

THIS IS CONCEPT PLAN OF SUBDIVISION AND ALL DIMENSIONS ARE SUBJECT TO FINAL SURVEY

(A) RIGHT OF WAY VARIABLE WIDTH
(B) EASEMENT TO DRAIN WATER

SUBDIVISION CONCEPT PLAN
SHEET: 1 OF 1

Surveyor : SIMON PAK YAN HO
Date of Survey :
Surveyor's Ref : 2611
Date : 20-05-2022

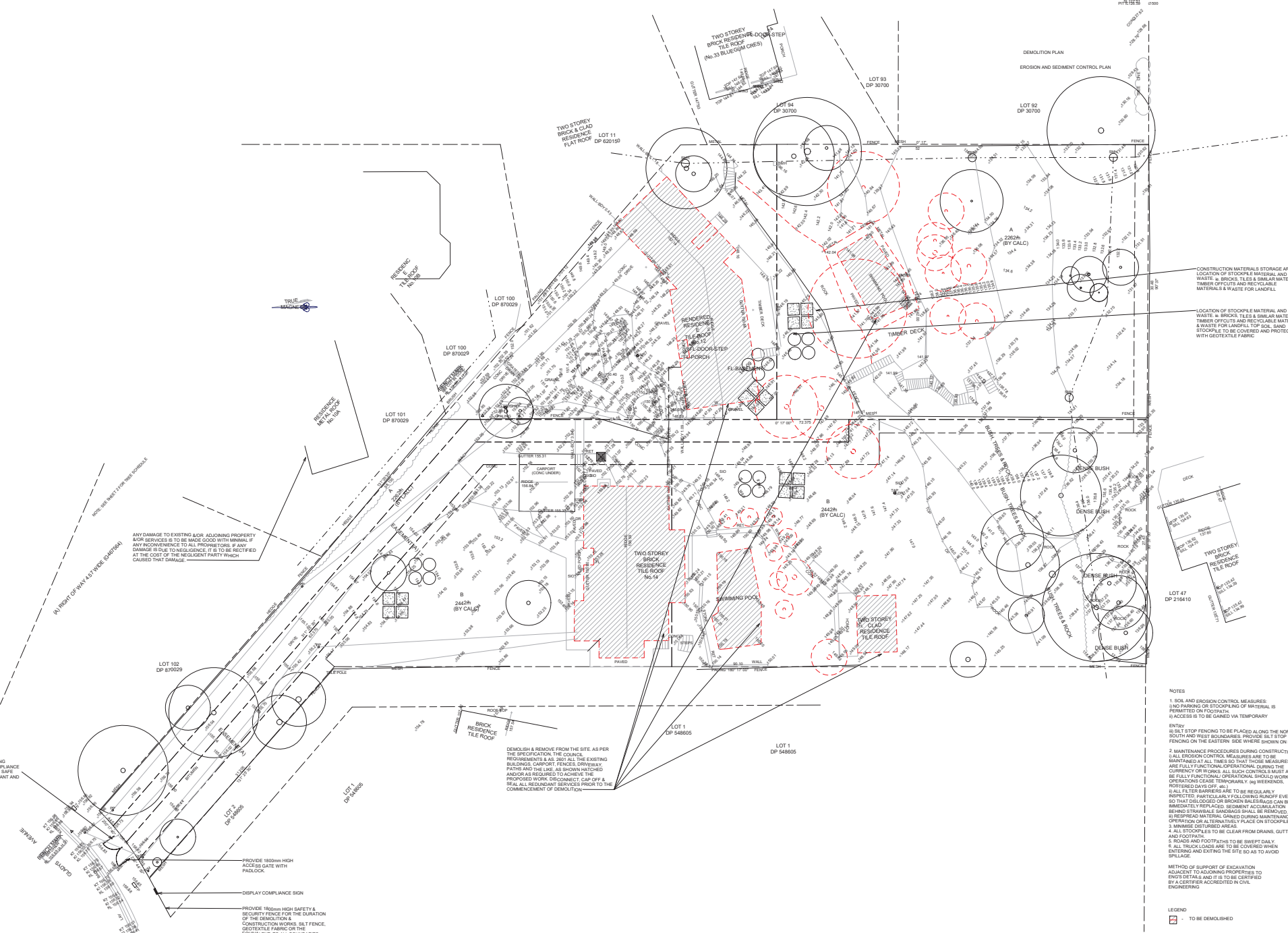
PLAN OF SUBDIVISION OF LOT A & LOT B IN D.P. 393276

LGA: WARRINGAH
Locality : FRENCHS FOREST
Subdivision No:
Lengths are in metres. Reduction Ratio 1:250

Registered

DP DRAFT

1 DEMOLITION PLAN
1: 200



ANY DAMAGE TO EXISTING OR ADJOINING PROPERTY OR SERVICES IS TO BE MADE GOOD WITH MINIMAL IF ANY INCONVENIENCE TO ALL PRIORITORS IF ANY DAMAGE IS DUE TO NEGLIGENCE IT IS TO BE RECTIFIED AT THE COST OF THE NEGLIGENT PARTY WHICH CAUSED THAT DAMAGE

NOV 1988 (REVISED 27-10-2018) (EARTHQUAKE)
AN RIGHT OF WAY 6.75MSE (EARTHQUAKE)

VEHICLES CARRYING LOOSE BUILDING MATERIALS TO BE COVERED IN COMPLIANCE WITH ROAD TRAFFIC REGULATIONS SAFE ACCESS FOR HEAVY EQUIPMENT PLANT AND MATERIALS DELIVERY

PROVIDE 1800mm HIGH ACCESS GATE WITH PADLOCK
DISPLAY COMPLIANCE SIGN
PROVIDE 1800mm HIGH SAFETY & SECURITY FENCE FOR THE DURATION OF THE DEMOLITION & CONSTRUCTION WORKS. BEL FENCE, GEOTEXTILE FABRIC OR THE EQUIVALENT TO ALL BOUNDARIES

DEMOLISH & REMOVE FROM THE SITE AS PER THE SPECIFICATION, THE COUNCIL REQUIREMENTS & AS 2601 ALL THE EXISTING BUILDINGS, CARPORT, FENCES, DRIVEWAY, PATHS AND THE LIKE AS SHOWN HATCHED AND/OR AS REQUIRED TO ACHIEVE THE PROPOSED WORK. ENGAGE A QUALIFIED & SKILLED RESIDENTIAL SERVICES PRIOR TO THE COMMENCEMENT OF DEMOLITION

CONSTRUCTION MATERIALS STORAGE AREA LOCATION OF STOCKPILE MATERIAL AND WASTE IN BRICKS, TILES & SIMILAR MATERIALS, TIMBER OFF CUTS AND RECYCLABLE MATERIALS & WASTE FOR LANDFILL

LOCATION OF STOCKPILE MATERIAL AND WASTE IN BRICKS, TILES & SIMILAR MATERIALS, TIMBER OFF CUTS AND RECYCLABLE MATERIALS & WASTE FOR LANDFILL TOP SOIL, SAND & STROKE TO BE COVERED AND PROTECTED WITH GEOTEXTILE FABRIC

- NOTES
1. SOIL AND EROSION CONTROL MEASURES (UNO PARKING OR STOCKPILING OF MATERIAL IS PERMITTED ON FOOTPATH)
 2. ACCESS IS TO BE GAINED VIA TEMPORARY ENTRY
 3. BELT STOP FENCING TO BE PLACED ALONG THE NORTH, SOUTH AND WEST BOUNDARIES. PROVIDE BELT STOP FENCING ON THE EASTERN SIDE WHERE SHOWN ON PLAN
 4. MAINTENANCE PROCEDURES DURING CONSTRUCTION: ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AT ALL TIMES SO THAT THESE MEASURES ARE FULLY FUNCTIONAL OPERATIONAL DURING THE DURATION OF WORKS. ALL SUCH CONTROL S MUST ALSO BE FULLY FUNCTIONAL OPERATIONAL SHOULD WORK OPERATIONS CEASE TEMPORARILY (e.g. WEEKENDS, ROSTERED DAYS OFF, etc.)
 5. ALL FILTER BARRIERS ARE TO BE REGULARLY INSPECTED, PARTICULARLY FOLLOWING RUNOFF EVENTS, SO THAT DISCHARGE ON BROKEN BARRIERS CAN BE IMMEDIATELY REPAIRED. SEDIMENT ACCUMULATION BEHIND TRAPABLE SANDSUGS SHALL BE REMOVED. OPERATION OR ALTERNATIVELY PLACE ON STOCKPILES & MIMICS CONTROL AREA
 6. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS
 7. ROADS AND FOOTPATHS TO BE SWEEP DAILY
 8. ALL TRUCK LOADS ARE TO BE COVERED WHEN ENTERING AND EXITING THE SITE SO AS TO AVOID BRILLAGE
- METHOD OF SUPPORT OF EXCAVATION ADJACENT TO ADJOINING PROPERTIES TO BE DETAILED AND IT IS TO BE CERTIFIED BY A CERTIFIER ACCREDITED IN CIVIL ENGINEERING

LEGEND
- TO BE DEMOLISHED

GENERAL NOTES
All dimensions are to be confirmed on site by the builder/demolitor. Any incursions must be approved by the Designer before commencement of any work.
All dimensions are to be confirmed on site by the builder/demolitor. Any incursions must be approved by the Designer before commencement of any work.
No construction shall commence until all necessary approvals and permits have been obtained from the Council and the relevant authorities.
The contractor shall be responsible for obtaining all necessary approvals and permits from the Council and the relevant authorities.
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DATE	ISSUE	BY	FOR
03/05/22	A	ISSUE FOR CLIENT	
03/05/22	B	PROVISION B	
03/05/22	C	ISSUE FOR THE DA	
10/07/22	D	ISSUE FOR DA	

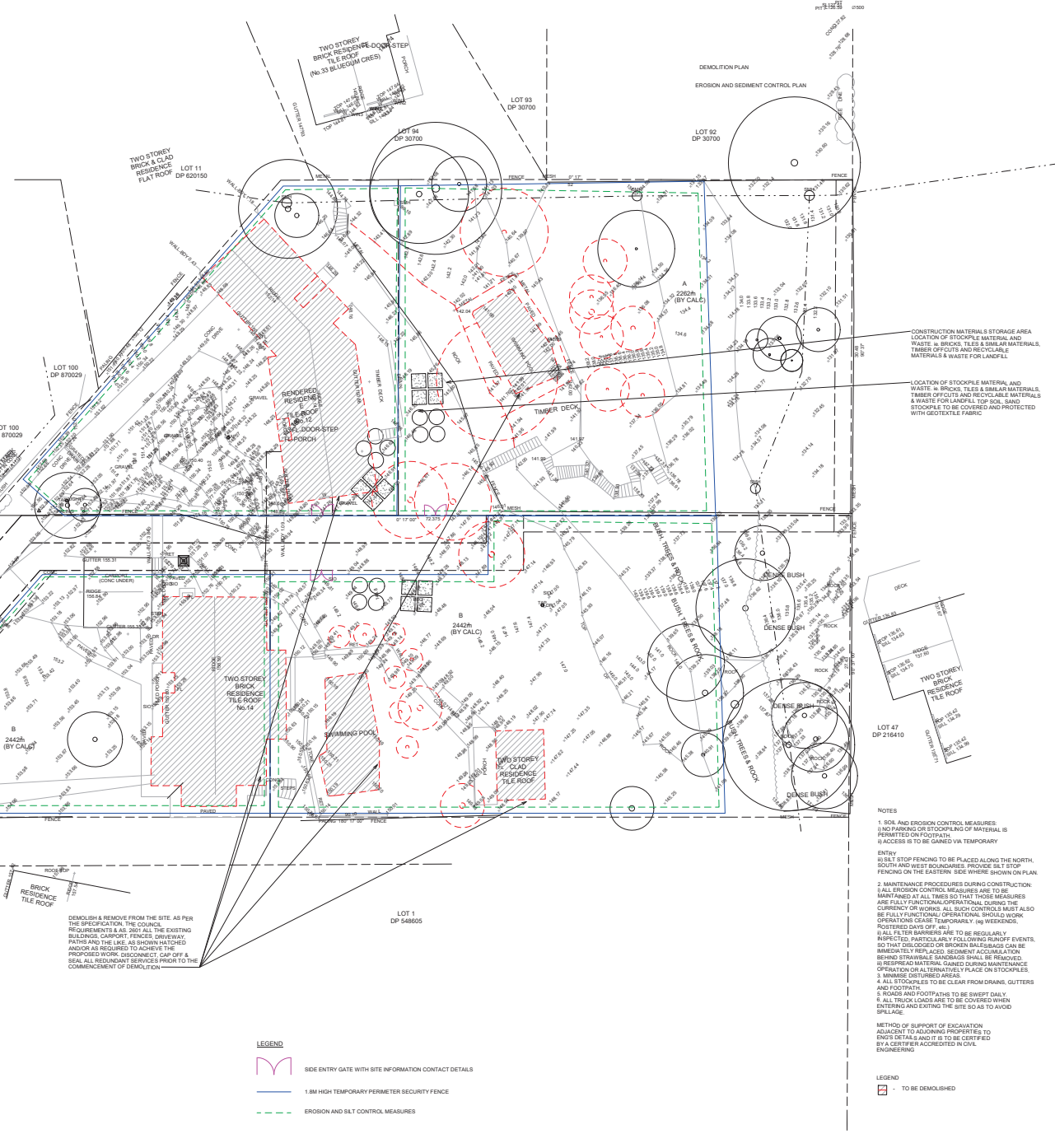
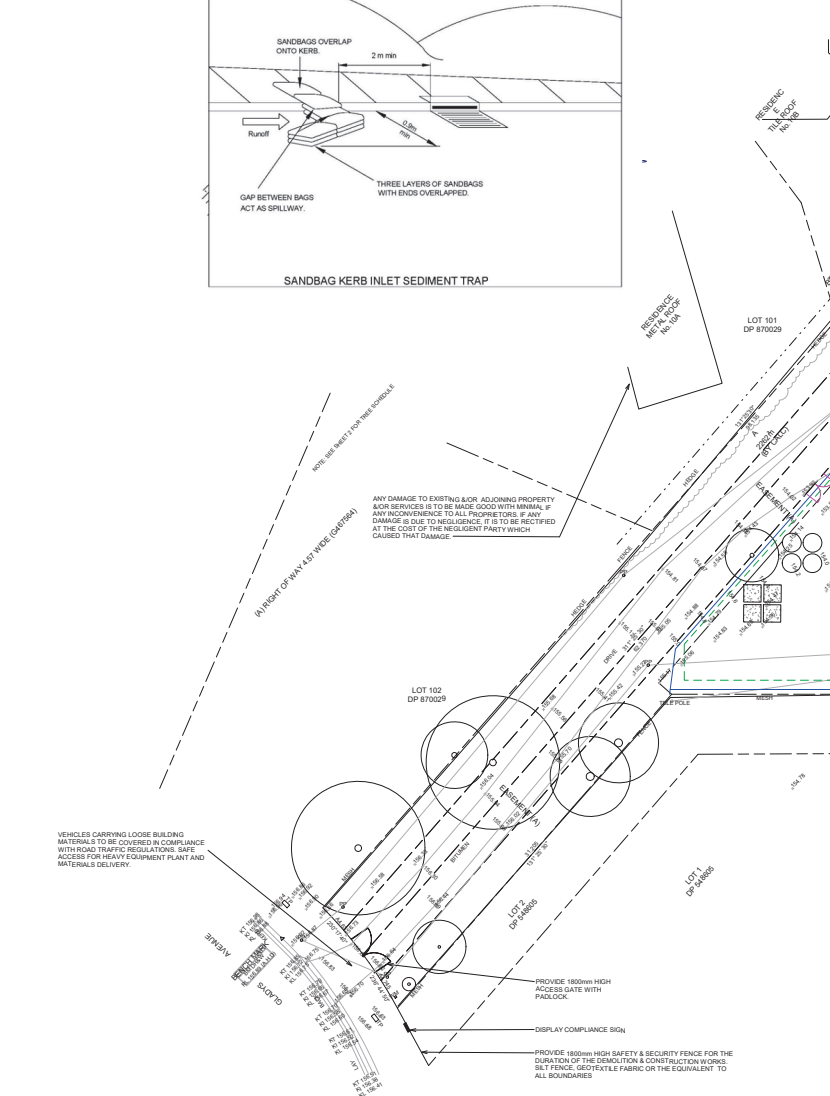
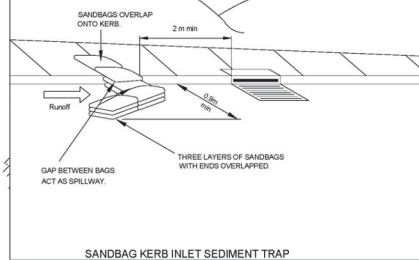
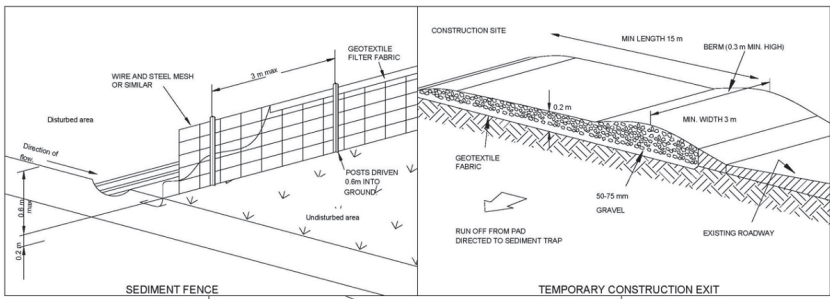
PROJECT
SUBDIVISION OF LAND, 2 LOTS INTO 4 LOTS
PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

