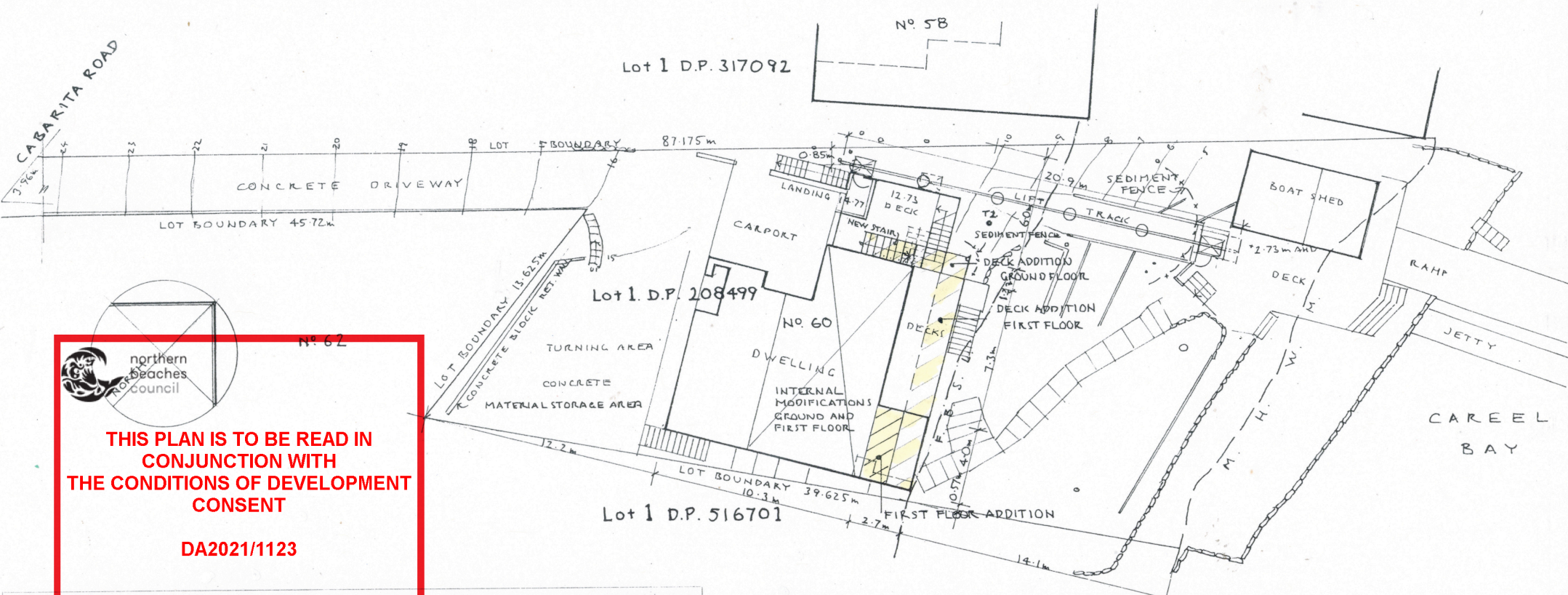





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DA2021/1123

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	NE	3.3	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NE	6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	NE	6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SE	1.2	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SE	1.7	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	NE	7.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	3.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	NE	5	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	NE	4.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	NE	7.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	SW	2.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SW	1.3	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		
Construction Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Prepared: Stephen Crosby & Assoc. Pty. Ltd.
Date:
SCOTLAND ISLAND
PO Box 204 Church Pt. NSW 2105
M: 0409 047 513 E: scrosby@internode.on.net
Job:

