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## **STATEMENT OF ENVIRONMENTAL EFFECTS**

### **Alterations and Additions to the Existing Dwelling**

**39 Adelaide Street, Clontarf NSW 2093**  
**Lot A DP 368257**



**Prepared on behalf of Linked  
Project Management**



**February 2019**

TOWN PLANNING AND DEVELOPMENT CONSULTANTS





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## Statement of Validity

The preparation of this Statement is pursuant to Section 4.12 of the Environmental Planning and Assessment Act 1979 and Clause 50 of the Environmental Planning and Assessment Regulation 2000. It provides for an assessment of the development proposal, having regard to relevant legislation, contextual analysis, social, economic and environmental impacts, potential amenity impacts on the surrounding locality and the measures proposed to mitigate impacts.

Project No.	2018056		
Proposal	Alterations and Additions		
Site Address	39 Adelaide Street, Clontarf NSW 2093		
Site Area	452.8m <sup>2</sup>		
Council	Northern Beaches (former Manly)		
Zoning	R2 Low Density Residential		
Date	22 January 2019	11 February 2019	15 February 2019
Version	DRAFT 1	1.0	1.1
Comment	-	-	Minor amendments and include new figures

Approved by Craig Schulman  
Bachelor of Science (Resource and Environmental Management)  
Master of Urban and Regional Planning

Signed



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# 1 INTRODUCTION

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This Statement of Environmental Effects has been prepared on behalf of Linked Project Management to accompany a development application for the alterations and additions to the existing dwelling at 39 Adelaide Street, Clontarf.

The report has been prepared in accordance with the provisions of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and *Environmental Planning and Assessment Regulation 2000* (EP&A Reg.) and provides the following:

- Description and analysis of the site and locality.
- Description of the proposed development.
- Assessment of relevant environmental planning matters required for consideration under Section 4.15 of the EP&A Act including compliance with relevant planning instruments and controls, environmental impacts, site suitability and the public interest.
- Conclusions on the environmental planning assessment and merits of the proposed development on which the DA can be supported by Council and granted consent.

## 1.1 Proposed Development

The proposed development is for the alterations and additions to the existing dwelling including a first-floor addition, new garage, internal modifications and a complete upgrade of the façade.

The proposal seeks to facilitate the upgrade and updating of an existing dwelling into a more contemporary style house that maximises the views and outlook over Middle Harbour and other district views. It will create a more liveable home by creating space for additional bedrooms, accommodate a more functional and useable dwelling to accommodate a growing family and provide an open plan kitchen and living area that opens out onto the deck and landscaped garden area, enhancing the indoor-outdoor living experience.

It provides a high level of environmental sustainability through good passive design techniques such as good shading, cross ventilation and thermal mass.



**Montage of the proposed Adelaide Street view**

## 1.2 Zoning and Permissibility

The proposed development is permissible within the *R2 Low Density Residential* and is below the maximum permissible height of 8.5m.

The proposed FSR of 0.64:1 exceeds the maximum permissible FSR of 0.4:1 and is justified in the Clause 4.6 Variation submitted with the application.

Compliance with the FSR standard is unreasonable or unnecessary in the circumstances of this case because the objectives of the floor space ratio standard are achieved, notwithstanding the numerical non-compliance.

The non-compliance with the floor space ratio standard is a consequence of making appropriate use of the resulting building envelope to provide habitable floor space to maximise the amenity of the proposed dwelling.

The bulk and scale of the proposal is entirely consistent with the existing Adelaide Street and Beatrice Street streetscapes, and the desired future streetscape character (having regard to the relevant planning controls for the area).

Overall, the site specific and contextually responsive development is consistent with the objectives of the zone, in that there are no significant adverse impacts on the amenity of the adjoining or adjacent properties in terms of solar access, visual bulk and privacy.

## 1.3 Context and Design

After a thorough context analysis and site analysis, the proposal has been designed to best address the site opportunities and constraints, including steep topography, shape and orientation of the allotment, site access and view corridors from and around the site.

The design solution provides an improved contemporary streetscape presentation, similar to other more recent developments along both Adelaide Street and Beatrice Street.

The proposal is generally compliant with planning controls, except for the FSR and garage setback, and ensures the bulk and scale are consistent with the built form of the surrounding dwellings.

The materials and finishes are of a high quality and add to the overall presentation to the surrounding streetscapes.

## 1.4 Background

### ***Approval History***

A summary of the recent approval history for the site includes:

- CDC2018/0996: Alterations and additions to existing dwelling - NW18/3332 (submitted 11/10/2018).
- DA2018/1380: Alterations and Additions - Construction of a swimming pool and landscaping works (approved 25/10/2018).



## 2 SITE ANALYSIS

### 2.1 Location and Context

The site is located in Clontarf within the Northern Beaches (previous Manly) Council Local Government Area (LGA). Clontarf is typical of an established residential suburb characterised by low to medium residential uses of a variety of styles and designs.

Due to the steep topography of the area and the fall towards the harbour, the Adelaide Street and surrounding streetscapes vary in terms of presentation to the street and has resulted in irregular shaped sites and access arrangements.

In particular, Adelaide Street is a 'No Through Road' that terminates at 39 Adelaide Street and then drops approximately 11m down to Beatrice Street.

A small reserve and stair accessway is located adjacent to the subject site and provides pedestrian access between Adelaide Street and Beatrice Street.