CLIENT
JACK ZHANG

DATE
03/05/22

SCALE
1: 200

PROJECT NO.
12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086



- NOTES**
1. Silt and erosion control measures to be implemented in accordance with the Erosion and Sediment Control Plan.
 2. Maintenance procedures during construction:
 - i. All erosion control measures are to be maintained at all times so that those measures are fully functional/operational during the currency of works. All such controls must also be fully functional/operational should work be stopped for any cause (temporarily) on weekends.
 - ii. If any silt barrier is to be regularly inspected, particularly following runoff events, so that they are replaced or broken down as required.
 - iii. Sediment accumulation behind silt barriers/sandbags shall be removed.
 - iv. Replaced material gained during maintenance operation or alternative placement on stockpiles.
 - v. Minimise disturbed areas.
 3. All stockpiles to be cleared from drains, gutters and footpaths.
 4. Roads and footpaths to be swept daily.
 5. All truck loads are to be covered when entering and exiting the site as far as to avoid spillage.
- METHOD OF SUPPORT OF EXCAVATION ADJACENT TO ADJOINING PROPERTIES TO BE DETAIL AND IT IS TO BE CERTIFIED BY A CERTIFIER ACCREDITED IN CIVIL ENGINEERING**
- LEGEND**
- [Symbol] TO BE DEMOLISHED

1 EROSION AND SEDIMENT CONTROL PLAN / CONSTRUCTION MANAGEMENT PLAN
1 : 200

GENERAL NOTES

All dimensions are to be confirmed on site by the sub-contractor. Any discrepancies must be reported to the Designer before commencement of any work.

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REV	DATE	BY	CHK	DESCRIPTION
01	15/05/22	A		ISSUE FOR CLIENT
02	15/05/22	B		REVISION B
03	15/05/22	C		ISSUE FOR TENDERS
04	15/05/22	D		ISSUE FOR DA

PROJECT
SUBDIVISION OF LAND, 2 LOTS INTO 4 LOTS
PROP. CONSTRUCT OF 3 X 2 STRY DWELLINGS AT
12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

CLIENT
JACK ZHANG

DATE
15/05/22

SCALE
1 : 200

PROJECT NO.
22-46

ISSUE NO.
01

DATE
15/05/22

SCALE
1 : 200

PROJECT NO.
22-46

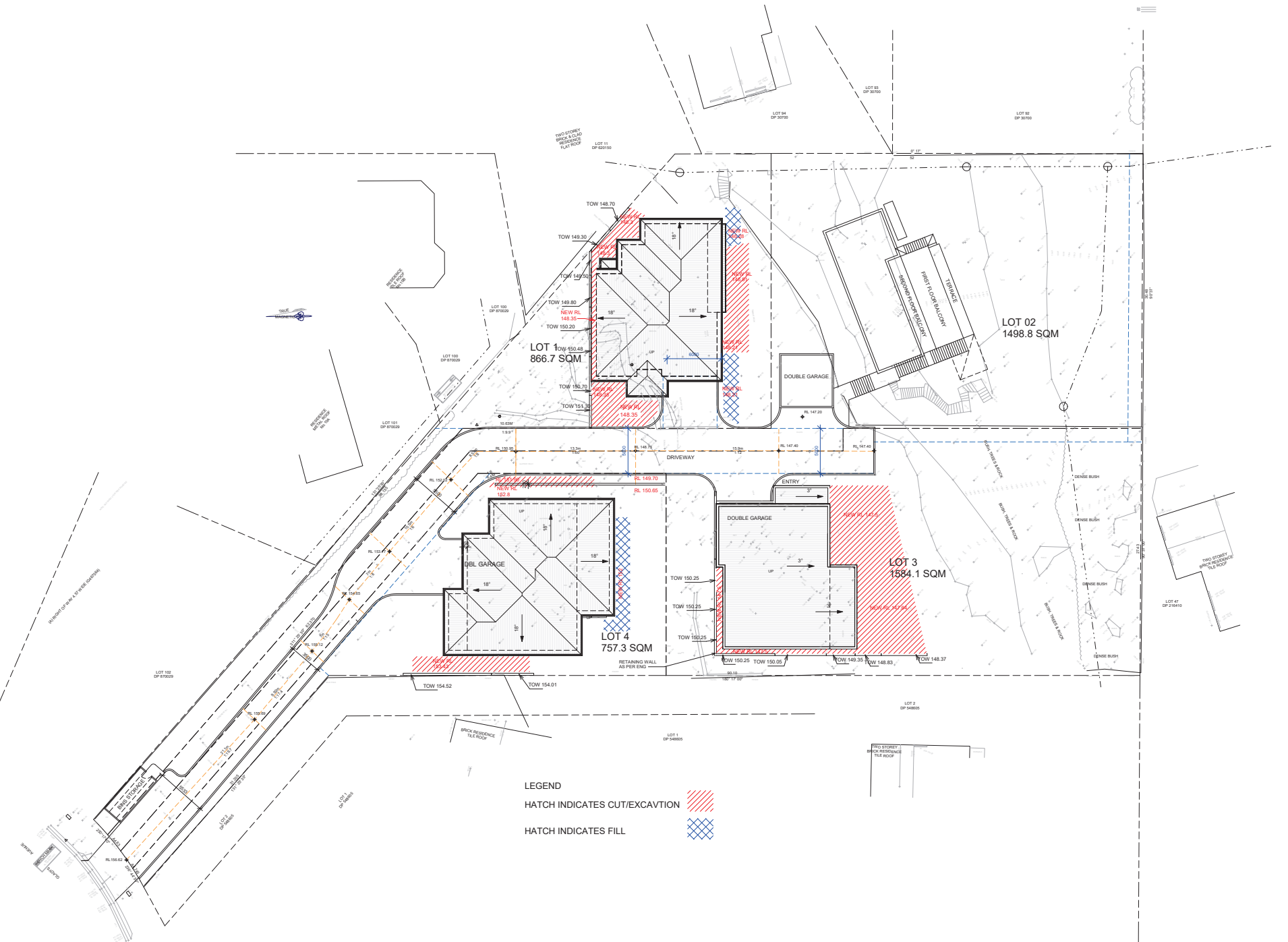
ISSUE NO.
01

DATE
15/05/22

SCALE
1 : 200

bdac
EROSION AND SEDIMENT CONTROL PLAN
1 of 1

JK
DESIGNS



LEGEND
 HATCH INDICATES CUT/EXCAVATION
 HATCH INDICATES FILL

1 EXCAVATION AND FILL PLAN
 1 : 200

GENERAL NOTES
 All dimensions are to be confirmed on site by the subdivider/contractor. Any inaccuracies must be reported to the Designer before commencement of any work.
 All dimensions are to be taken to the face of the excavation or to the face of the building, unless otherwise stated. All dimensions shall be taken from the centre of any pipe. A survey must be carried out to confirm the exact boundary locations.
 The contractor shall ensure that all excavation and fill work is carried out in accordance with the site plan and that the boundaries have been completed. The contractor is to ensure that the boundaries are completed in accordance with the site plan and that the boundaries have been completed.
 In the event of any discrepancy or inconsistency between the site plan and the site plan, the contractor shall be responsible for the discrepancy.
 All construction, control plans and excavation plans in the wall, floor, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, and allowed without written permission from the Engineer.
 All construction shall be in accordance with the relevant Australian Standards, Australian Building Codes, structural steel components and the like, and shall be taken from these documents. Manufacturers must be taken on file for all work in construction.
 All construction components shall be in strict accordance to detail and specifications as approved by a structural engineer.
 All existing structures shall be in strict accordance to detail and specifications as approved by a structural engineer.
 All existing structures shall be in strict accordance to detail and specifications as approved by a structural engineer to ensure that a certificate of structural adequacy is available prior to the start of any work.

Drawn	Date	Revised	Attachment
JK	13/05/22	A	ISSUE FOR CLIENT
JK	13/05/22	B	REVISION B
JK	13/05/22	C	ISSUE FOR PRE DA
JK	13/05/22	D	ISSUE FOR DA

PROJECT
 SUBDIVISION OF LAND, 2 LOTS INTO 4 LOTS
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

CLIENT
 JACK ZHANG

bdac
 A C C R E D I T E D
 BUILDING DESIGNERS

Scale north
 1 : 200

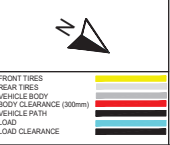
Excavation and Fill Plan
 22-46 | 13/05/22 | 1 of 1 | 1:200 | D | RK

JK
 DESIGNS



Rev	Date	Description	Drawn	Appr.
0	11.08.22	INITIAL RELEASE	A.S	O.O

THIS DOCUMENT IS PRODUCED BY THE TRAFFIC PLANS COMPANY PTY. LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. THE TRAFFIC PLANS COMPANY PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT.



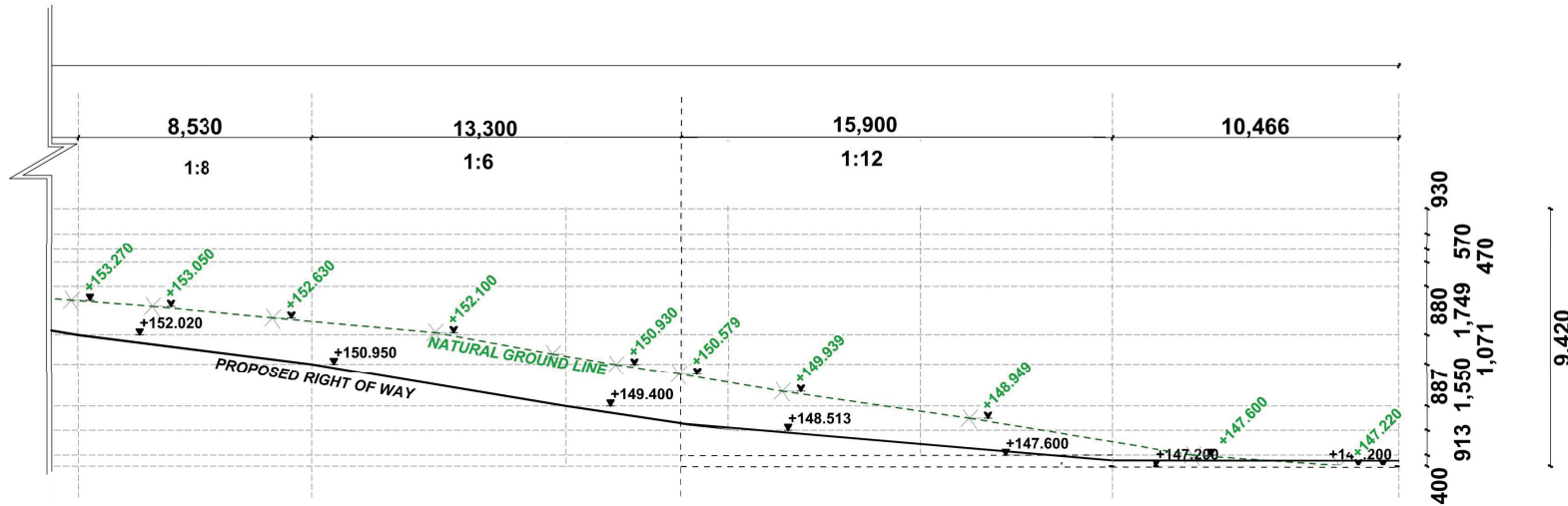
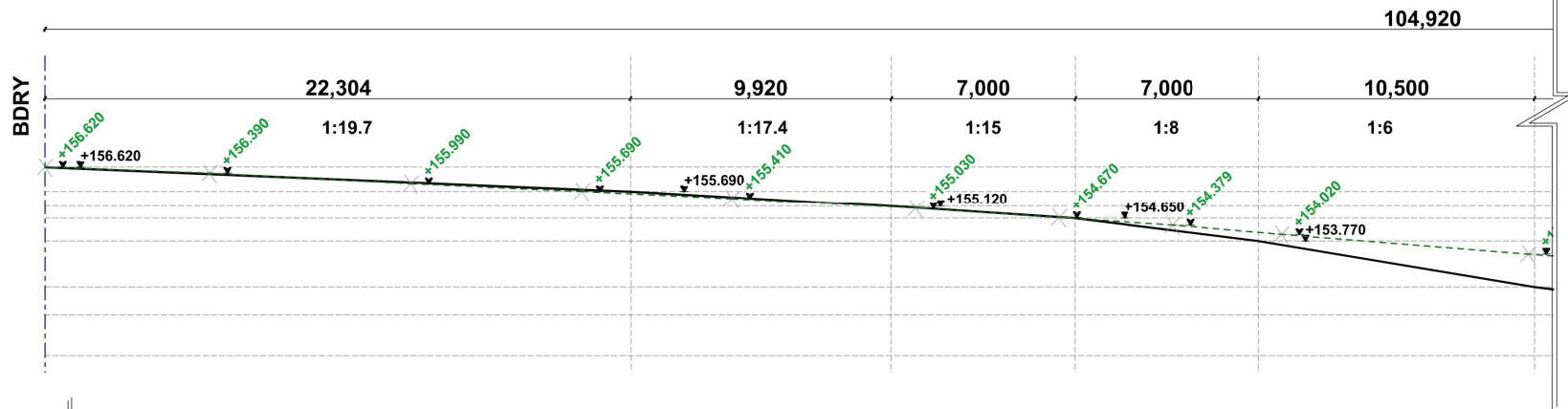
1. TRAFFIC MANAGEMENT PLAN SHOULD BE READ IN CONJUNCTION WITH AUSTRALIAN STANDARDS AS1742.3-2009 AND ROAD MANAGEMENT ACT 2004, CODE OF PRACTICE TO ENSURE CORRECT INSTALLATION OF TRAFFIC CONTROL DEVICES.
 2. THE LOCATION OF ANY SIGNS SHOWN ON THE PLAN MAY BE VARIED SLIGHTLY DURING THE IMPLEMENTATION TO IMPROVE VISIBILITY AND EFFECTIVENESS. ANY ALTERATIONS MADE TO THIS PLAN MUST BE IN ACCORDANCE WITH AS 1742.3-2009 AND ROAD MANAGEMENT ACT 2004, CODE OF PRACTICE, TAKING INTO ACCOUNT ANY SITE SPECIFIC REQUIREMENTS OR CONDITIONS.