**ALTERATIONS
& ADDITIONS**

**60 CABARITA RD.
AVALON**
Lot 1 DP 208499

For **G. SMITH**
Drawing
SITE PLAN

Scale 1 : 200 AT A3
Date JUNE 2021
Drawn S.C.
Drawing Number

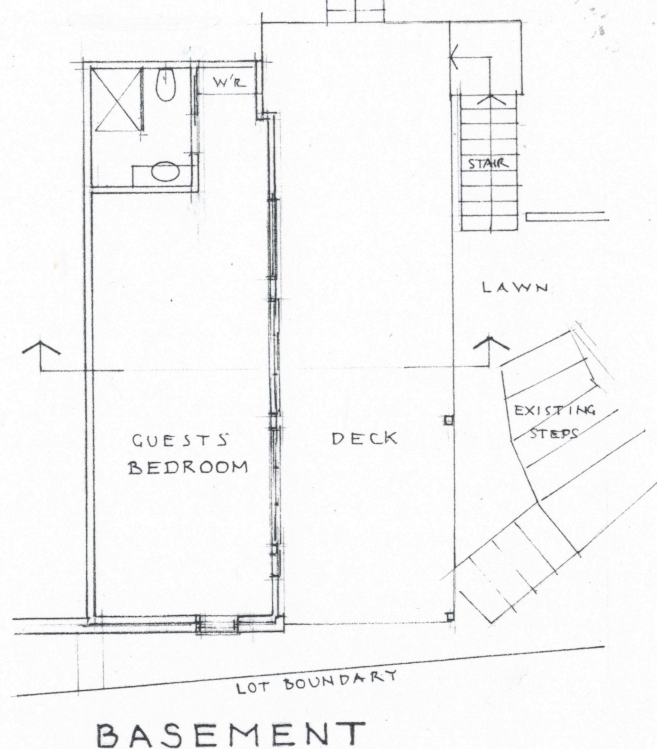
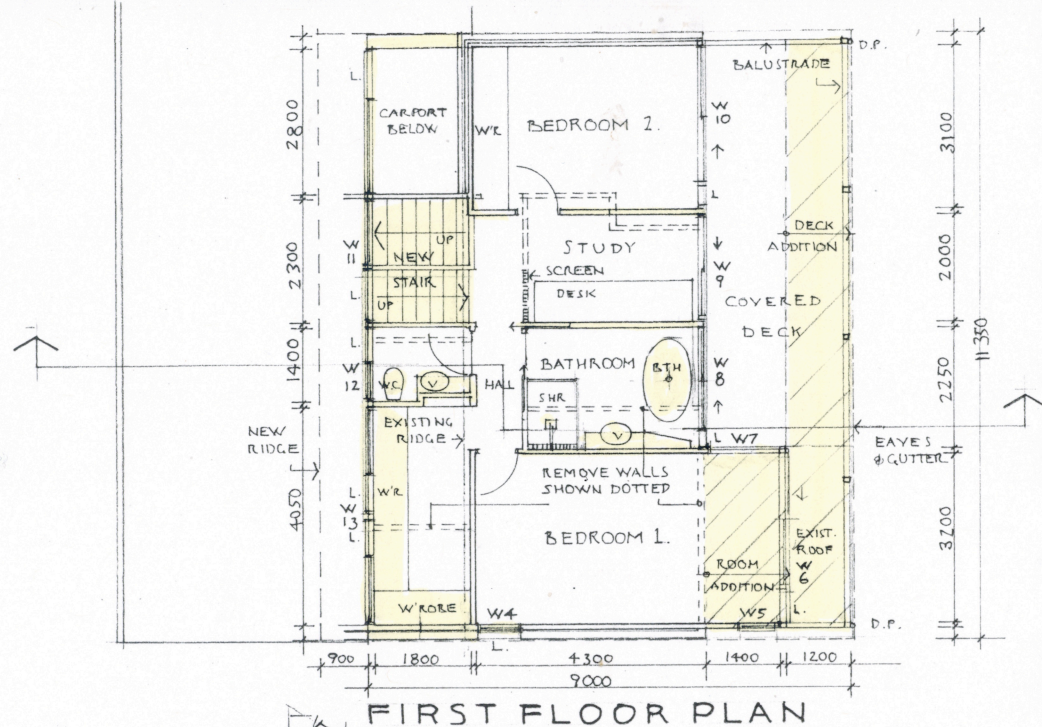
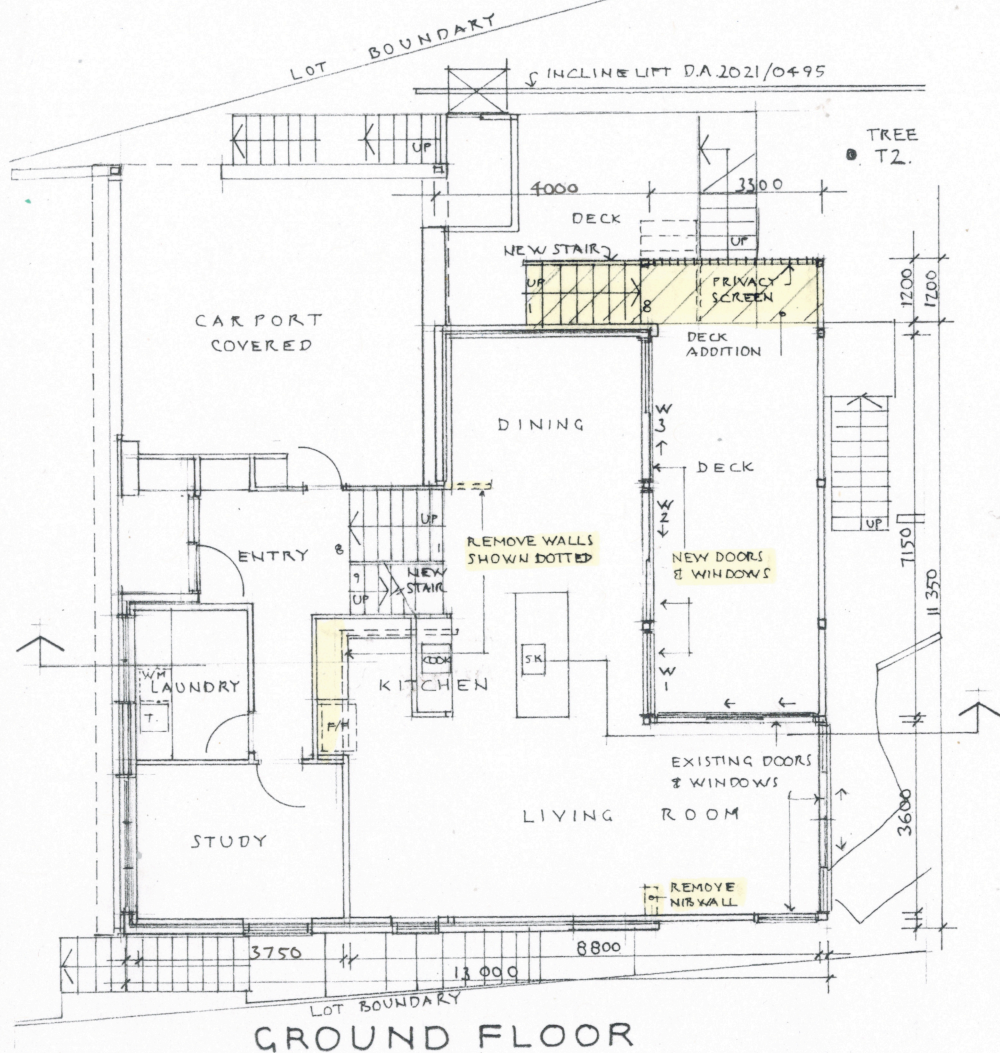
2091 - DA 01