**Figure 1**

**Aerial of site and surrounding properties (site outlined in red and shaded yellow)**

**(Source: SIXViewer)**



**Figure 2**

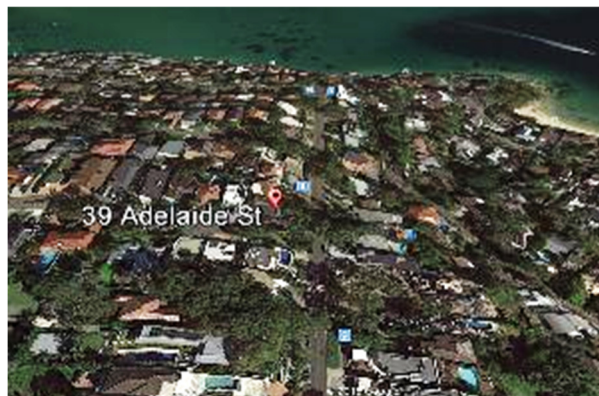
**View of Adelaide Street to the west**

**(Source: Google Streetview)**



**Figure 3**

**View of Beatrice Street to the north**



**Figure 4**

**Aerial oblique view of the site and surrounding area highlighting the topography of the area and the steep fall towards the harbour**

**(Source: Google Earth)**



**Figure 5**  
**View of the access stairs at the bottom of Adelaide Street, adjacent to the subject site**



**Figure 6**  
**View of the access pathway between Adelaide Street and Beatrice Street**

## 2.2 Site and Surrounding Area

The site is known as 39 Adelaide Street and legally described as Lot A DP 368257. It is a square shaped allotment with a site area of 452.6m<sup>2</sup>. The site is located at the end of a No Through Road and has an atypical frontage to Adelaide Street, comprising of the access driveway and carport. The site is oriented to the west overlooking Beatrice Street and the harbour views beyond.

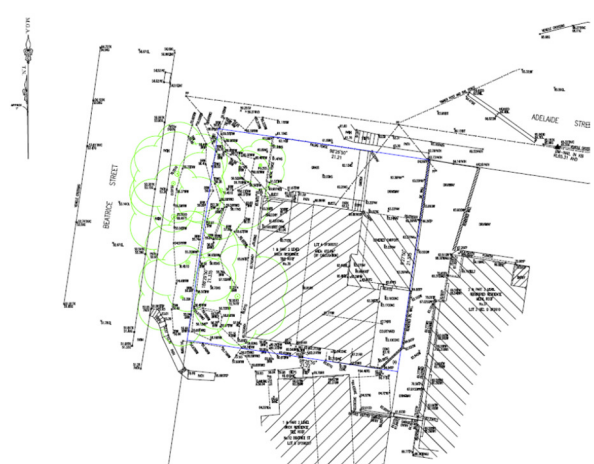
It comprises of two-storey dwelling house with a double carport with a small grassed private open space area and other landscaped areas.

The site falls approximately 7.8m from the highest point along Adelaide Street towards the back corner of the site. The most level part of the site is located near the front and currently contains the only level grassed area.

Due to the site orientation the siting of the dwelling on the site does not relate to the characteristic front and rear setbacks and typical rear private open space arrangement. In addition, due to the steep topography of the site, there is limited usable private open space area.



**Figure 7**  
**Aerial of site and neighbouring properties (site outlined in red and shaded yellow)**  
**(Source: SIXViewer)**



**Figure 8**  
**Extract from the site survey**





**Figure 9**  
**View of the site from Adelaide Street**



**Figure 10**  
**View of the site from Beatrice Street**



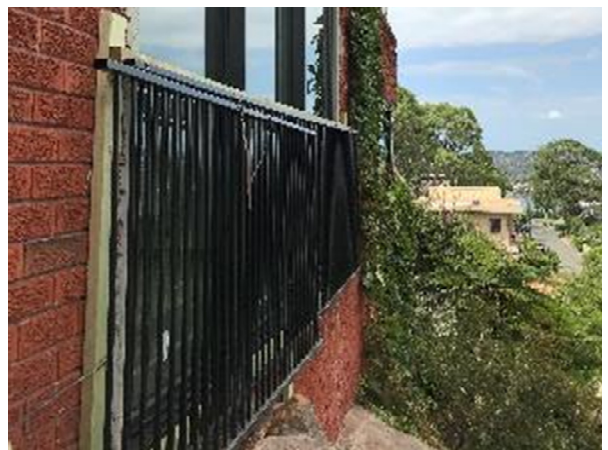
**Figure 11**  
**View of the previously grassed area, now under construction to include the pool, from the driveway**



**Figure 12**  
**View of the existing dining area with views across Middle Harbour**



**Figure 13**  
**View of the rear of the site from Beatrice Street showing the approved swimming pool under construction**



**Figure 14**  
**View of the rear, steeper portion of the site that is currently unusable**



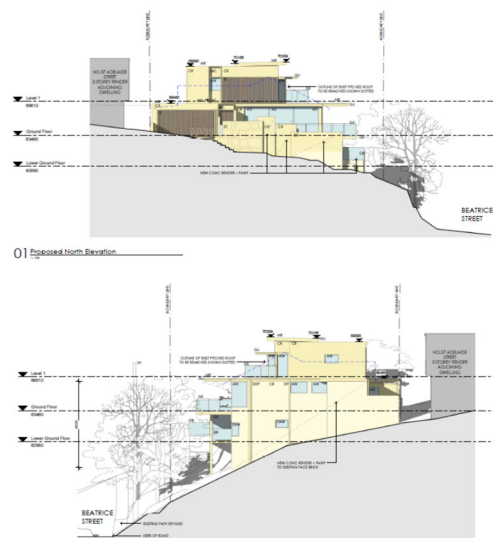
### 3 PROPOSAL

The proposal is for alterations and additions to the existing dwelling including a first-floor addition, external upgrade works, internal modifications and other works to align with CDC approval for the lower ground-floor works and the previously approved landscape application.