ABN: 21 103 477 742
 2273 Assembly Drive,
 Dandenong South VIC 3175
 Phone (+61 3) 9066 4417
 Email: info@trafficplans.com.au
 Web: www.trafficplans.com.au

Drawn	A.SHASH
Designed	A.SHASH
Checked	O.OZGUR
Authorised	O.OZGUR

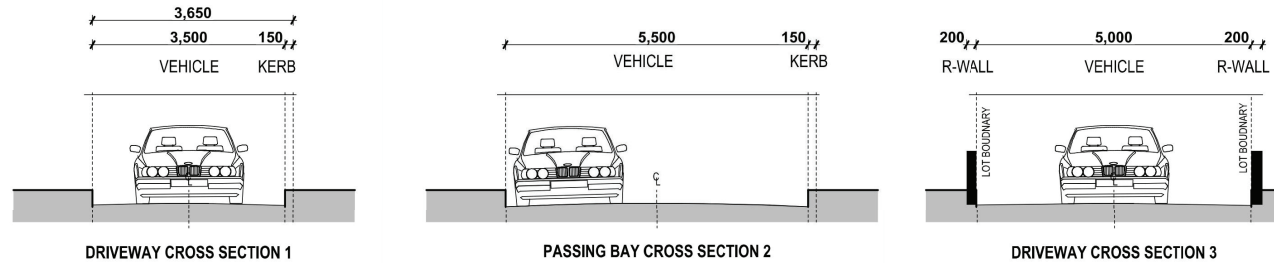
Client	GLADYS FOREST PTY LTD
Project	12-14 GLADYS AVENUE FRENCHS FOREST, NSW 2030
Title	DRIVEWAY PLAN

Contact	JACK ZHANG - 0410 063 615		
Municipality	WARINGAH	Site Classification (Long / Short term)	N/A
Date	11.08.22	Map Ref	238 A4
Sheet	1/2	Revision	0
Drawing Number	TPC-2022-10658-002		



NOTE: DRIVEWAY SECTION TAKEN THROUGH CENTRELINE

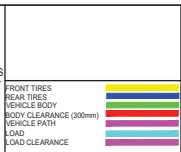
DRIVEWAY LONG SECTION
SCALE 1:200



TYPICAL CROSS SECTIONS
SCALE 1:100

0	11.08.22	INITIAL RELEASE	A.S	O.O
Rev	Date	Description	Drawn	Appr.

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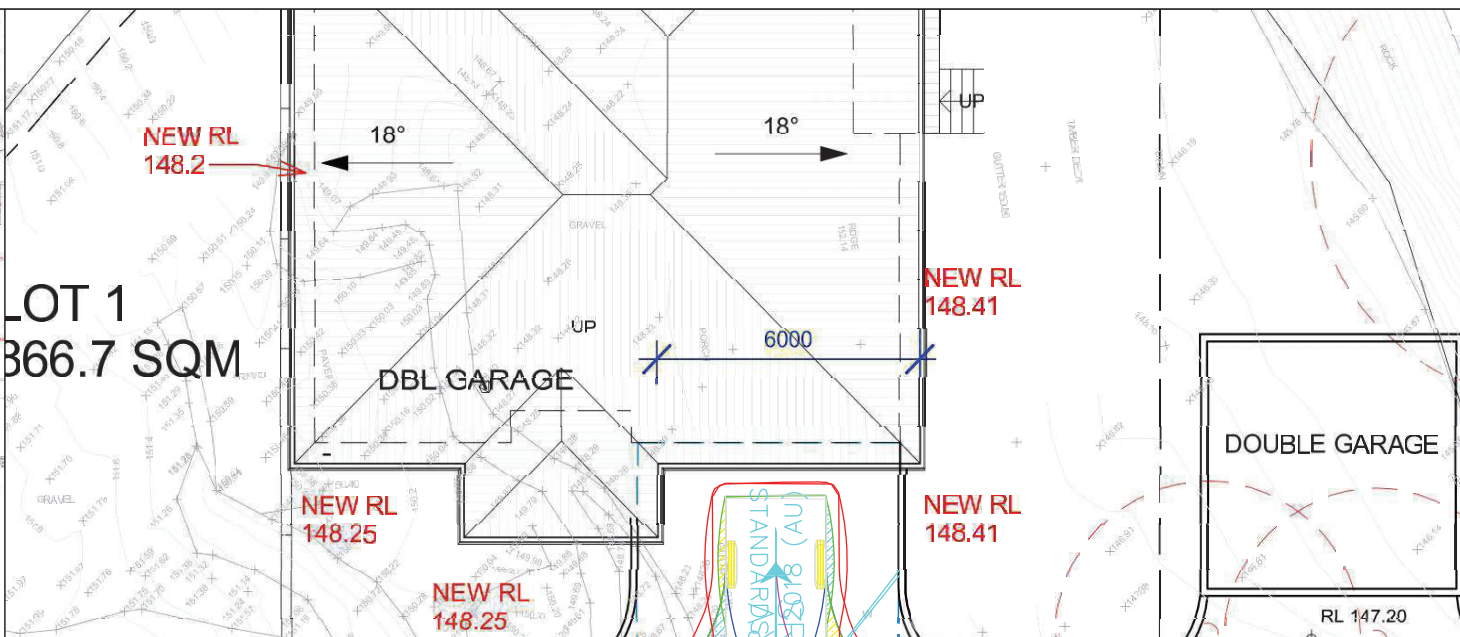
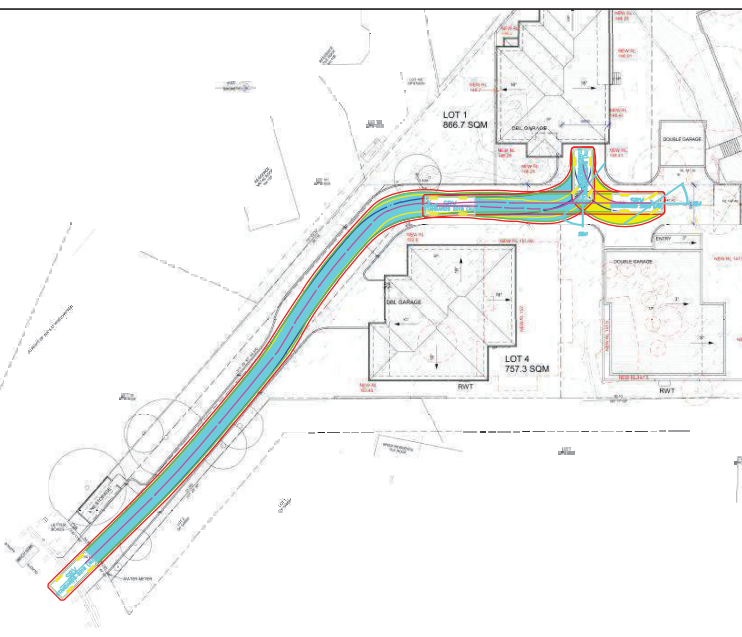


ABN: 21 103 477 742
22/73 Assembly Drive,
Dandenong South VIC 3175
Phone (+61 3) 9066 4417
Email: info@trafficplans.com.au
Web: www.trafficplans.com.au

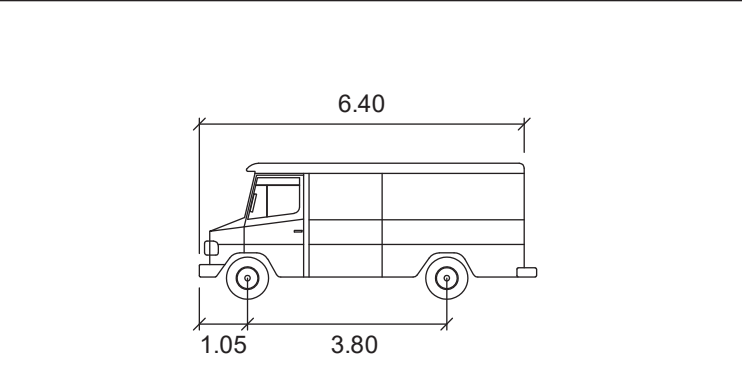
Drawn	A. SHASH
Designed	A. SHASH
Checked	O. OZGUR
Authorised	O. OZGUR

Client	GLADYS FOREST PTY LTD		
Project	12-14 GLADYS AVENUE FRENCHS FOREST, NSW 2030		
Title	SITE DRIVEWAY SECTION		

Contact	JACK ZHANG - 0410 063 615		
Municipality	WARINGAH	Site Classification (Long / Short term)	N/A
Date	11.08.22	Map No.	238 A4
Sheet	2/2	Revision	0
Drawing Number	TPC-2022-10658-002		

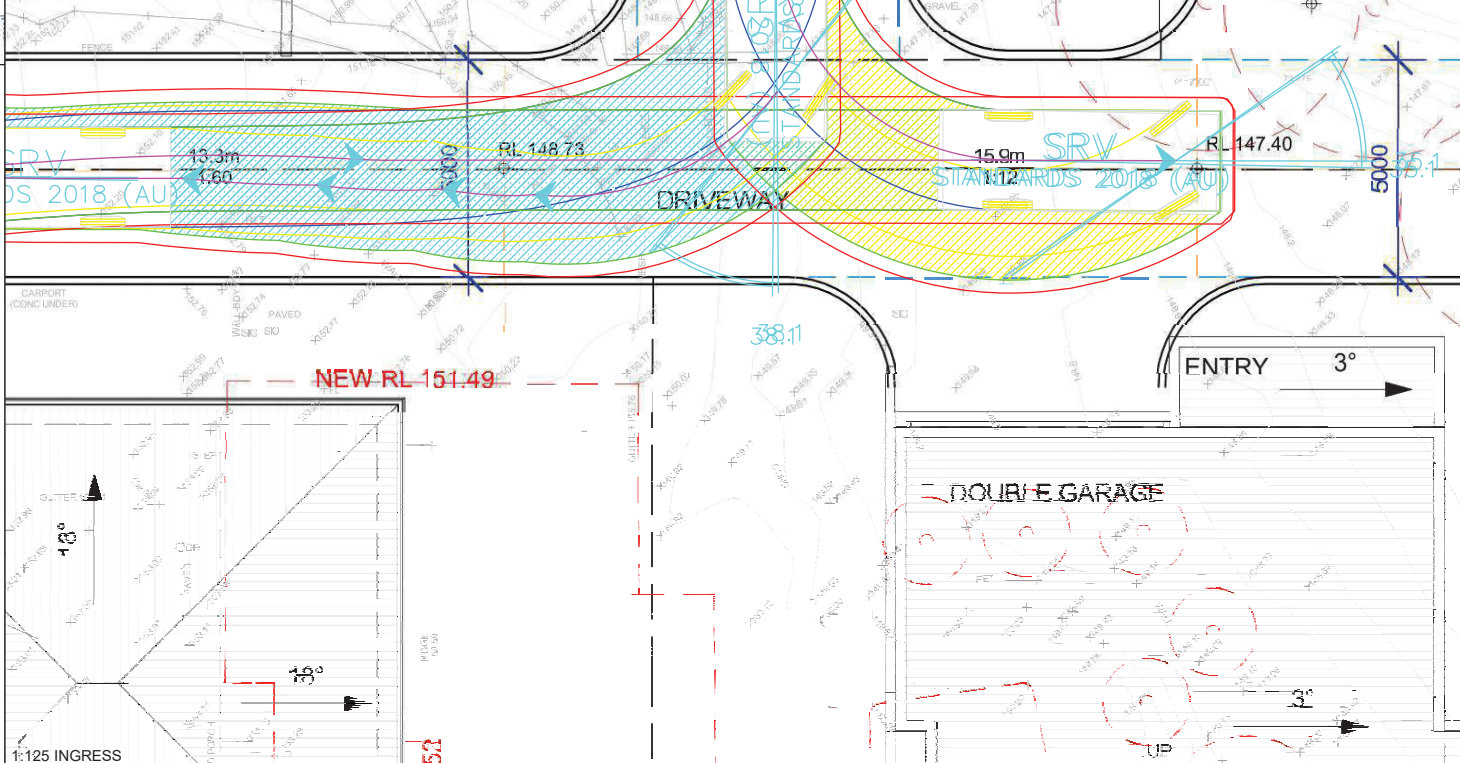


PROOF PLAN
SUBJECT PROPERTY:



SRV

Width : 2.30 meters
Track : 2.30
Lock to Lock Time : 6.0
Steering Angle : 38.0



1	04.08.22	UPDATED BASE LAYER	A.S	0.0
0	14.07.22	INITIAL RELEASE	A.S	0.0

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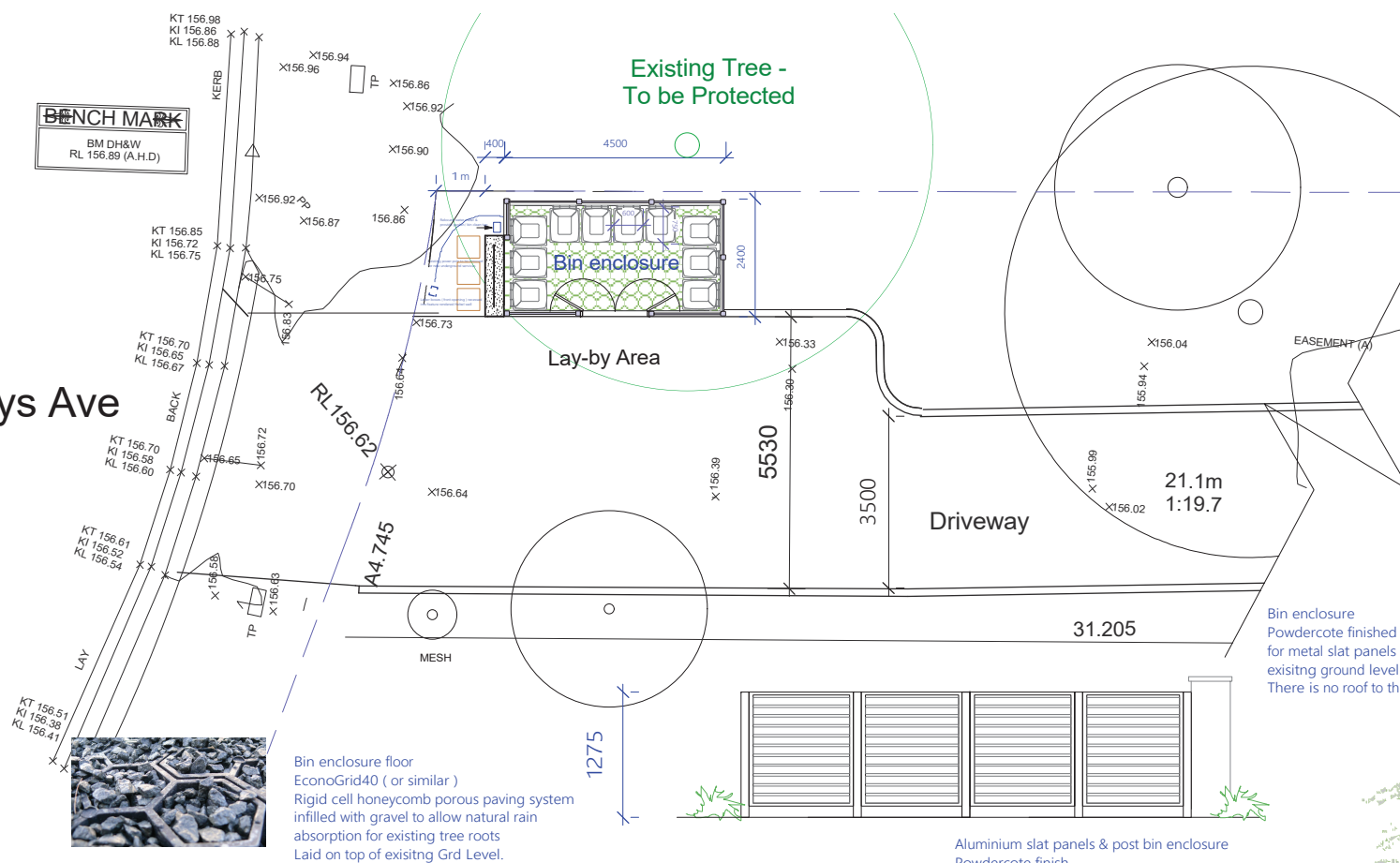
ABN: 21 103 477 742
2273 Assembly Drive,
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Drawn	A.SHASH
Designed	A.SHASH
Checked	O.OZGUR
Authorised	O.OZGUR