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DA2021/1123



Revision: _____ Date: _____

**Stephen Crosby & Assoc.
Pty. Ltd.**

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ALTERATIONS & ADDITIONS

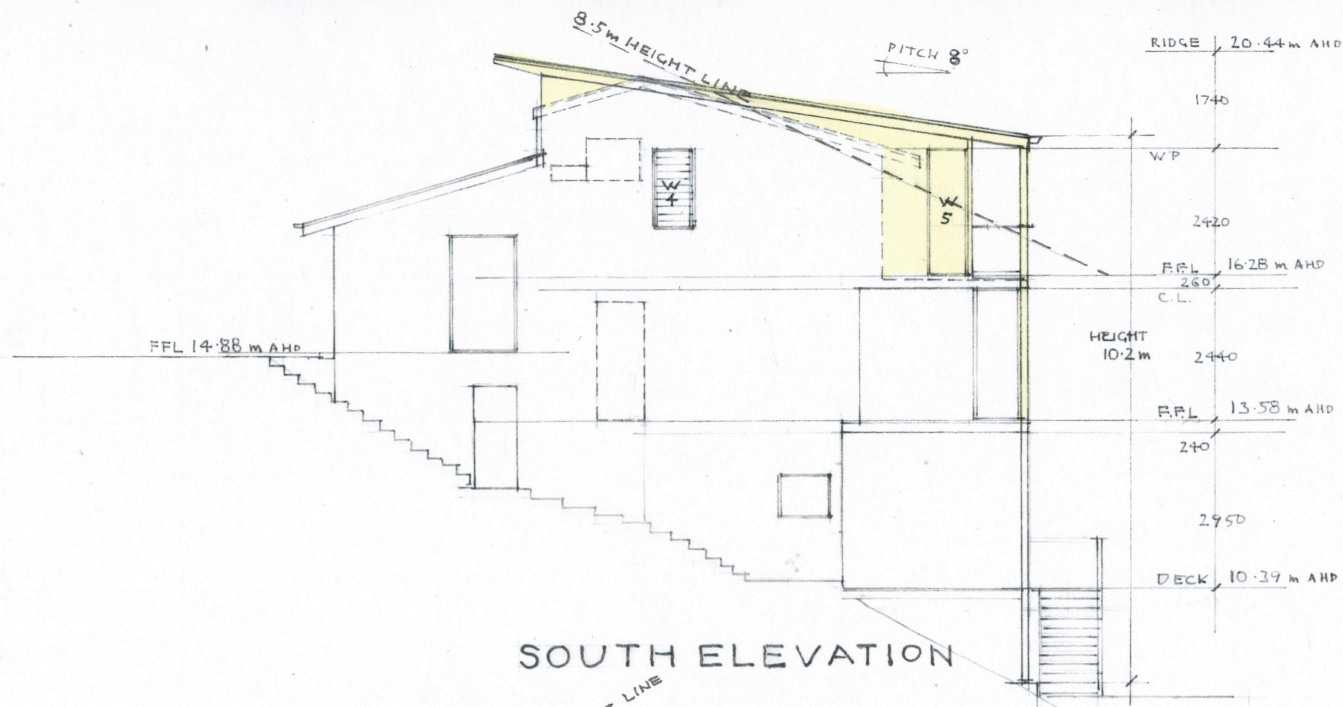
60 CABARITA RD.
AVALON
Lot 1 DP 208499

For **G. SMITH**
Drawing

FLOOR PLANS

Scale 1 : 100 AT A3