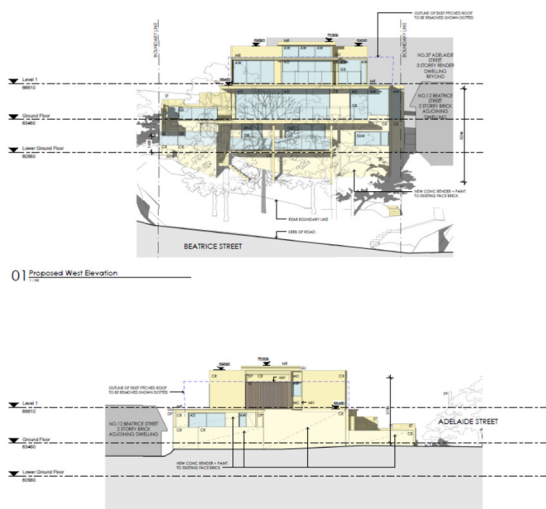
The proposal has been designed to generally comply with the height, building envelope and landscaping requirements with an exceedance in the FSR due to the existing building and topography, resulting in a building bulk and scale that is consistent with the desired outcome and objectives for the medium density residential area. The overall development is similar in design and bulk to other recent developments in the locality, particularly those developments fronting Beatrice Street.



**Figure 15**  
**Extract of the proposed site plan**



**Figure 16**  
**Extract of the proposed side elevations**



**Figure 17**  
**Extract of the proposed front and rear elevations**



**Figure 18**  
**Extract of the proposed section showing the height plan through the site**

### 3.1 Demolition and Site Works

The proposal includes the demolition of the majority of the existing ground-floor internal wall and several external wall as well as the removal of the roof in order to facilitate the first-floor addition and new ground-floor open plan layout as well as to access the new balcony and deck area.

The proposal is generally contained within the existing building envelope and does not require any significant excavation or related works to accommodate the proposed use.

### 3.2 Lower Ground-Floor Modifications

The majority of the works to the lower ground-floor area have been approved under the CDC.

The proposed new works to the lower ground-floor level include a new pool equipment room and new balcony as well as other internal modifications to facilitate the ground-floor access.

### 3.3 Ground-Floor Modifications

The proposed ground floor works located within the existing building envelope include:

- Enclosing of the existing carport to create a double garage accessed directly off Adelaide Street.
- Create a new front entrance and entry porch that faces Adelaide Street.
- Internal modifications to create an open plan kitchen, living and dining area, separate sitting area, a bedroom, bathrooms and laundry.
- A new balcony with direct access off the new living area and with direct access to the new pool area and associated decking.

### 3.4 First-Floor Addition

The proposed first-floor addition will include three bedrooms and bathrooms as well as a new balcony overlooking Middle Harbour.

The first-floor extension has been proposed with a flat roof that is only a maximum of 1.4m above the existing peak of the pitched roof for a small portion of the roof. The majority of the new roof is only 983mm above the existing ridge line.

Furthermore, the width of the first-floor addition is shorter than the existing pitched roof. Resulting in improved sight lines and access to sunlight to the neighbouring property.

### 3.5 Materials and Finishes

The proposal includes a range of high-quality materials and finishes including spotted gum timber finishes, dry stone wall and rendered and painted walls.

## 4 SECTION 4.15(1)(A)(I) ENVIRONMENTAL PLANNING INSTRUMENTS

This section provides an assessment of the environmental effects of the proposed development in accordance with Section 4.15(1) of the EP&A Act.

### 4.1 Manly Local Environmental Plan 2013

A summary of the relevant developments standards are summarised in the following table and discussed in more detail in Section 4.1 of this report as required.

Development Standard	Proposed	Complies
<b><u>Clause 1.2 Aims of Plan</u></b>	<p>The proposed development is consistent with the aims and objectives of the MLEP 2011 in that:</p> <ul style="list-style-type: none"> <li>The proposed development will upgrade and update an existing dwelling house which will improve the internal amenity, increase the access to natural light and ventilation and meet the necessary BASIX requirements, resulting in a development that applies the principles of ecologically sustainable development.</li> <li>The proposal has been designed to address the site constraints and opportunities, improve the liveability of the premises for a growing family and reflect the context of the setting by taking design cues from surrounding recent developments.</li> <li>The proposal has considered the effects on the natural, social, economic, physical and historical environment.</li> </ul>	✓
<b><u>Clause 2.1 Land Use Zones</u></b> <b><i>R2 Low Density Residential</i></b>	<p>The subject site is zoned <i>R2 Low Density Residential</i> zone and permits a range of residential uses including dwelling houses and associated alterations, additions and landscaping works.</p> <p>The proposed alterations and additions to an existing dwelling house is permissible with consent.</p>	✓
<b><u>Clause 4.3 Height of Buildings</u></b> <b><i>Maximum permissible height = 8.5m</i></b>	<p>The proposed maximum height is 8.5m and is below the maximum permissible height for the site. However, a small portion of the awning extends above 8.5m but is considered an architectural design feature and does not affect the total height of the proposal.</p> <p>The majority of the proposal will only be 983mm higher than the existing roof and will be below the maximum permissible height for the site.</p> <p>A small portion of the roof will 'pop-up' at the centre to maximise natural light into the bedroom with a maximum height of 8.5m.</p> <p>The proposed height is consistent with the height objectives in the MLEP in that:</p>	✓