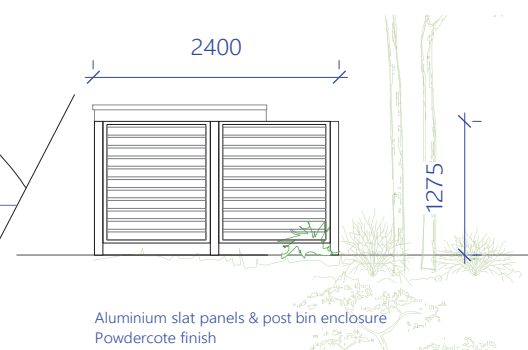
Client: GLADYS FOREST PTY LTD
Project: 12-14 GLADYS AVENUE
FRECHS FOREST, NSW 2086
Title: 6.4m SRV - SWEEP PATH ASSESSMENT
INGRESS & EGRESS

Contact	JACK ZHANG - 0410 083 615
Municipality	WARINGAH
Date	04.08.22
Map Ref	238 A4
Sheet	1/1
Drawing Number	TPC-2022-10658-001
Revision	1

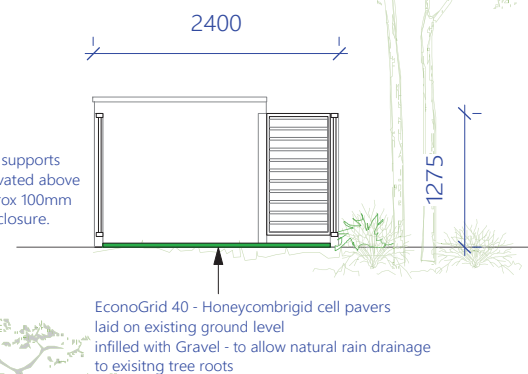
Gladys Ave



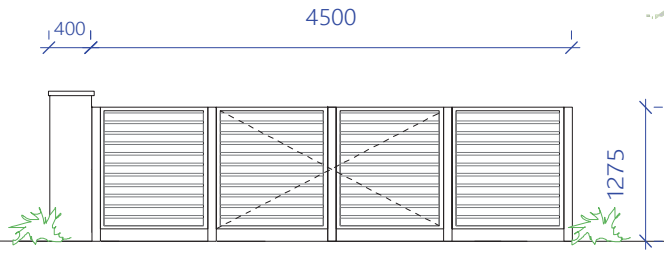
Rear Elevation



Section



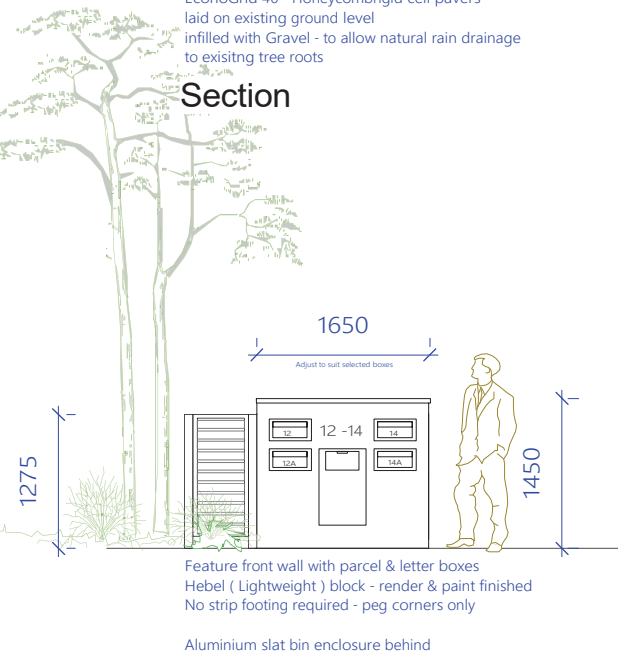
Boundary Elevation



Driveway Elevation



Street Elevation

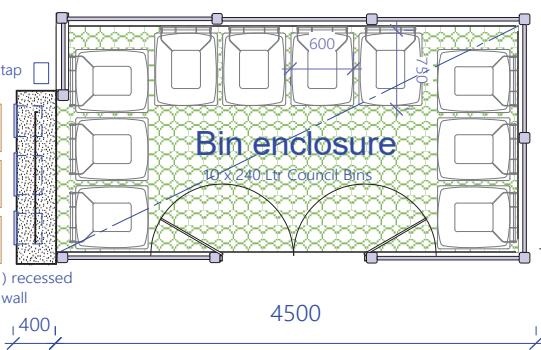


Bin enclosure floor
EconoGrid40 (or similar)
Rigid cell honeycomb porous paving system
infilled with gravel to allow natural rain
absorption for existing tree roots
Laid on top of existing Grd Level.



Relocated water meter
Provide garden / bin clean tap

Paver path



Amendments	Date	Issue	No.12 - 14 Gladys Ave, Frenchs Forest Proposed Subdivision and New Dwellings	Diana Prowse Reg. 5740 - Nominated Architect Di-Signed Architectural Solutions	Drawing No.
				96A Pacific Highway, Roseville PO Box 408 Roseville, NSW 2069 Email - diana@archsolutions.net.au Mob 0414 931 018	
			Mr Jack Zhang		Scale



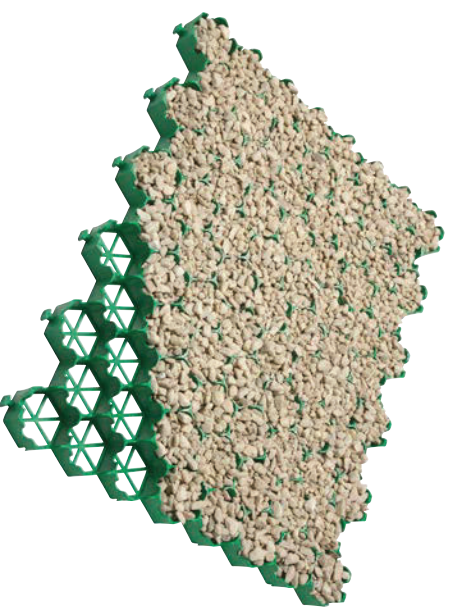
ECONOGRID 40™ POROUS PAVER GRAVEL FINISH



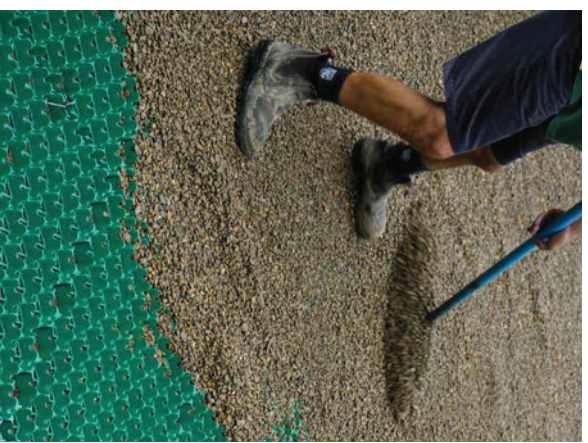
EconoGrid 40 is a porous paver that can provide a solution to a wide range of trafficking needs, especially in providing a stable, free draining pavement surface that retains gravel in situ. The application might be a gravel car park, an emergency access route or wheel chair / disabled access path. EconoGrid 40 plastic paving grids have been designed using carefully selected recycled plastics, to meet the demands and loadings imposed across a wide range of end requirements and site conditions.

Applications:

- Gravel car parking
- Overflow car parks
- Wheelchair / disabled access paths
- Free draining pedestrian paths
- Fire access roads / lanes
- Cycle paths
- Access routes and roads
- Drives and driveways



EconoGrid 40 porous plastic pavers can be filled with a 5mm to 20mm mixed sharp angular aggregate/gravel to give a very stable, hardworking and free draining working surface. The design of EconoGrid 40 plastic porous pavers allows excellent interlock with the gravel resisting and negating dynamic and lateral loadings so the gravel and paver remains in situ with little or no maintenance requirements.



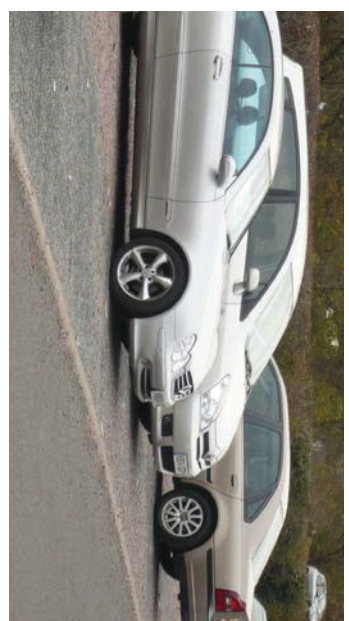


The retained gravel finish, when installed correctly, will provide a hard-wearing, robust and permeable free draining surface that would have an expected lifetime of many years. Please see our installation and design guidance documents for further information.

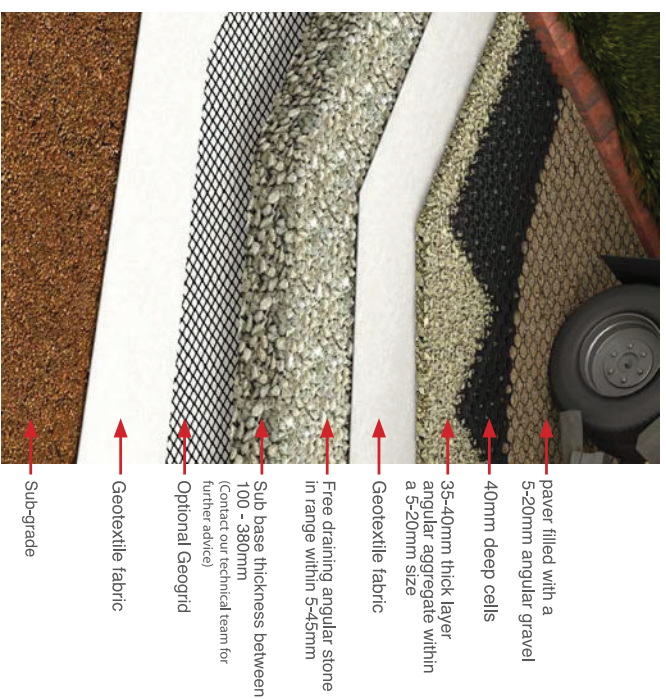
EconoGrid 40 porous pavers are supplied in easy to handle square grids which interlock with adjacent paving grids to create a stable and robust surface. The plastic pavers have a 40mm deep open honeycomb structure which promotes and allows excellent interlock between angular stone/gravel particles where a gravel pavement is required.

EconoGrid 40 paving grids have been manufactured using specially selected 100% recycled plastics that have the qualities that are required for a strong, long-lasting, stable product suitable for the designed traffic load. These include:

- UV stabilisation to stop degradation by sunlight.
- Tested to 150T/m², capable of withstanding cars, vans, trucks and lorries
- Paver profile allows expansion on warmer days or in direct sunlight when required to stop lifting
- Plastic selection to allow use in cold temperatures – some plastic will become fragile when cold
- Open structure to allow unhindered water permeability
- Paver design maximises support and stability from either a gravel or a grass root structure
- All plastics used are stable, chemically inert and are not toxic so are suitable for normal soil conditions



EconoGrid 40 porous plastic paving grids have been designed to meet the demands laid down by local government regarding flood alleviation and WSUD requirements (Water Sensitive Urban Design). EconoGrid 40 pavers provide a porous / permeable pavement surface that allows rainwater / flood water to infiltrate through the paver surface and fill material into the subgrade below. EconoGrid 40 can be used as part of a source control layer within a WSUD design.



For technical and installation information visit:
www.grassreinforcement.com.au/econogrid-40



Product Range

Laid size for 4 grids cover 1m²

Product	Size (outer)	Grid per m ² Laid	Paver Cell Depth	Load bearing Strength Capacity	Material	Colour
Econogrid 40	638mmx532mm	3	40mm	150T/m ²	100% Recycled PP/PE	Green



1 SITE LOCATION PLAN
1:2000

NOTE
SITE ANALYSIS PLAN IS TO BE READ
IN CONJUNCTION WITH THE
ARCHITECTURAL DRAWINGS, THE
SHADOW DIAGRAM PLANS AND THE
STATEMENT OF ENVIRONMENTAL
EFFECTS, INCLUSIVE OF THE
PHOTOGRAPHS & THE STREETSCAPE
ELEVATION.