Date JUNE 2021
Drawn S.C.
Drawing Number

2091 - DA 02



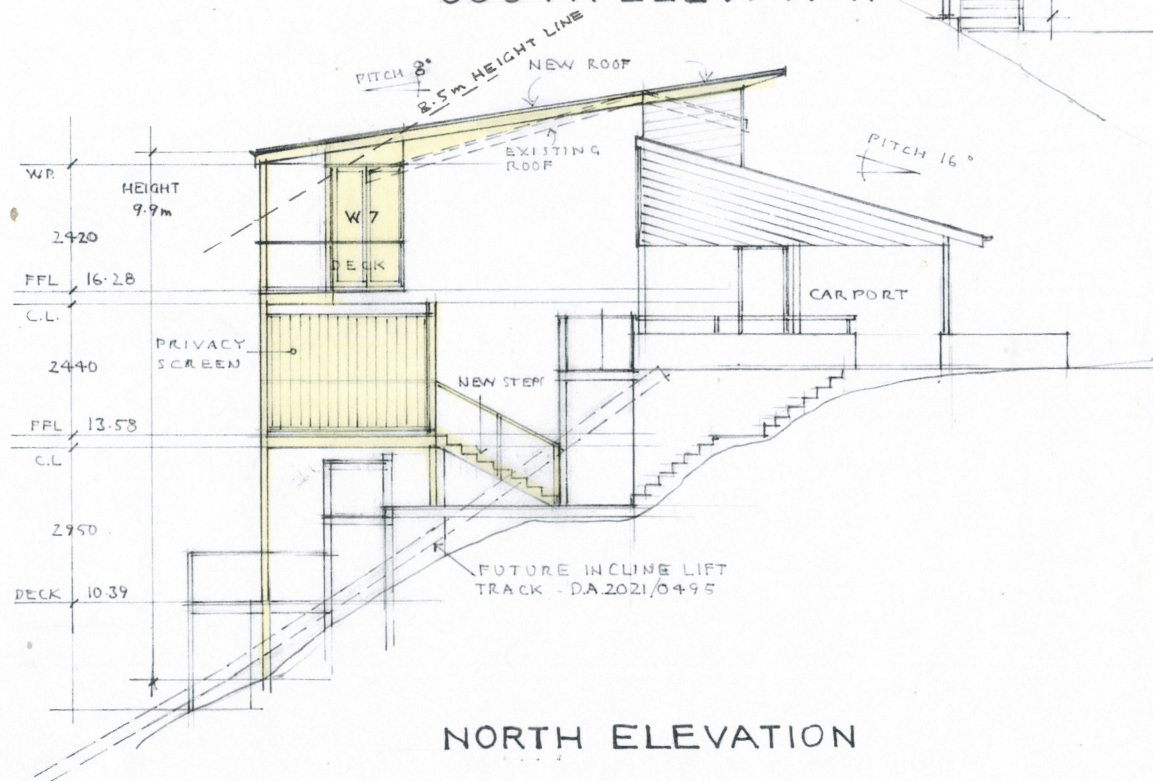
SOUTH ELEVATION



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NORTH ELEVATION

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& ADDITIONS**

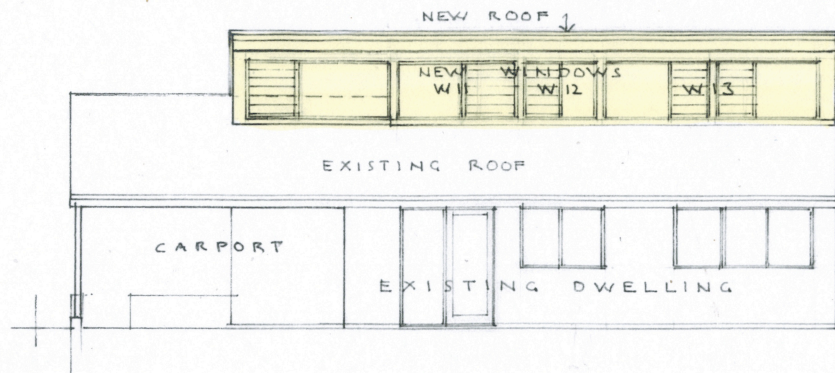
**60 CABARITA RD.
AVALON**
Lot 1 DP 208499