Development Standard	Proposed	Complies
	<ul style="list-style-type: none"> <li>The proposed height is below the maximum permissible height for the site and has been designed to best correspond with the topographic landscape, prevailing building height and desired future streetscape character in the locality, stepping down with the fall in the land.</li> <li>Does not disrupt any significant views to nearby residential development from public spaces.</li> <li>Does not disrupt any significant views from nearby residential development to public spaces (including the harbour and foreshores).</li> <li>Maintains adequate sunlight access to private open spaces and to habitable rooms of adjacent dwellings.</li> <li>Has regard to existing vegetation and topography.</li> </ul>	
<b><u>Clause 4.4 Floor Space Ratio</u></b> <b>Maximum permissible FSR = 0.4:1</b>	<p>The existing building has a GFA of 187m<sup>2</sup> and FSR of 0.41:1, which exceeds the maximum permissible FSR.</p> <p>The proposed development seeks to increase the GFA by 102.3m<sup>2</sup> to 291.9m<sup>2</sup> and an FSR of 0.64:1.</p>	<b>Refer to Clause 4.6 Variation</b>
<b><u>Clause 6.1 Acid Sulfate Soils</u></b> <b>Class 5 Acid Sulfate Soils</b>	<p>The majority of the proposed works do not require any excavation works.</p> <p>The proposed works to accommodate the balconies affect previously disturbed land and is not expected to impact on the watertable.</p>	✓
<b><u>Clause 6.2 Earthworks</u></b>	<p>The objective of this clause is to ensure that earthworks for which development consent is required will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.</p> <p>As previously outlined, the proposed development does not include any significant or extensive earthworks.</p>	✓
<b><u>Clause 6.4 Stormwater Management</u></b>	<p>The objective of this clause is to minimise the impacts of urban stormwater on land to which this clause applies and on adjoining properties, native bushland and receiving water and will addressed in a similar manner to Clause 6.2 Earthworks.</p> <p>The stormwater system will be connected to the existing system and drain by gravity to Beatrice Street.</p>	✓
<b><u>Clause 6.9 Foreshore Scenic Protection Area</u></b>	<p>The site has been identified as being within the "Foreshore Scenic Protection Area".</p> <p>The proposal includes a first-floor addition and other upgrade works to provide a more contemporary development with high quality materials and finishes.</p> <p>While the property enjoys expansive harbor and district views, the site is not highly visible from these areas.</p> <p>Overall, the proposal will not impact on the visual amenity of the harbour or coastal foreshore, including overshadowing of the foreshore and any loss of views from a public place to the foreshore.</p>	✓

Development Standard	Proposed	Complies
	Given the location of the lot and the steep topography of the area, the relatively minor site works and the established buffer via built environment between the subject site and the foreshore, the proposal is not considered to have any impact on the desired environmental outcomes of this control.	

## 4.2 Zoning and Permissibility

The subject site is located within a *R2 Low Density Residential*.

### ***R2 Low Density Residential***

#### **1 Objectives of zone**

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

#### **2 Permitted without consent**

*Home-based child care; Home occupations*

#### **3 Permitted with consent**

*Attached dwellings; Bed and breakfast accommodation; Boarding houses; Boat launching ramps; Boat sheds; Centre-based child care facilities; Community facilities; Dual occupancies; Dwelling houses; Emergency services facilities; Environmental protection works; Flood mitigation works; Group homes; Health consulting rooms; Home businesses; Home industries; Hostels; Information and education facilities; Jetties; Multi dwelling housing; Neighbourhood shops; Places of public worship; Recreation areas; Recreation facilities (indoor); Respite day care centres; Roads; Secondary dwellings; Semi-detached dwellings; Shop top housing; Signage; Water recreation structures; Water recycling facilities; Water supply systems*

#### **4 Prohibited**

*Advertising structures; Water treatment facilities; Any other development not specified in item 2 or 3*

The proposal is consistent with the objectives of the zone in that it provides an improved private open space area to the existing dwelling within the low density residential environmental and corresponds and is compatible with the character and amenity of the surrounding neighbourhood.

## 4.3 Foreshore Scenic Protection Area

The site has been identified as being within the "Foreshore Scenic Protection Area". The objectives of this control are as follows:

- impacts that are of detriment to the visual amenity of harbour or coastal foreshore, including overshadowing of the foreshore and any loss of views from a public place to the foreshore,*
- measures to protect and improve scenic qualities of the coastline,*
- suitability of development given its type, location and design and its relationship with and impact on the foreshore,*
- measures to reduce the potential for conflict between land-based and water-based coastal activities.*

The proposal will not impact on the visual amenity of harbour or coastal foreshore, including overshadowing of the foreshore and any loss of views from a public place to the foreshore. Given the location of the site, being setback approximately 300m from the foreshore and the steep topography of the area, the minor landscaping works and fencing and the established buffer via built environment between the subject site and the foreshore, the proposal is not considered to have any impact on the desired environmental outcomes of this control.

#### **4.4 Essential Services**

This clause states development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required:

- (e) the supply of water,
- (f) the supply of electricity,
- (g) the disposal and management of sewage,
- (h) stormwater drainage or on-site conservation,
- (i) suitable vehicular access.

The existing dwelling currently has access to services typically expected for dwellings, such as water, electricity, and sewage.

#### **4.5 SEPP (Building Sustainability Index: BASIX) 2004**

A BASIX Certificate has been submitted with the development application that lists measures to satisfy the relevant BASIX requirements which have been incorporated in the proposal.

#### **4.6 SEPP 55 - Remediation of Land**

State Environmental Planning Policy No. 55 - Remediation of Land requires Council to consider whether land is contaminated prior to granting consent to carrying out of any development on that land.

Should the land be contaminated Council must be satisfied that the land is suitable in a contaminated state for the proposed use. If the land required remediation to be undertaken to make the suitable for the proposed use, Council must be satisfied that the land will be remediated before the land is used for that purpose.

The site history indicates a history of a residential nature. Therefore, it is not likely that the site has experienced any contamination.


In accordance with SEPP 55, Council is able to conclude that no further assessment of contamination is necessary.