GENERAL NOTES
 All dimensions are to be confirmed on site by the subdivider/contractor. Any inaccuracies must be reported to the Designer before commencement of any work.
 All dimensions are to be taken on the boundaries, at bearings, distances and areas have been taken from the cadastral survey plan. A survey must be ordered to be carried out to confirm the exact boundary locations.
 The contractor must make a reference to a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary is to be used as a guide only. The contractor is to be responsible for the location of the site boundaries. The contractor is to be responsible for the location of the site boundaries.
 All construction, control plans and approval plans in the work. Plans, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Designer.
 All construction must be in accordance with the Australian Standards, Australian Building Codes, Australian Standards, Australian Standards and the like, as set out in these documents. Measurements must be taken on site to suit the work in construction.
 All construction components shall be in strict accordance to details and specifications as proposed by a structural engineer.
 All existing structures shall be in strict accordance to details and specifications as proposed by a structural engineer.
 All existing structures shall be in strict accordance to details and specifications as proposed by a structural engineer to ensure that a certificate of structural adequacy is available prior to the start of any work.

drawn	scale	date	revision	description
ELU	1:200	03/05/22	A	ISSUE FOR CLIENT
JKZ	1:200	03/05/22	B	PROVISION B
JKZ	1:200	03/05/22	C	ISSUE FOR PRE DA
MZ	1:200	03/05/22	D	ISSUE FOR DA

Project: SUBDIVISION OF LAND, 2 LOTS INTO 4 LOTS, PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

Client: JACK ZHANG

Site north: ↑

Scale: 1:2000

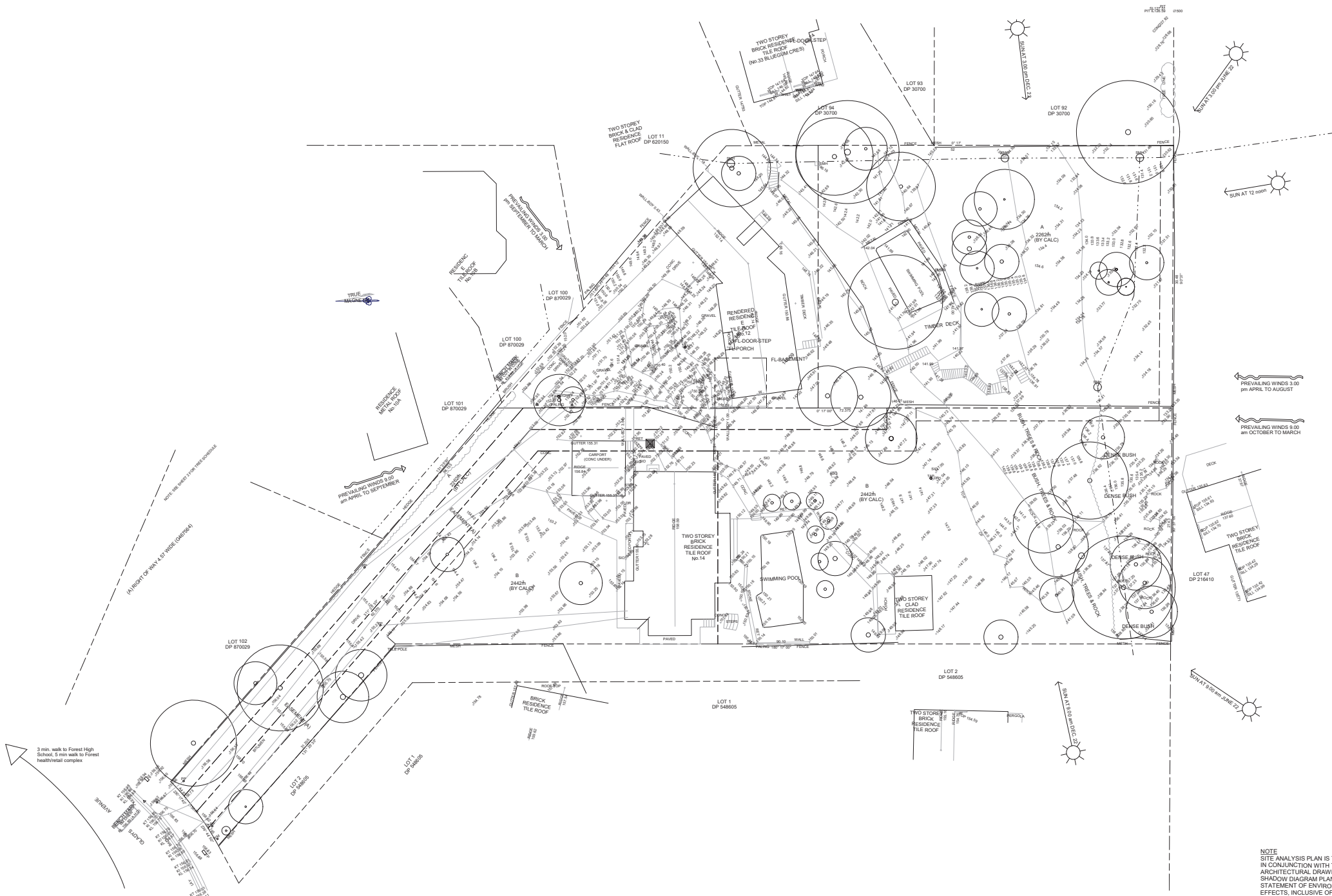
Sheet: 1 of 2

Issue: 03/05/22

Time: 12:46

bdaa
 ARCHITECTS
 12/13 FRENCHS STREET,
 PARRAMATTA NSW 2150
 www.bdaa.com.au
 02 9633 4727
 02 9633 200 365
 www.bdaa.com.au

RK
 DESIGNS



1 SITE ANALYSIS
1 : 200

GENERAL NOTES
 All dimensions are to be confirmed on site by the builder/contractor. Any inaccuracies must be reported to the Designer before commencement of any work.
 All dimensions are to be confirmed on site by the builder/contractor. Any inaccuracies must be reported to the Designer before commencement of any work.
 The contractor shall ensure that the site boundaries are clearly marked and that the site boundaries are clearly marked and that the site boundaries are clearly marked.
 All construction, cover joints and expansion joints in the walls, floors, other locations shall be in strict accordance with the Structural Engineering Details. No joints or breaks other than specified, are allowed without written permission from the Designer.
 All structural components shall be in strict accordance with the Structural Engineering Details. No joints or breaks other than specified, are allowed without written permission from the Designer.
 All structural components shall be in strict accordance with the Structural Engineering Details. No joints or breaks other than specified, are allowed without written permission from the Designer.

REV	DATE	BY	DESCRIPTION
01	03/05/22	A	ISSUE FOR CLIENT
02	03/05/22	B	PROVISION B
03	03/05/22	C	ISSUE FOR PRELIM DA
04	03/05/22	D	ISSUE FOR DA

PROJECT:
 SUBDIVY OF LAND, 2 LOTS INTO 4 LOTS
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

CLIENT:
 JACK ZHANG

DATE:
 03/05/22

SCALE:
 1 : 200

PROJECT NO.:
 22-46

DATE:
 03/05/22

REV. NO.:
 2 OF 2

SCALE:
 1 : 200

DATE:
 03/05/22



NOTE
 SITE ANALYSIS PLAN IS TO BE READ
 IN CONJUNCTION WITH THE
 ARCHITECTURAL DRAWINGS, THE
 SHADOW DIAGRAM PLANS AND THE
 STATEMENT OF ENVIRONMENTAL
 EFFECTS, INCLUSIVE OF THE
 PHOTOGRAPHS & THE STREETScape
 ELEVATION.



TURNING PATH ANALYSIS FOR B99
SCALE: 1:100

Rev	Description	By	App Date	Rev	Description	By	App Date
C	FOR DA APPROVAL	SH	18/08/22				
B	FOR DA APPROVAL	SH	13/05/22				
A	FOR INFORMATION	SH	20/03/22				

Engineering Consultant
STRONGHOLD ENGINEERS
 Email: admin@shw.com.au
 Ph: 02 6100 1148
 Suite 79 89-97 JONES STREET
 ULTIMO NSW 2007

Client
JACK ZHANG

Project
12 & 14 Gladys Ave, Frenchs Forest

Drawing Title
TURNING PATH FOR B99

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NOT FOR CONSTRUCTION

Project Number SH20198	Drawing Number T01	Revision C
Engineer SH	Drawn IN	
Date MAR 2022	Scale 1:100 A1	

(A) RIGHT OF WAY 4.57 WIDE (G467564)

RESIDE
TILE R
No.1

RESIDENCE
METAL ROOF
No.10A

LOT 101
DP 870029

LOT 100
DP 870029

LOT 102
DP 870029

LOT 2
DP 548605

LOT 1
DP 548605

LOT 4
664.503 SQM

2 X 5000L RWT

DBL GARAGE
153.50

APPROX.
BUILD
FOOTPRINT

BINS STORAGE

B99
STANDARDS 2004 (AU_NZ)

B99
STANDARDS 2004 (AU_NZ)

B99
STANDARDS 2004 (AU_NZ)

B99
STANDARDS 2004 (AU_NZ)

B99
STANDARDS 2004 (AU_NZ)

B99
STANDARDS 2004 (AU_NZ)

TURNING PATH ANALYSIS FOR B99

SCALE 1:100

Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/23
A	FOR INFORMATION	SH	IN	20/03/22

Engineering Consultant
STRONGHOLD ENGINEERS
 Email: admin@shens.com.au
 Ph: 02 6100 1148
 Suite 79 89-97 JONES STREET
 ULTIMO NSW 2007

Client
JACK ZHANG

Project
12 & 14 Gladys Ave, Frenchs Forest

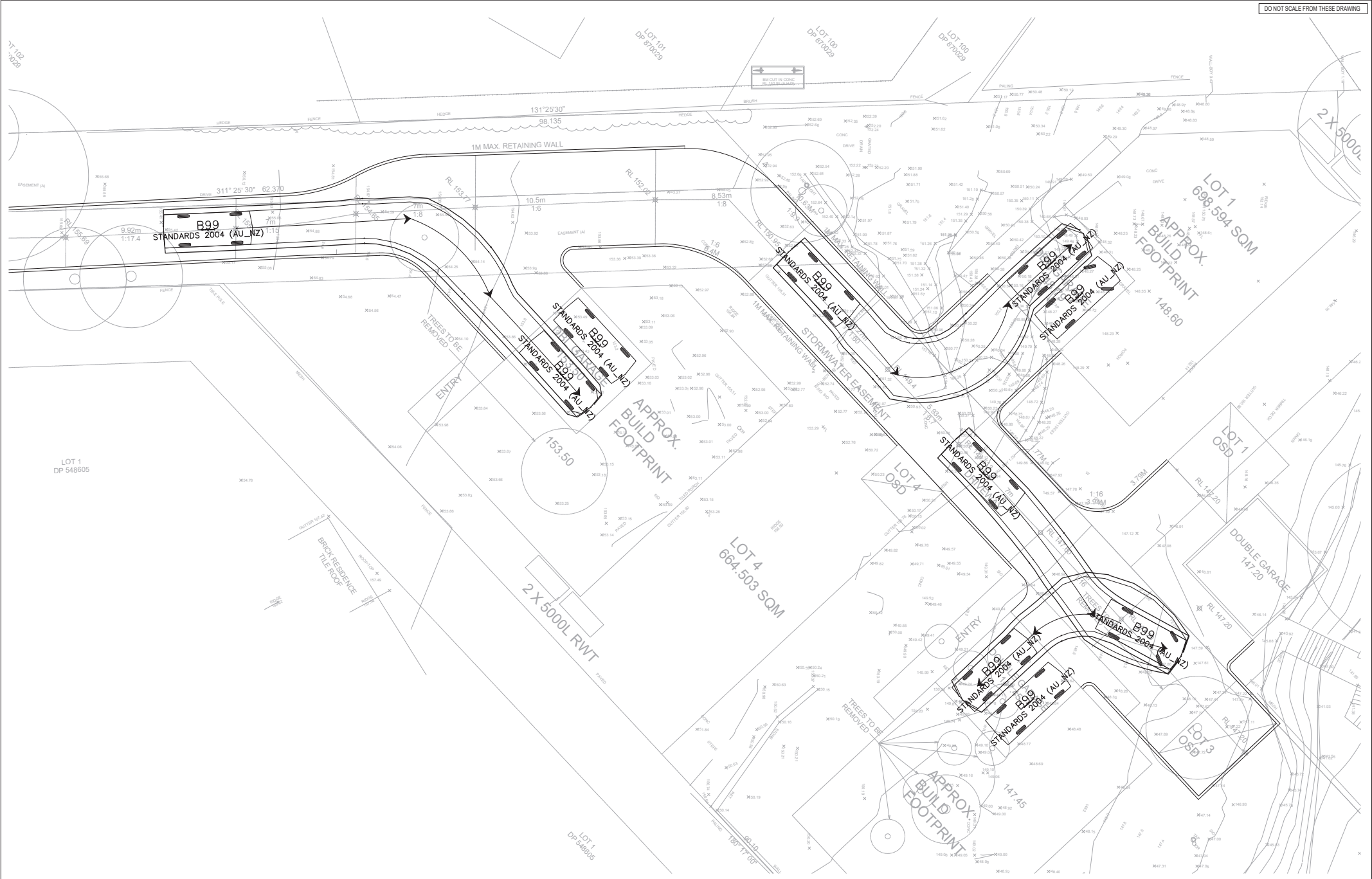
Drawing Title
TURNING PATH FOR B99

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Project Number SH20198	Drawing Number T06	Revision B
Engineer SH	Drawn IN	
Date MAR 2022	Scale 1:100 A1	

NOT FOR CONSTRUCTION



TURNING PATH ANALYSIS FOR B99
SCALE 1:100

Rev	Description	By	App	Date	Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/23					
A	FOR INFORMATION	SH	IN	20/03/22					

Engineering Consultant
STRONGHOLD ENGINEERS
 Email: admin@shwens.com.au
 Ph: 02 6100 1148
 Suite 79 89-97 JONES STREET
 ULTIMO NSW 2007

Client
JACK ZHANG

Project
12 & 14 Gladys Ave, Frenchs Forest

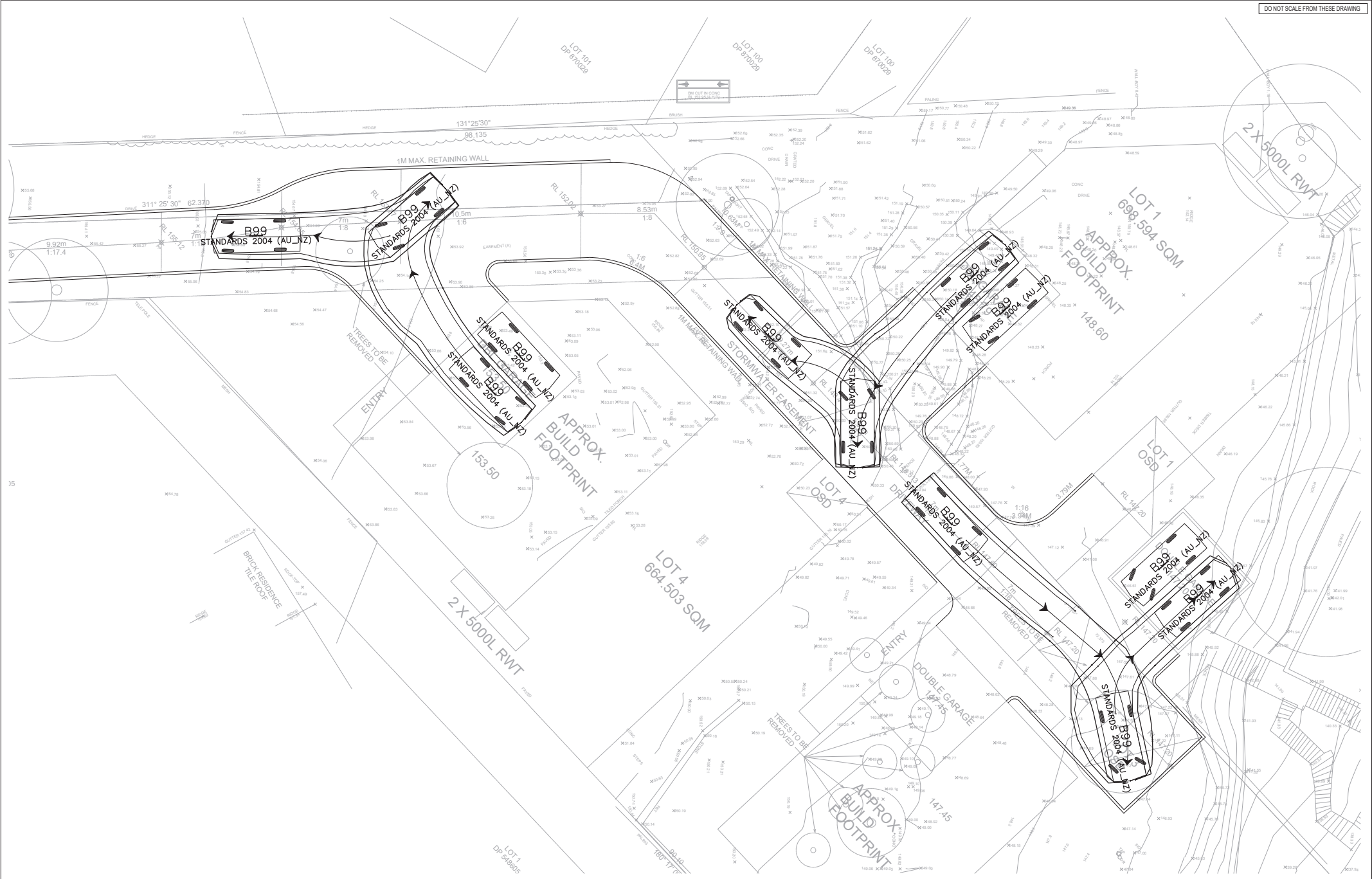
Drawing Title
TURNING PATH FOR B99

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Project Number SH20198	Drawing Number T07	Revision B
Engineer SH	Drawn IN	
Date MAR 2022	Scale 1:100 A1	

