceilings: The floor slab ceiling shall meet minimum R2.0 (up).  
Roofs: The roof shall have foil backed blister (55mm) and be of medium colour (solar absorption 0.45-0.70)

**WINDOWS & GLAZED DOORS:**

All window and door numbers shown on the window and door schedule correspond to framing window / door numbers shown in the Basic Certificate.  
Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basic Certificate.  
Glazing types: Sliding devices shall be installed in accordance with the Basic Certificate.  
Frames and glazing: Frame and glazing types shall meet the requirements of the Basic Certificate.

**VEGETATION & LANDSCAPING:**

The total area of vegetation to be retained on site shall be no less than that shown on the Basic Certificate.  
Vegetation to be removed shall be shown on the Basic Certificate.  
Vegetation to be retained shall be shown on the Basic Certificate.  
Vegetation to be planted shall be shown on the Basic Certificate.  
Vegetation to be protected shall be shown on the Basic Certificate.  
Vegetation to be removed shall be shown on the Basic Certificate.  
Vegetation to be retained shall be shown on the Basic Certificate.  
Vegetation to be planted shall be shown on the Basic Certificate.  
Vegetation to be protected shall be shown on the Basic Certificate.



SYDNEY WATER APPROVED

- Position of structure in relation to Sydney Water services is satisfactory.
- Water's assets is satisfactory.
- Connections to Sydney Water sewer/water services may only be made following the receipt of a permit to a licensed plumber/drainlayer. It is the owner's responsibility to ensure that all proposed sewer/water connections are in accordance with the Sydney Water Act 1994, AS 3643 and the New Code of Practice.
- Gullies, Inspection Sinks and Boundary Trap shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
- Property No. 3424453
- Reece, Mona Vale  
Quick Check Agent on behalf of SYDNEY WATER

Per: [Signature]

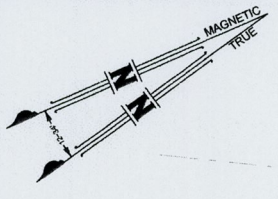
**JAHH**  
DESIGN SERVICES  
150 MCCOY AVENUE, SYDNEY NSW 2009  
PH: 02 9439 5201 FAX: 02 9439 5202  
www.jahh.com.au

**SITE PLAN**  
Scale: 1:200 @ A3  
Date: October 2014  
Checked By: JAH  
Project No: 1325  
Drawing No.: DA01  
Plot Date: 20/10/2014

**1:200**  
**1**

**NO. 2015 / 5453**  
**Construction Certificate**

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**APPROVED DEVELOPMENT PLANS**

**NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF APPROVAL FOR THIS DEVELOPMENT.**

**NOTE: REFER TO LINDSAYE PLAN FOR PLANTING DETAILS.**

**NOTE: APPROVAL DOES NOT AUTHORISE ANY WORKS TO BE DONE IN THE ROAD RESERVE OR ANY OTHER PUBLIC RESERVE.**



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**Client**  
**MR. & MRS. PRIESTLEY**  
Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**292 HUDSON PARADE**  
**LOT 10, DP 228119**  
**CLAREVILLE NSW 2107**

**JAHH**  
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