## 5 SECTION 4.15(1)(A)(III) DEVELOPMENT CONTROL PLANS

This section of the Statement outlines the proposed DAs compliance with the Manly DCP 2013, in particular Section 4.1 (Residential Development Controls).

### 5.1 Part 3: General Principles of Development

Control	Response	Complies
<b>3.1 Streetscapes and Townscapes</b>		
<b>3.1.1 Streetscape (Residential Areas)</b>		
<b>3.1.1.1 Complementary Design and Visual Improvement</b>	<p>The site is located at the bottom end of Adelaide Street and adjoins a reserve with a pathway that provides access between Adelaide Street and Beatrice Street. The majority of the side northern boundary fronts onto the reserve, is screened by existing vegetation.</p> <p>Furthermore, due to the subdivision of the area, the orientation of the site and topography of the area, the subject site does not have a typical street frontage or layout.</p> <p>The existing dwelling and carport are not consistent with the surrounding developments and does not provide or contribute to the overall Adelaide Street or Beatrice Street streetscape.</p> <p>The proposed development includes replacing the carport with a double garage, a new front entrance that presents to Adelaide Street and new windows and architectural elements fronting Adelaide Street.</p> <p>The proposal also includes a new façade with balconies facing Beatrice Street that is more consistent with other dwellings facing Beatrice Street.</p> <p>It is considered that the proposed development respects the predominant streetscape qualities, such as building form, scale, patterns, materials and colours and vegetation which contributes to the character of the local area and provides improvements to both the Adelaide Street and Beatrice Street streetscapes.</p>  <p><b>Figure 18</b> <b>Montage of the proposed development as viewed from Beatrice Street</b></p>	✓

Control	Response	Complies
	  <p><b>Figures 19 and 20</b> <b>View of existing dwellings with balconies fronting Beatrice Street</b></p>	
<b>3.1.1.2 Front Fences and Gates</b>	<p>The proposal includes the relocation of the front door to be located facing Adelaide Street and create a more defined pedestrian entry.</p> <p>No new front fence or gate is proposed.</p>	✓
<b>3.1.1.4 Garages, Carports and Hardstand Areas</b>	<p>The proposed new garage has been designed to integrate into the main building and includes high quality materials and finishes that provides a contemporary and complete presentation to Adelaide Street.</p> <p>The new front hardstand area incorporates a feature wall and landscaping to soften the frontage and ensure that it does not dominate the street frontage.</p>	✓
<b>3.3 Landscaping</b>		
<b>3.3.1 – Landscaping Design</b>	There is no proposed landscaping included with this application.	✓
<b>3.3.2 Preservation of Trees or Bushland Vegetation</b>	No further trees are proposed to be removed as a result of the proposal.	✓

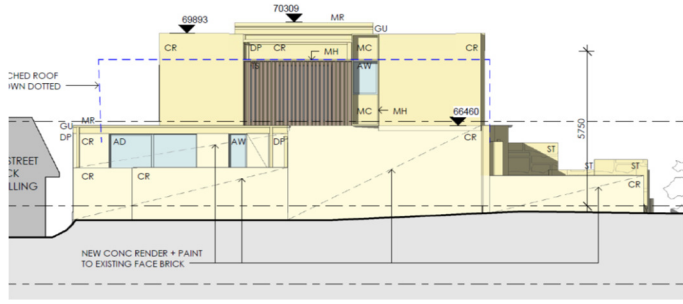
Control	Response	Complies
<b>3.4 Amenity (Views, Overshadowing, Overlooking /Privacy, Noise)</b>		
<b>3.4.1 Sunlight Access and Overshadowing</b>	<p>Due to the orientation and topography of the site as well as the design of the existing building, the proposed development will only result in minor additional overshadowing over 12 Beatrice Street and 37 Adelaide Street.</p> <p>In fact, the proposal results in a reduction in overshadowing during various hours of the day.</p> <p>Furthermore, the majority of the additional overshadowing caused by the proposal is over existing shadows created by the existing neighbouring developments.</p> <p>Overall, the majority of the existing solar access of surrounding developments will be maintained.</p>	✓
<b>3.4.2 Privacy and Security</b>  <i>The objectives of this control is to minimise loss of privacy to adjacent and nearby development by:</i> <ul style="list-style-type: none"> <li>• appropriate design for privacy (both acoustical and visual) including screening between closely spaced buildings;</li> <li>• mitigating direct viewing between windows and/or outdoor living areas of adjacent buildings</li> <li>• To encourage awareness of neighbourhood security.</li> </ul>	<p>The proposal has been designed to minimise loss of privacy on the neighbouring properties by offsetting windows and incorporating new privacy screens and louvres</p>	✓
<b>3.4.3 Maintenance of Views</b>	<p>Refer to the view analysis at Section 6 of this report.</p>	✓
<b>3.5 Sustainability</b>		
<p>A number of key passive environmental initiatives are proposed to improve the amenity of the dwelling, including:</p> <ul style="list-style-type: none"> <li>• The key objective of the proposal is to improve natural light and ventilation throughout.</li> <li>• All new fixtures will have minimum 3-star water efficiency.</li> <li>• All new lighting will be LED energy efficient.</li> </ul> <p>A BASIX Certificate has been submitted with the development application that lists measures to satisfy the relevant BASIX requirements which have been incorporated in the proposal.</p>		✓