NOT FOR CONSTRUCTION



TURNING PATH ANALYSIS FOR B99
SCALE 1:100

Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/23
A	FOR INFORMATION	SH	IN	20/03/22

Engineering Consultant
STRONGHOLD ENGINEERS
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Ph: 02 6100 1148
Suite 79 89-97 JONES STREET
ULTIMO NSW 2007

Client
JACK ZHANG

Project
12 & 14 Gladys Ave, Frenchs Forest

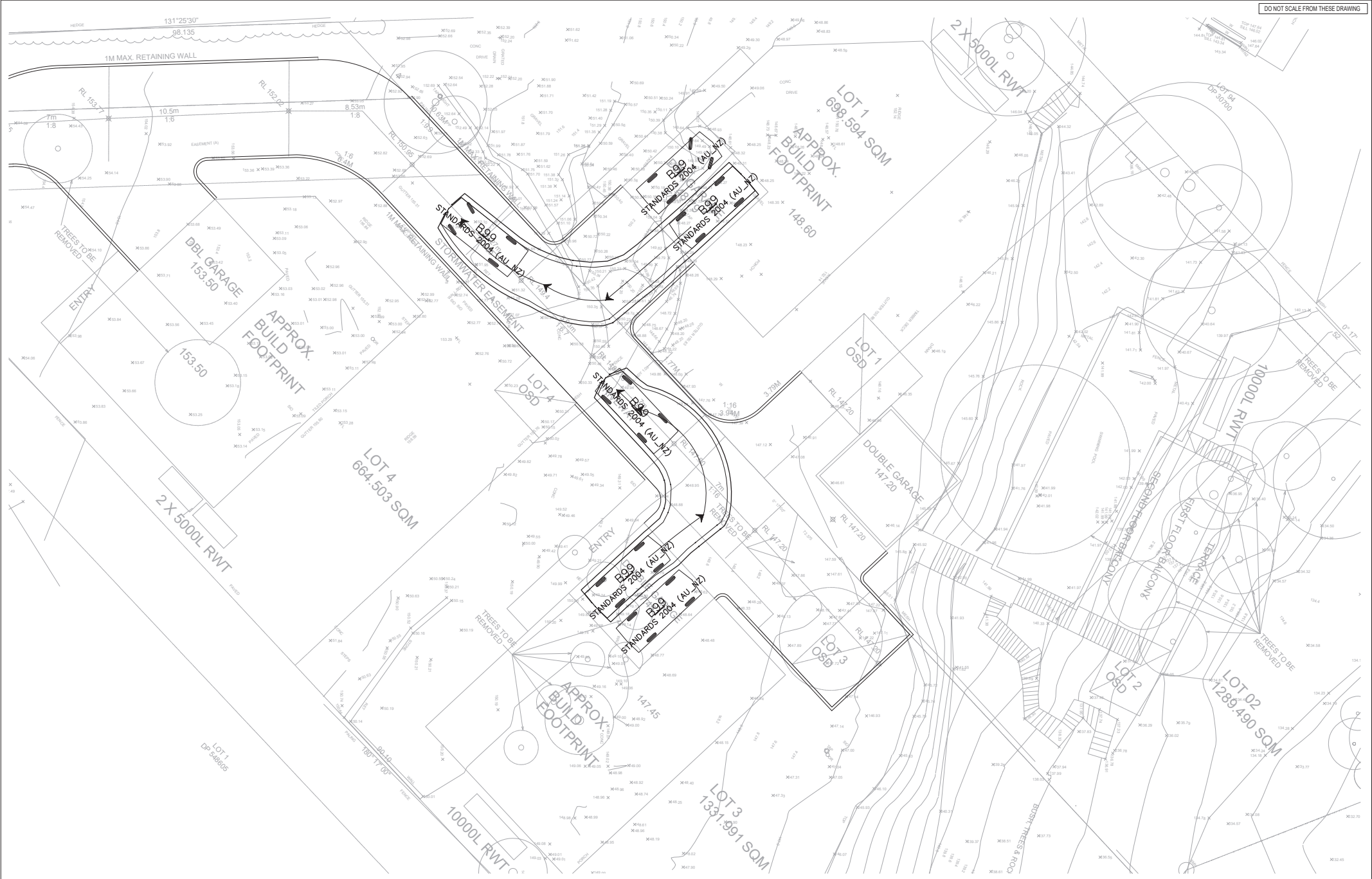
Drawing Title
TURNING PATH FOR B99

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Project Number SH20198	Drawing Number T08	Revision B
Engineer SH	Drawn IN	
Date MAR 2022	Scale 1:100 A1	

NOT FOR CONSTRUCTION



TURNING PATH ANALYSIS FOR B99
SCALE 1:100

Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/23
A	FOR INFORMATION	SH	IN	20/03/22

Engineering Consultant
STRONGHOLD ENGINEERS
 Email: admin@sheng.com.au
 Ph: 02 6100 1148
 Suite 79 89-97 JONES STREET
 ULTIMO NSW 2007

Client
JACK ZHANG

Project
12 & 14 Gladys Ave, Frenchs Forest

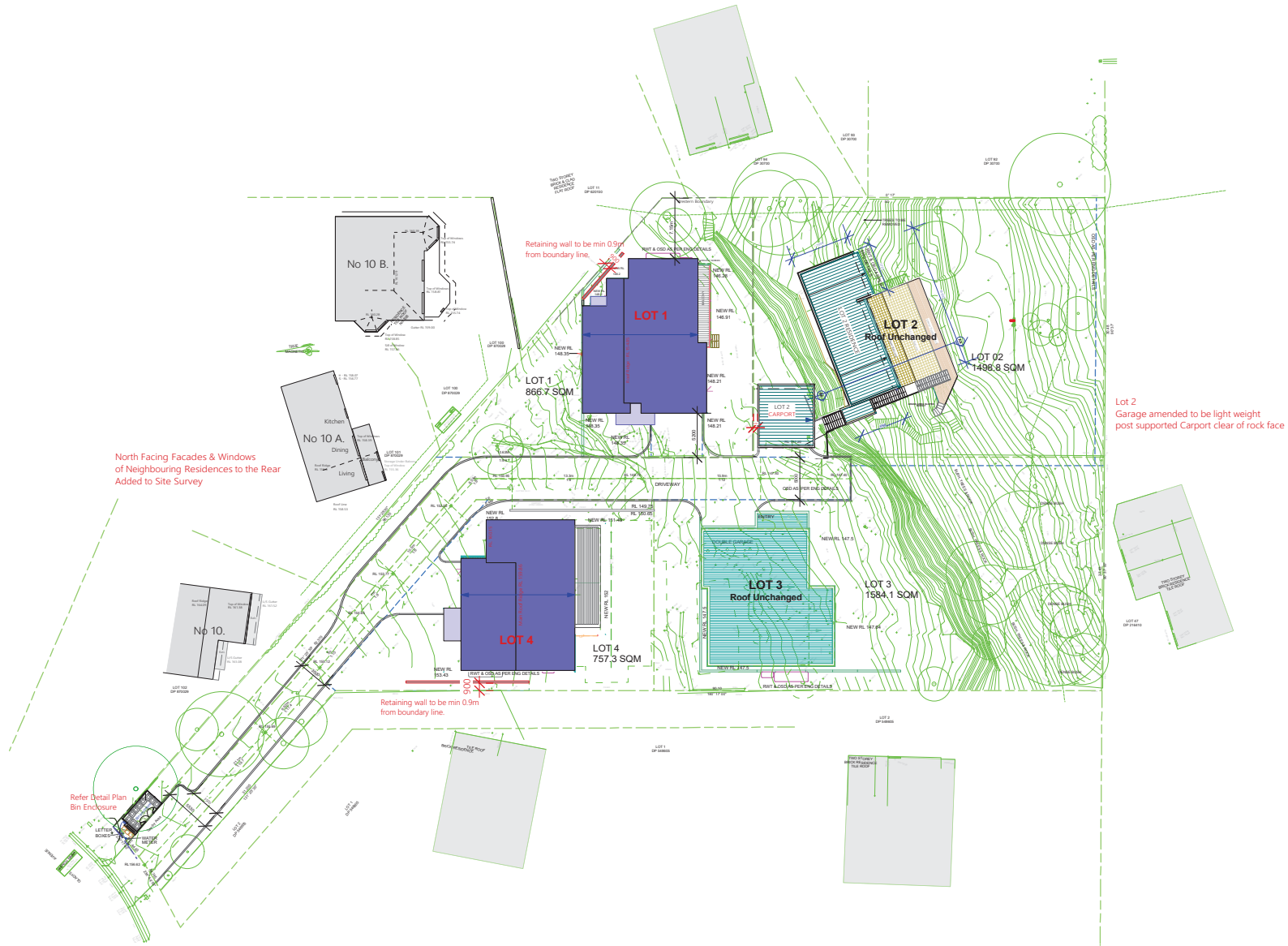
Drawing Title
TURNING PATH FOR B99

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Project Number SH20198	Drawing Number T09	Revision B
Engineer SH	Drawn IN	
Date MAR 2022	Scale 1:100 A1	

NOT FOR CONSTRUCTION



North Facing Facades & Windows of Neighbouring Residences to the Rear Added to Site Survey

Retaining wall to be min 0.9m from boundary line.

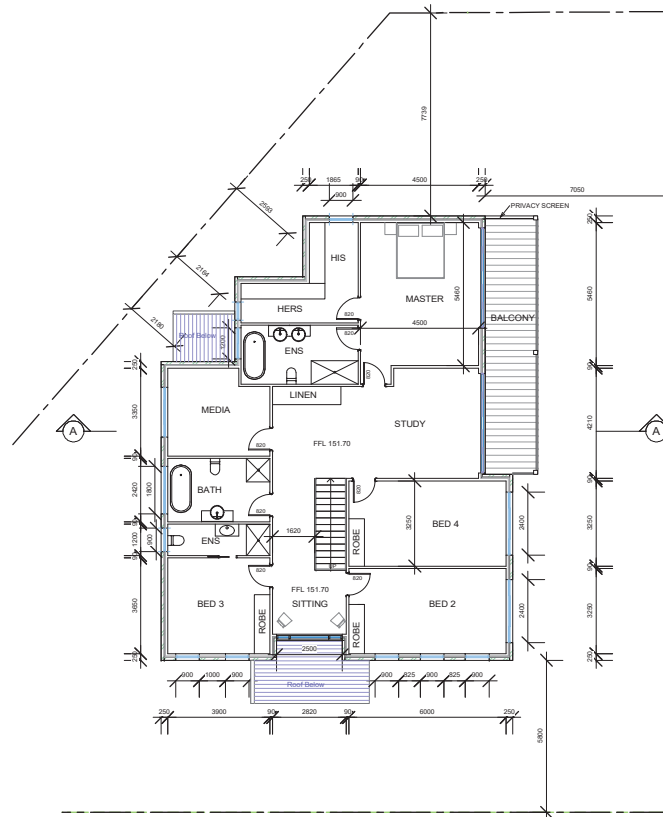
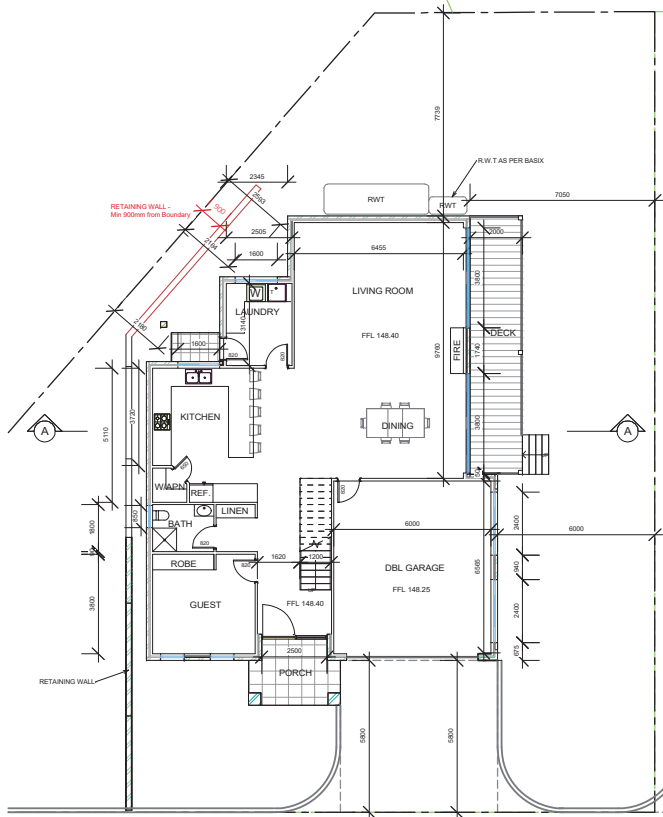
Retaining wall to be min 0.9m from boundary line.