For G. SMITH

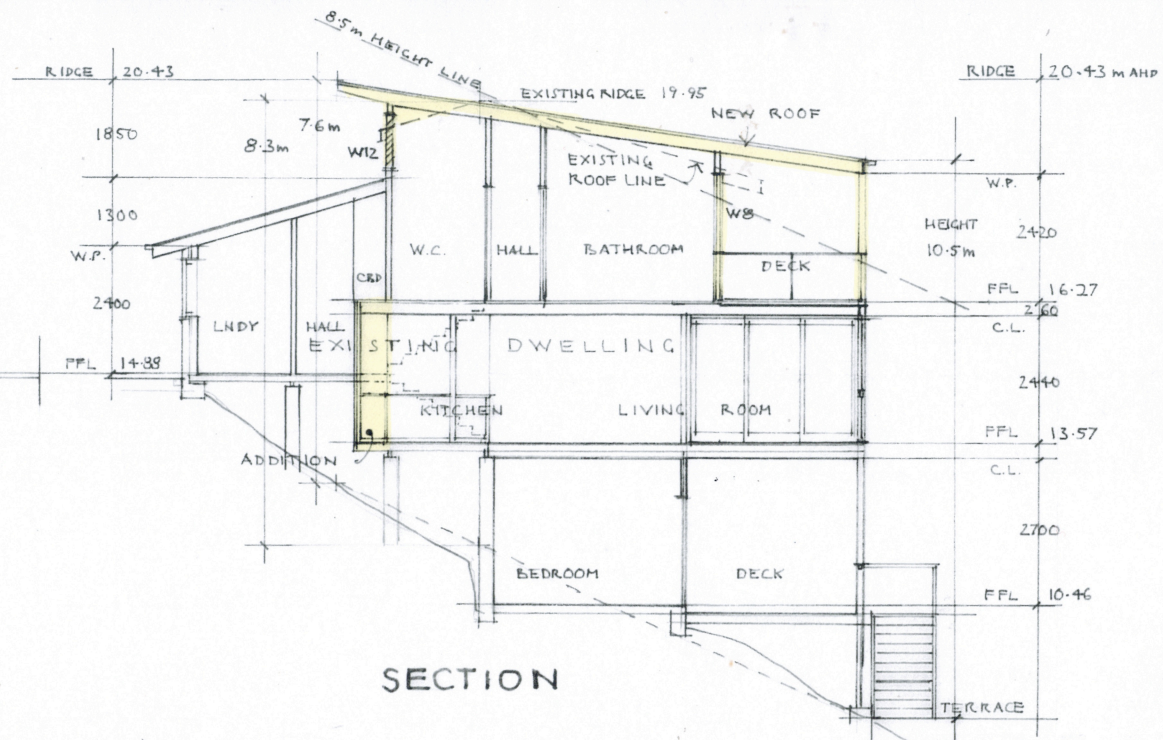
**ELEVATIONS
NORTH & SOUTH**

Scale 1:100 AT A3
Date JUNE 2021
Drawn S.C.
Drawing Number

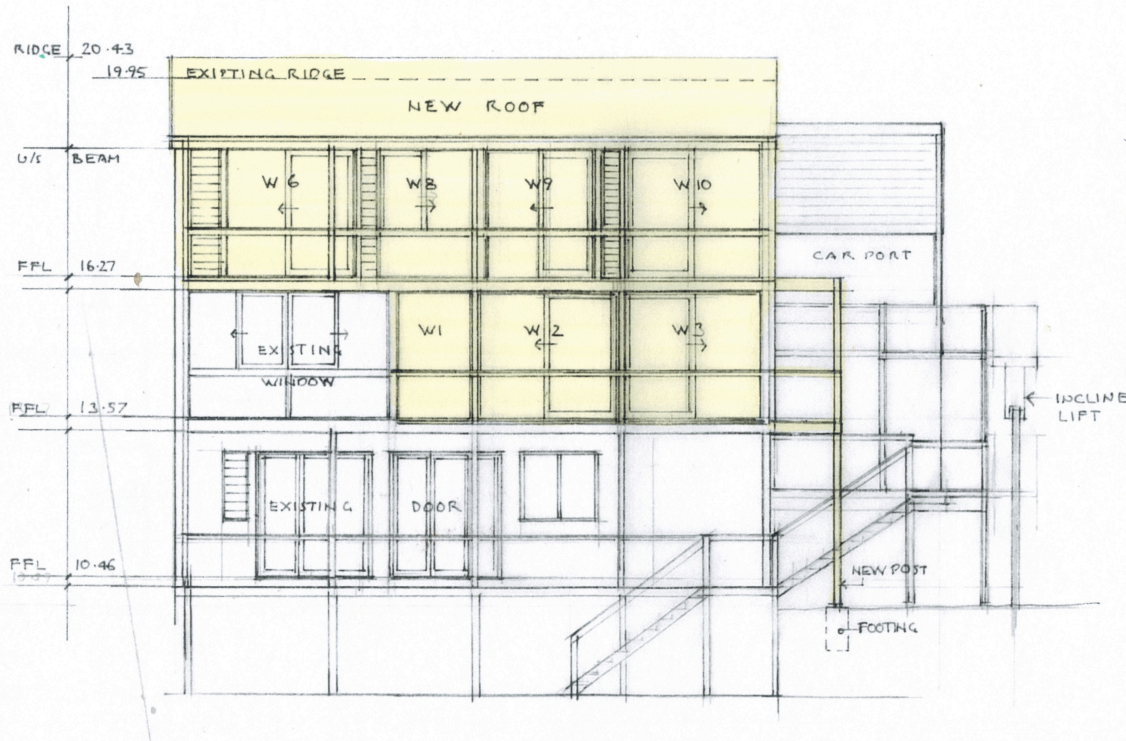
2091 - DA 03



WEST ELEVATION



SECTION



EAST ELEVATION



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**ALTERATIONS
& ADDITIONS**

**60 CABARITA RD.
AVALON**
Lot 1 DP 208499

For G. SMITH

**ELEVATIONS
EAST & WEST, &
SECTION**

Scale 1:100 AT A3
Date JUNE 2021
Drawn S.C.
Drawing Number

2091 - DA 04