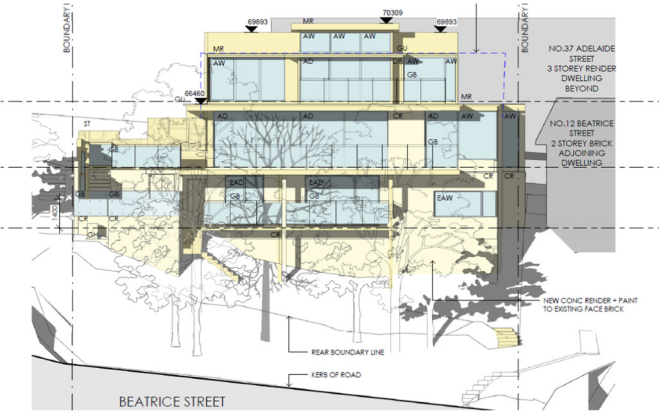



Control	Response	Complies
<b>3.7 Stormwater Management</b>		
Refer to the Stormwater Concept Plans prepared by James Rose Consulting for details on the proposed stormwater arrangement.		✓
<b>3.8 Waste Management</b>		
<p>All attempts are to be made in order to reduce the waste generated from the development of the proposed works.</p> <p>During demolition all material where possible will be recycled. Minimal excavation will take place and minimal removal of the existing topsoil will be removed in order to level the site. Locations at the rear of the property will be designated for construction waste storage.</p> <p>Waste and recycling bins will be stored in the designated storage area as per the current arrangement.</p> <p>Refer to the preliminary Waste Management Plan submitted with this application for further details.</p>		✓

## 5.2 Part 4: Residential Development Controls


The following is a compliance table based on the numerical controls/requirements for residential development as per Part 4 of the Manly DCP 2013.

Control	Comment	Complies
<b>4.1 Residential Development Controls</b>		
<b>4.1.2 Height of Buildings</b>		
<b>4.1.2.1 Wall Height</b> <i>The maximum wall height for the site with a gradient of 1:4 or steeper is 8m</i>	<p>The maximum proposed height of the buildings is 8.5m for a small portion. The majority of the proposed height is 7.95m and is well below the maximum permissible height of 8.5m.</p> <p>The development has been designed to reflect the steep topography of the site and is stepped down with the land.</p> <p>The maximum proposed wall height for any one wall does not exceed 8m across the site.</p> <p>The first-floor addition has been setback from the ground-floor along the side elevations, where the topography is the steepest, in order to provide articulation and break up the length and any perceived bulk of the walls.</p>  <p><b>Figure 21</b>  <b>Extract of the proposed rear/east elevation showing the side setbacks of the first-floor addition and associated articulation</b></p>	✓
<b>4.1.2.2 Number of Storeys</b> <i>Buildings must not exceed 2 storeys</i>	<p>The proposed development comprises of a three-storey dwelling with a steeply pitched roof. The number of storeys is a direct result of the steep topography of the site and the existing building.</p> <p>The existing dwelling comprises of a ground-floor and a lower ground-floor area. The recent CDC allows for some works to be undertaken to the lower ground-floor area to better utilise the area.</p> <p>The proposal seeks to provide a first-floor level with an increase in the GFA of 89.2m<sup>2</sup>.</p> <p>The proposed first-floor addition is below the maximum permissible height of 8.5m and is only a maximum of 1.25m above the existing roof height for a small portion of the roof, being only 700mm higher than the existing roof for the most part.</p>	On Merit

Control	Comment	Complies
	<p>The building presents as two-storeys to Adelaide Street and to the neighbouring dwellings on Adelaide Street and is consistent with the Beatrice Street streetscape.</p> <p>The proposal does not present any unreasonable or significant view loss, overshadowing or other amenity impacts on the neighbouring properties.</p>  <p><b>Figure 22</b></p> <p><b>View of the site from Beatrice Street showing the existing ground and lower-ground floors stepping down over the steep topography</b></p>  <p><b>Figure 23</b></p> <p><b>Extract of the proposed front/west elevation showing the presentation of the three-storey dwelling to Beatrice Street</b></p>  <p><b>Figure 24</b></p> <p><b>Montage of the proposed Adelaide Street frontage showing the two-storey presentation</b></p>	

Control	Comment	Complies
<b>4.1.3 Floor Space Ratio (FSR)</b>		
Refer to the Clause 4.6 Variation submitted with this application		<b>On Merit</b>
<b>4.1.4 Setbacks (front, side and rear) and Building Separation</b>		
<b>4.1.4.1 Street Front setbacks</b>  <i>Street Front setbacks must relate to the front building line of neighbouring properties and the prevailing building lines in the immediate vicinity.</i>	<p>There is no proposed change to the existing front setback of the main dwelling.</p> <p>The new garage will be stepped forward approximately 1.25m towards Adelaide Street to best address the irregular shaped site, and its presentation to Adelaide Street, 'no through road' ending, align with the building setbacks and provide the best design outcome for the site.</p> <p>The garage has been integrated into the overall design of the dwelling and is incorporated into the new architecturally designed entrance to the dwelling and feature wall.</p> <p>Furthermore, the high-quality materials and finishes add to the more contemporary streetscape and the features create a formal 'ending' to the street.</p>	<b>On Merit</b>
<b>4.1.4.2 Side setbacks and secondary street frontages</b>  <i>Setbacks between any part of a building and the side boundary must not be less than one third of the height of the adjacent external wall of the proposed building.</i>  <i>All new windows from habitable dwellings of dwellings that face the side boundary are to be setback at least 3m from side boundaries.</i>	<p>The existing ground-floor and associated side setbacks will be retained.</p> <p>The proposed setbacks of the first-floor habitable rooms on the first-floor are a minimum of 3m from the rear boundary, facing 37 Adelaide Street, and a minimum of 3.144m from the side boundary, facing 12 Beatrice Street.</p>	✓
<b>4.1.4.4 Rear Setbacks</b>  <i>The distance between any part of a building and the rear boundary must not be less than 8m.</i>	<p>As previously outlined, due to the subdivision of the area, the orientation of the site and topography of the area, the subject site does not have a typical street frontage or layout and does not have a defined rear setback.</p> <p>The existing ground-floor building envelope and setbacks will be retained.</p> <p>The proposed setbacks of the first-floor habitable rooms on the first-floor are a minimum of 3m to the nearest boundary.</p> <p>These setbacks are consistent with other side/rear setbacks of other irregular shaped sites the locality.</p>	<b>On Merit</b>