Lot 2 Garage amended to be light weight post supported Carport clear of rock face

Refer Detail Plan Bin Enclosure

Site & Roof Plan

GENERAL NOTES All dimensions shall be confirmed on site by the builder/dominion. Any discrepancies must be reported to the Designer before commencement of any work. All dimensions shall be taken on the groundline, of bearings, elevation and areas shall be taken from the finished ground plane. A survey must be carried out to confirm the exact boundary location. The contractor shall ensure that all dimensions are taken in accordance with the site survey and the boundaries have been confirmed. The contractor is to ensure that the boundary markers are confirmed and that the boundary markers are not disturbed. The survey must be performed by a registered surveyor. In the event of any discrepancy on these drawings, specifications or subsequent instructions issued by the Designer, the contractor shall contact the Designer and ensure compliance with any such work. All construction, control joints and expansion joints in the wall, floor, other locations shall be in strict accordance with the Structural Engineering details. No joints to be made other than specified and ground anchors shall be removed from the drawings. Measurements must be taken on site to suit the work as constructed. All structural components shall be erected in accordance with the drawings and specifications as provided by a structural engineer. All existing structures shall be confirmed for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.		<table border="1"> <tr> <th>Item No.</th> <th>Rev.</th> <th>Description</th> </tr> <tr> <td>01</td> <td>1</td> <td>ISSUE FOR CLIENT</td> </tr> <tr> <td>02</td> <td>1</td> <td>REVISION</td> </tr> <tr> <td>03</td> <td>1</td> <td>ISSUE FOR PRE-DA</td> </tr> <tr> <td>04</td> <td>1</td> <td>ISSUE FOR DA</td> </tr> </table>	Item No.	Rev.	Description	01	1	ISSUE FOR CLIENT	02	1	REVISION	03	1	ISSUE FOR PRE-DA	04	1	ISSUE FOR DA	<table border="1"> <tr> <th>Item No.</th> <th>Rev.</th> <th>Description</th> </tr> <tr> <td>01</td> <td>1</td> <td>ISSUE FOR PRE-DA</td> </tr> <tr> <td>02</td> <td>1</td> <td>ISSUE FOR DA</td> </tr> </table>	Item No.	Rev.	Description	01	1	ISSUE FOR PRE-DA	02	1	ISSUE FOR DA	<table border="1"> <tr> <th>Item No.</th> <th>Rev.</th> <th>Description</th> </tr> <tr> <td>01</td> <td>1</td> <td>ISSUE FOR PRE-DA</td> </tr> <tr> <td>02</td> <td>1</td> <td>ISSUE FOR DA</td> </tr> </table>	Item No.	Rev.	Description	01	1	ISSUE FOR PRE-DA	02	1	ISSUE FOR DA	<table border="1"> <tr> <th>Item No.</th> <th>Rev.</th> <th>Description</th> </tr> <tr> <td>01</td> <td>1</td> <td>ISSUE FOR PRE-DA</td> </tr> <tr> <td>02</td> <td>1</td> <td>ISSUE FOR DA</td> </tr> </table>	Item No.	Rev.	Description	01	1	ISSUE FOR PRE-DA	02	1	ISSUE FOR DA
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PROJECT SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS. PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086		client JACK ZHANG		Project LOT 4 22-46 18/04/23 1 1:100 1:200		RDAA ACCREDITED BUILDING DESIGNER 67 Parkes Street, Parramatta NSW 2150 www.rkdesigns.com.au admin@rkdesigns.com.au 02 9533 4377 mob. 08 939 299 385 Name designed for:	RK DESIGNS																																								

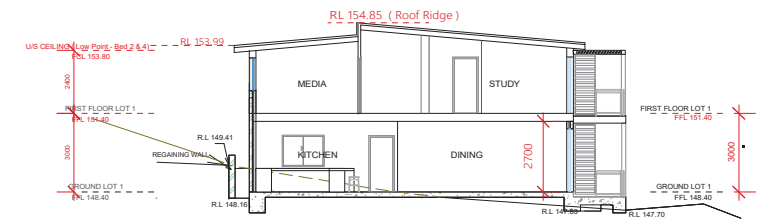


1 GROUND LOT 1

2 FIRST FLOOR LOT 1



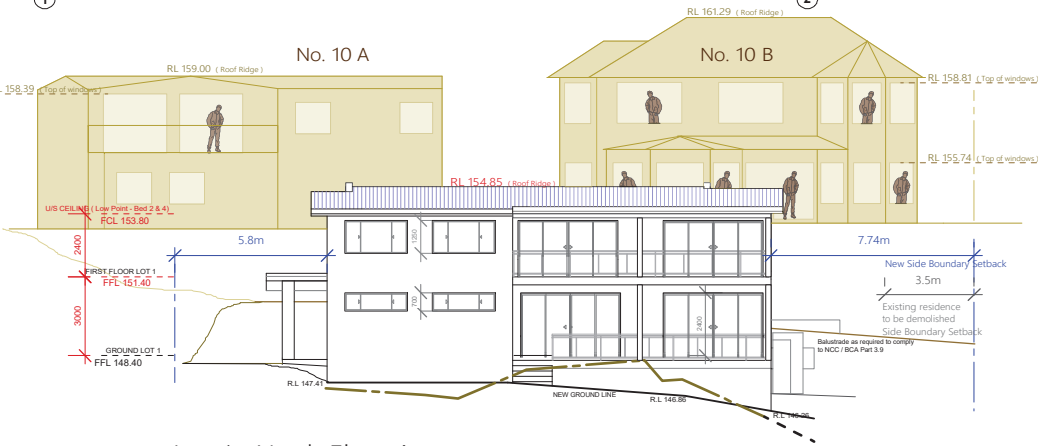
Lot 1 - West Elevation



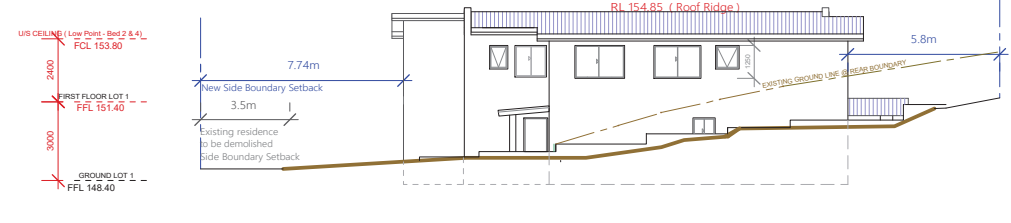
Lot 1 - Section A



Lot 1 - East Elevation



Lot 1 - North Elevation



Lot 1 - South Elevation
(Facing No 10 B & 10 A)

GENERAL NOTES
 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Designer before commencement of any work.
 No survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A survey must be carried out to confirm the exact boundary locations.
 The construction work shall conform with a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The survey must be performed by a registered surveyor. In the event of any discrepancy in these drawings, specifications or independent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.
 All construction control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.
 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.
 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

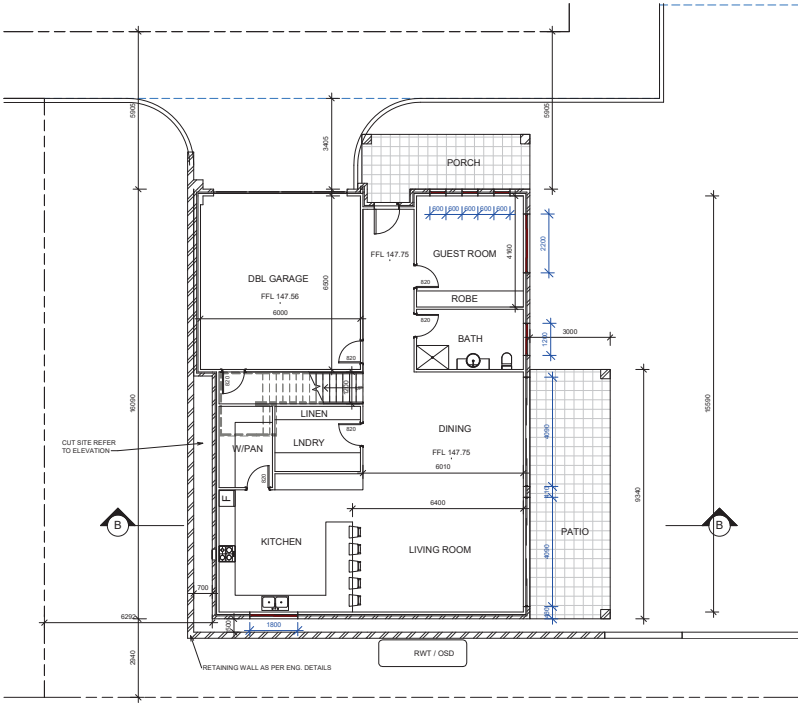
Drawn	Date	Issue	Amendment
EU	13/05/22	A	ISSUE FOR CLIENT
RK	18/05/22	B	REVISION 1
RK	30/06/22	C	ISSUE FOR PRE DA
RK	21/07/22	D	ISSUE FOR DA
DP	27/04/23	E	HEIGHT REDUCED - Upper Floor Lowered and Roof Form Altered By D3-Designed Architectural Solutions Pty Ltd

Project: SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS. PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086
 Client: JACK ZHANG

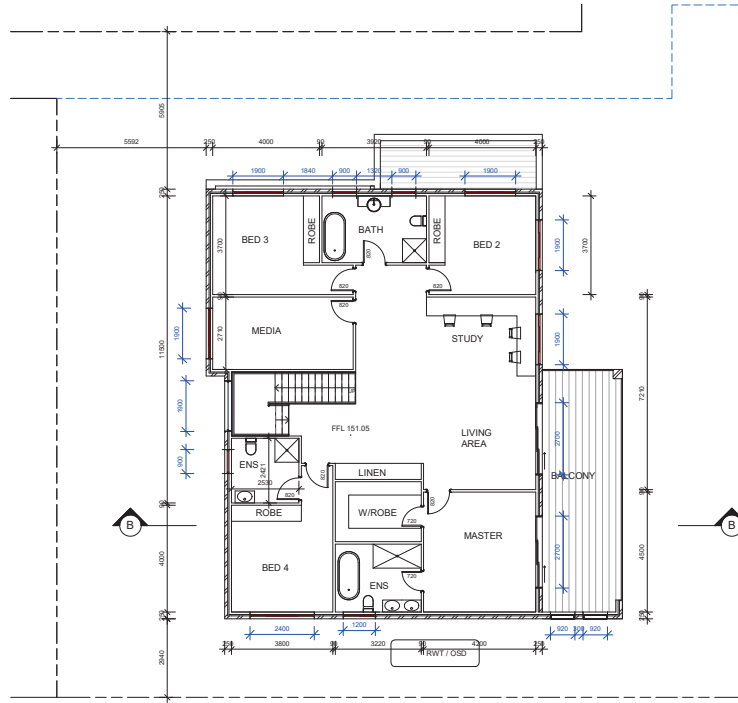
bdag
 ACCREDITED BUILDING DESIGNER
 67 Parkes Street, Parramatta NSW 2150
 www.bdag.com.au
 admin@bdag.com.au
 02 9633 4797
 abs: 68 699 200 388
 spaces designed for life

True north
 drawing LOT 1
 project no 180423
 sheet no 2
 scale @ A1 issue scale @ A1
 1:100 E 1:200

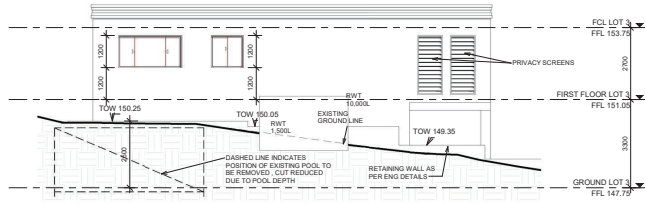
RK
 DESIGNS



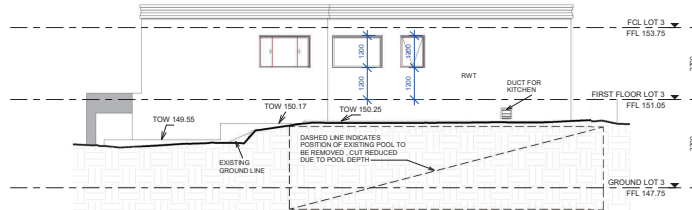
1 GROUND LOT 3
1 : 100



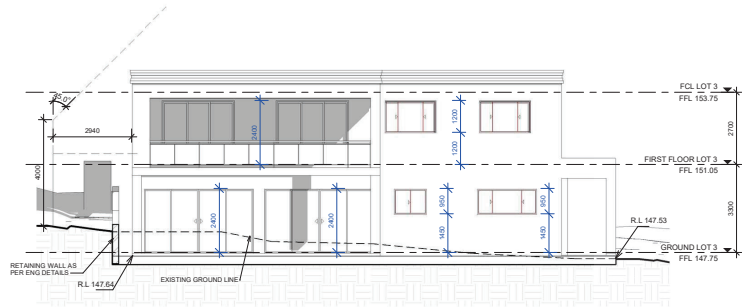
2 FIRST FLOOR LOT 3
1 : 100



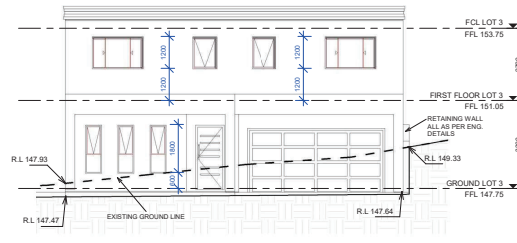
3 EAST ELEVATION L3
1 : 100



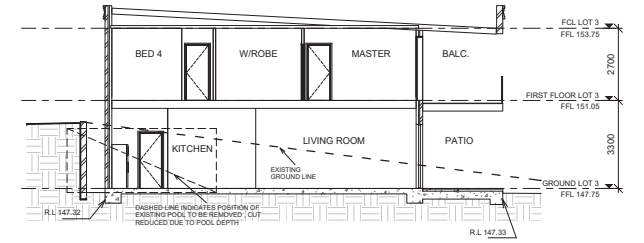
5 SOUTH ELEVATION L3
1 : 100



4 NORTH ELEVATION L3
1 : 100



6 WEST ELEVATION L3
1 : 100



7 SECTION B - B
1 : 100

GENERAL NOTES
 1. All dimensions shall be confirmed on site by the builder/contractor, and occupancies must be reported to the Designer before commencement of any work.
 2. All construction shall be in accordance with the Australian Standard for Building Construction and shall be subject to the Council's approval.
 3. It is the responsibility of the contractor to ensure that the site boundaries have been established and confirmed by the Council before commencement of any work.
 4. In the event of any discrepancy between the drawings and the site boundaries, the contractor shall be responsible for resolving the discrepancy.
 5. All construction shall be in accordance with the Australian Standard for Building Construction and shall be subject to the Council's approval.
 6. All construction shall be in accordance with the Australian Standard for Building Construction and shall be subject to the Council's approval.
 7. All construction shall be in accordance with the Australian Standard for Building Construction and shall be subject to the Council's approval.