Control	Comment	Complies
	 <p><b>Figure 25</b> <b>Highlighting the minimal side and rear setbacks of adjoining properties</b></p>	
<b>4.1.5 Open Space and Landscaping</b>		
	<p>There are no proposed changes to the recently approved open space except for the inclusion of several new balconies.</p> <p>The new balconies will be elevated and not impact on the approved open space and landscaped area.</p>	✓
<b>4.1.6 Parking, Vehicular Access and Loading (Including Bicycle Facilities)</b>		
<p><b>4.1.6.1 Parking Design and the Location of Garages, Carports or Hardstand Areas</b></p> <p><i>The design and location of all garages, carports or hardstand areas must minimise their visual impact on the streetscape and neighbouring properties and maintain the desired character of the locality.</i></p> <p><i>The maximum width of any garage, carport or hardstand area is not to exceed a width equal to 50 percent of the frontage, up to a maximum width of 6.2m.</i></p>	<p>The proposal seeks to enclose the existing double carport and convert it into a double garage.</p> <p>The design of the garage and garage door have been incorporated into the overall design of the new façade and incorporates the same high-quality materials and finishes.</p> <p>The proposed new garage has been designed to integrate into the main building and includes high quality materials and finishes that provides a contemporary and complete presentation to Adelaide Street.</p> <p>The proposed width of the garages is 5.26m.</p>	✓

Control	Comment	Complies
<b>4.1.7 First Floor and Roof Additions</b>		
<b>4.1.7.1 First Floor Additions</b>	<p>The proposal includes a first-floor addition as well as a complete upgrade and improvement of the ground and lower-ground floor level.</p> <p>The proposed addition has been designed to integrate into the main building and includes high quality materials and finishes that provides a contemporary and complete presentation to Adelaide Street. It has been setback from the existing ground-floor building envelope and incorporates articulation and a variety of materials to break up the perceived bulk and presentation to the neighbouring properties.</p> <p>The overall scale and presentation to both Adelaide Street and Beatrice Street are consistent with the streetscape and general scale of developments in the locality.</p>	✓
<b>4.1.8 Development on Sloping Sites</b>		
<p>The site is located on a sloping site.</p> <p>The proposed development is for alterations and additions to an existing building.</p> <p>The building has been designed to generally step with the topography of the site and does not create any new large undercroft structures.</p> <p>No new excavation is proposed.</p>		✓
<b>4.1.9 Swimming Pools, Spas and Water Features</b>		
There are no proposed changes to the recently approved pool and associated decking.		✓

## 6 VIEW ANALYSIS

Due to the location of the site at the end of 'No through Road', subdivision pattern and steep topography of the area, there are numerous occasions of view lines of Middle Harbour and district views.

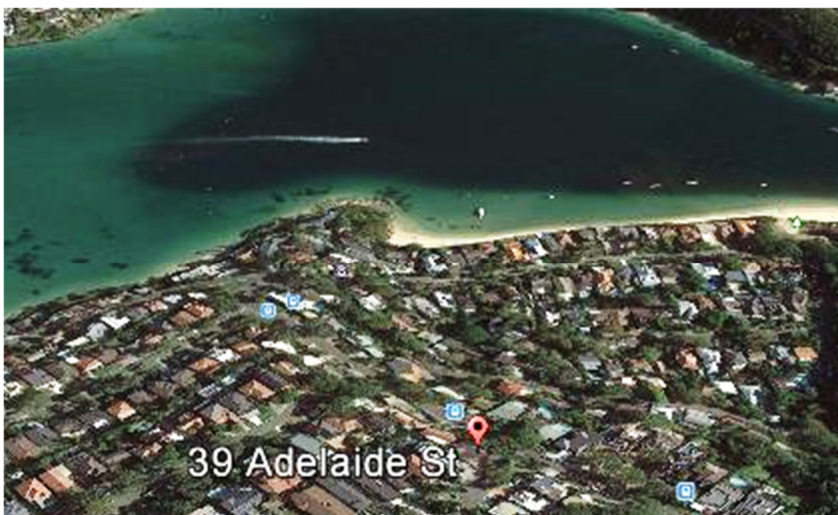
The proposed first-floor addition will only be slightly higher and is narrower than the existing roof and will have minimal or insignificant view impacts on the surrounding properties.

In particular, the windows of the upper level living areas on the western elevation of 37 Adelaide Street will most likely be affected.

37 Adelaide Street includes two large windows on the first-floor that provides expansive views over Middle Harbour and beyond. One of the existing windows is currently partially blocked by the roof of 39 Adelaide Street.

The proposed first-floor addition will be, for the most part, only 985mm higher than the existing roof and will not extend across the whole building.

It is considered that this will result in an overall improvement to the available views from 37 Adelaide Street.



**Figure 26**

**Aerial oblique view of the site and neighbouring properties highlighting the steep topography and the available expansive views**

**(Source: Google Earth)**

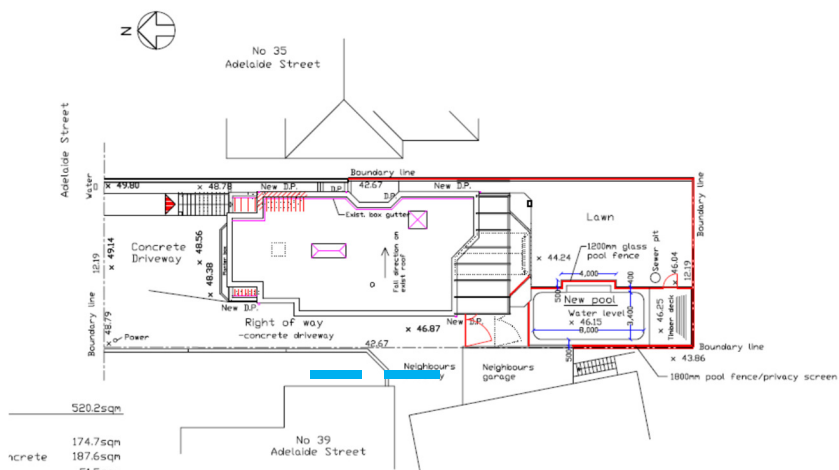


**Figure 27**

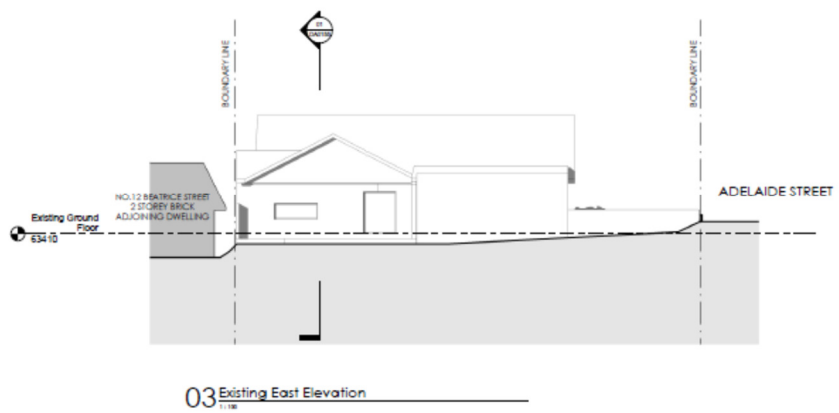
**View of 39 Adelaide Street with 37 Adelaide Street in the background showing the large first-floor living area windows**

**Note: This is an old photo meant to show the location of the windows of 39 Adelaide Street.**

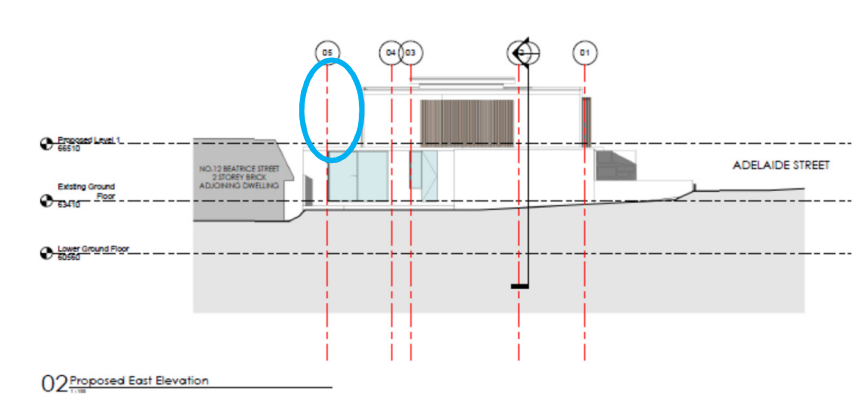
**Works have already been undertaken to 39 Adelaide Street, including the removal of several trees**



**Figure 28**  
**Extract of the approved site/roof plan of 37 Adelaide Street with the approximate location of the proposed first-floor living room windows shown in blue**



**Figure 29**  
**Extract of the existing east elevation showing the existing roof of 39 Adelaide Street**



**Figure 30**  
**Extract of the proposed east elevation showing the narrower first-floor addition and the improved view corridor circled in blue**



## **7 SECTION 4.15(1)(B) IMPACT ON THE ENVIRONMENT**

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Pursuant to Section 4.15(B) of the Act, 'the likely impacts of that development' have been considered as follows;

### **7.1 Design and Streetscape**

It is considered that the proposed development respects the predominant streetscape qualities, such as building form, scale, patterns, materials and colours and vegetation which contributes to the character of the local area and therefore integrates sufficiently

### **7.2 Environmental Impact**

It is considered that the proposal will have no significant detrimental effect relating to environmental, social or economic impacts on the locality, subject to appropriate conditions being imposed.

### **7.3 Site Suitability**

The site and surrounding locality do not present any significant physical, ecological, heritage, technological or social constraints on the proposed development. In summary, there are limited constraints on the development of the site and minimal conflicts will occur with surrounding land uses.

### **7.4 Public Submissions and the Public Interest**

The proposed development will not significantly impact on the environment and is consistent with the applicable planning controls for the site. It will provide positive social benefits and is therefore considered to be in the public interest.

## 8 CONCLUSION

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This SEE has been prepared to assess the proposed alterations and additions to the existing dwelling at 39 Adelaide Street, Clontarf.

The proposal has planning merit in that it:

- Is a permissible use in the *R2 Low Density Residential* zone.
- Will create a more practical dwelling to accommodate for a growing family with an open plan living area providing direct access to the private open space.
- Provides an overall improvement in the presentation of the property to the Adelaide Street and Beatrice Street streetscapes.
- Is compatible with neighbouring properties and land uses and will not generate any unacceptable impacts on surrounding properties and residents.

Although the proposal breaches the FSR, the rational for doing so as outlined in the Clause 4.6 Variation and is considered worthy of support given the site constraints. Having regard to the analysis and assessment within this report, it is therefore recommended that the application be supported and granted consent.