REV	DATE	BY	DESCRIPTION
01	13/05/22	A	ISSUE FOR CLIENT
02	13/05/22	B	REVISIONS
03	13/05/22	C	ISSUE FOR THE DA
04	13/05/22	D	ISSUE FOR DA

PROJECT:
 SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

CLIENT:
 JACK ZHANG

DATE:
 13/05/22

SCALE:
 1 : 100

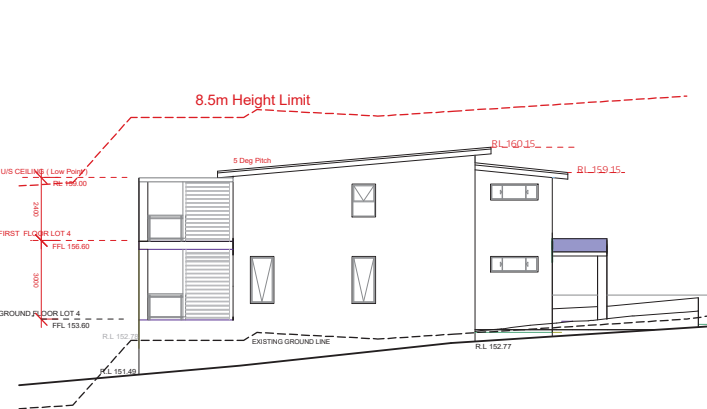
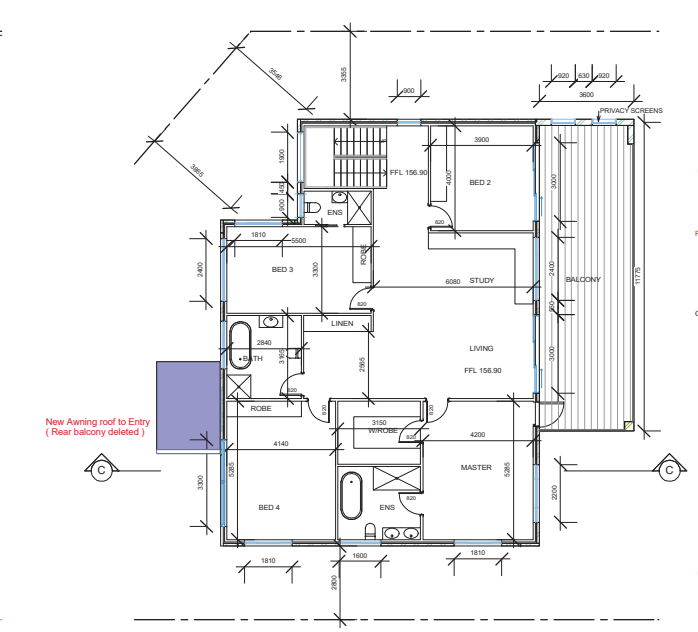
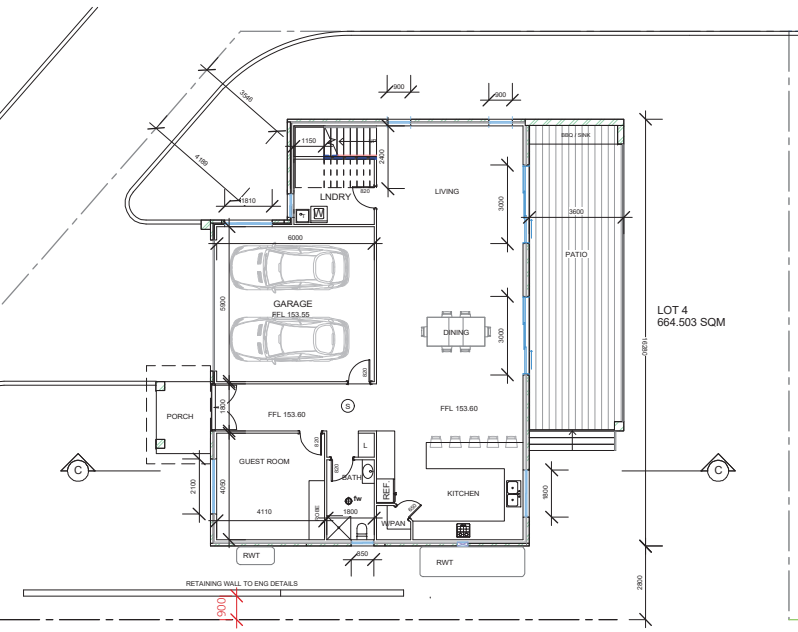
PROJECT NO.:
 03/05/22

ISSUE NO.:
 3

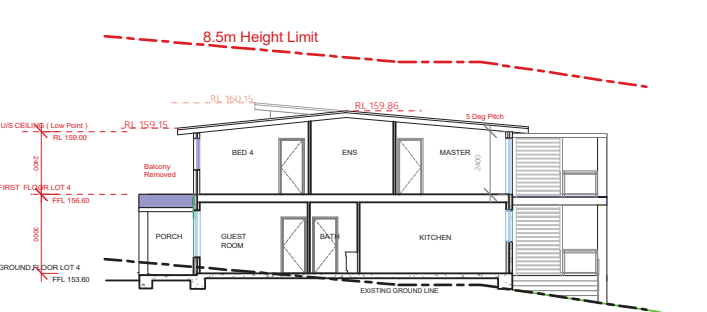
bdaa
 A.C.C.R.E.D.I.T.E.D.
 BUILDING DESIGNER

RK DESIGNS

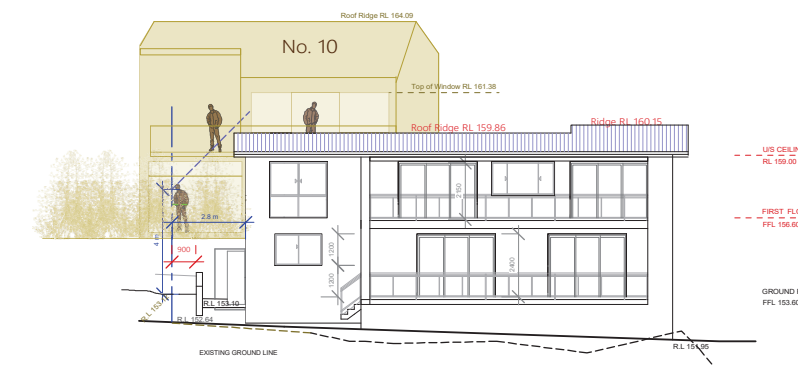




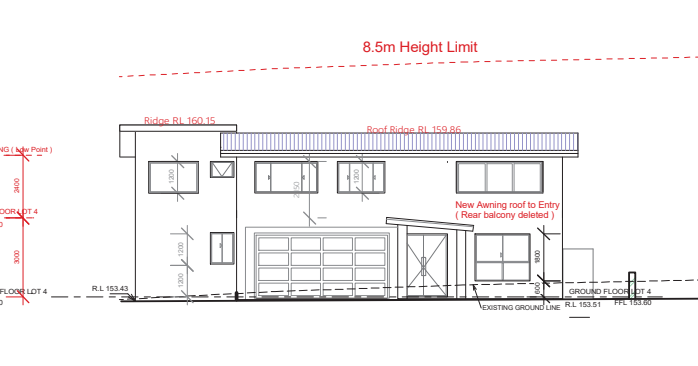
Lot 4 - West Elevation



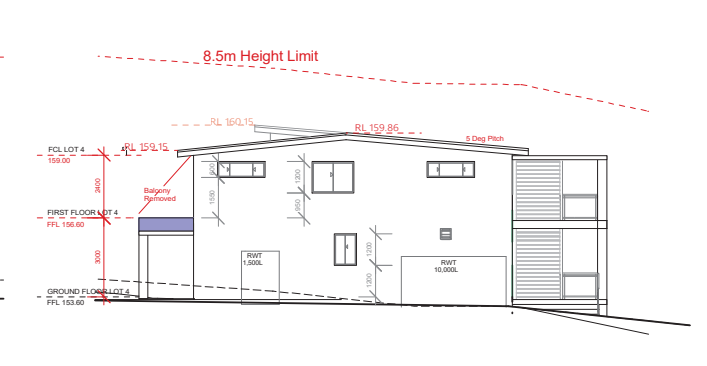
Lot 4 - Section A



Lot 4 - North Elevation



Lot 4 - South Elevation



Lot 4 - East Elevation
Main Roof Lowered by 1.85m

GENERAL NOTES

All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Designer before commencement of any work.

No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.

The construction work shall commence only after a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used. The boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor. In the event of encountering any discrepancies of these drawings, specifications or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.

All construction control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.

Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.

All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

Drawn	Date	Issue	Amendment
EU	18/05/22	A	ISSUE FOR CLIENT
RK	18/05/22	B	REVISION E
RK	20/06/22	C	ISSUE FOR PRE DA
RK	21/07/22	D	ISSUE FOR DA
DP	27/04/23	E	HEIGHT REDUCED - Upper Floor Lowered and Roof Form Altered - Rear balcony removed
			By DK Signed Architectural Solutions Pty Ltd

project
SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.
PROP.CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

client
JACK ZHANG

67 Parkes Street,
Parramatta NSW 2150
www.rkdesigns.com.au
admin@rkdesigns.com.au
02 9333 4797
abs_68.659.000.389
spaces designed for life

bdag
ACCREDITED
BUILDING DESIGNER

drawing
LOT 4

project no
22-46

date
18/04/23

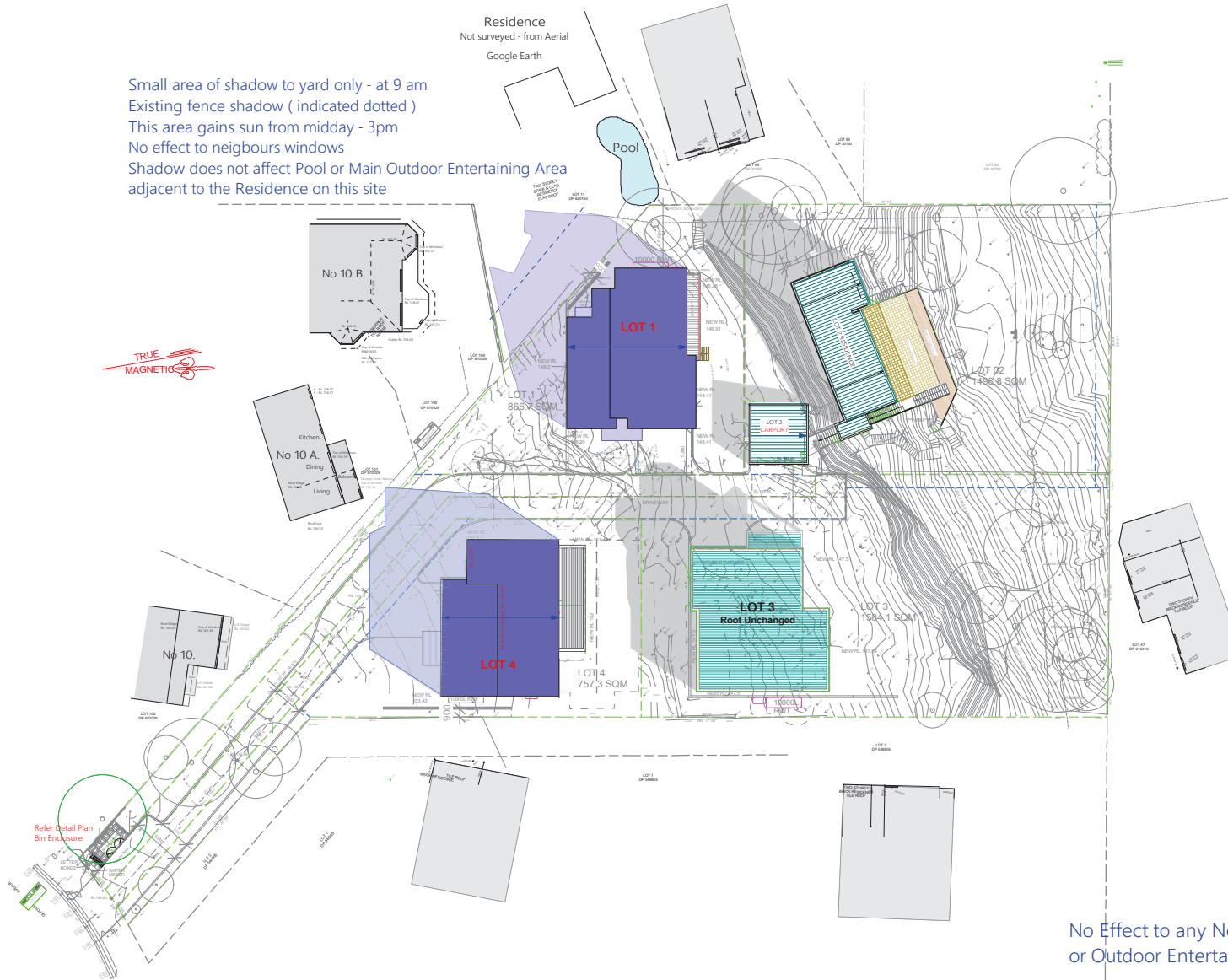
sheet no
2

scale
@ A1

issue/revision
E | 1-206

RK
DESIGNS

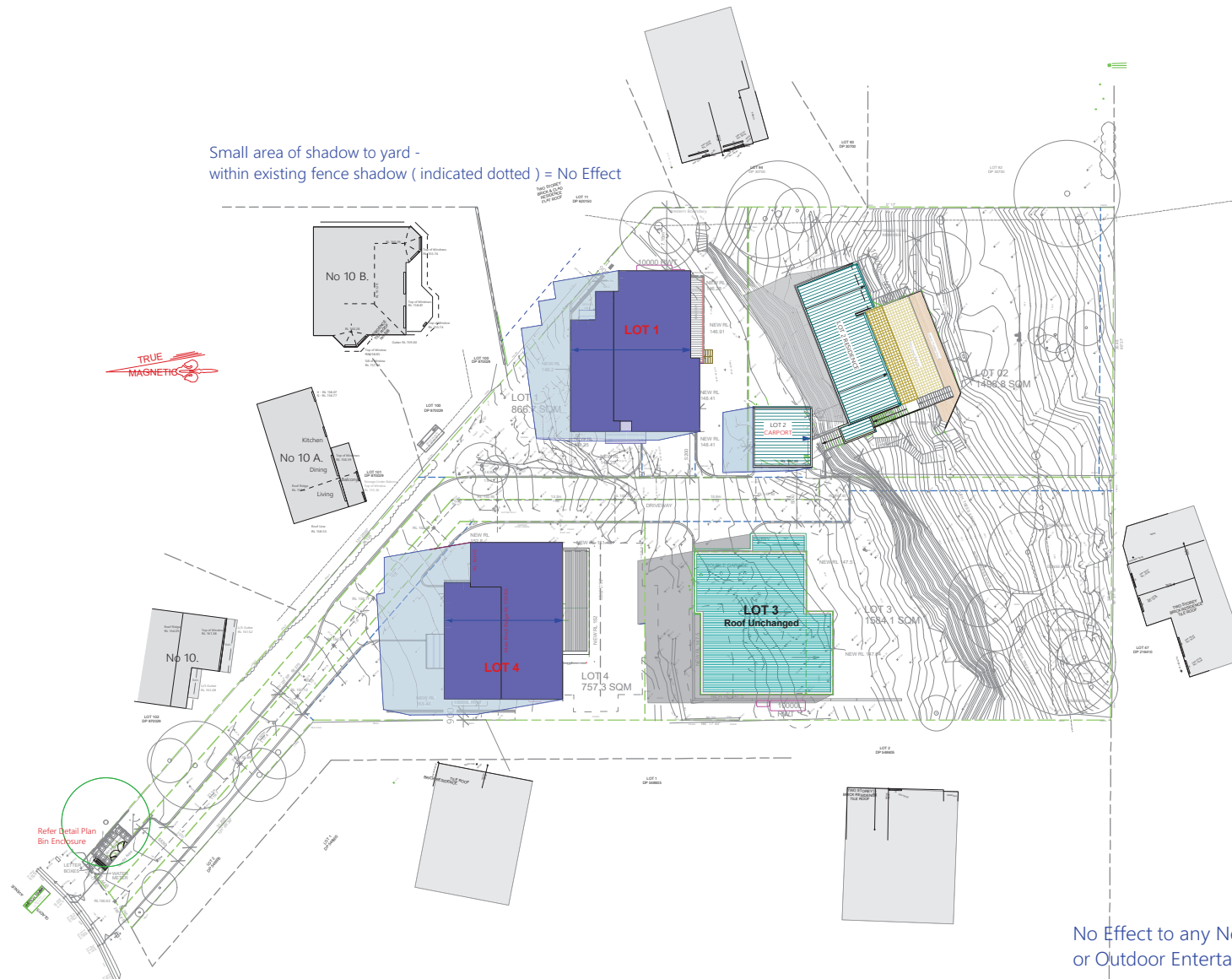
Small area of shadow to yard only - at 9 am
 Existing fence shadow (indicated dotted)
 This area gains sun from midday - 3pm
 No effect to neighbours windows
 Shadow does not affect Pool or Main Outdoor Entertaining Area adjacent to the Residence on this site



No Effect to any Neighbour's Windows or Outdoor Entertaining Areas

9 am - Winter Solstice
 Shadow Diagram

<p>GENERAL NOTES</p> <p>1. All dimensions shall be confirmed on site by the builder/dominic. Any discrepancies must be reported to the Designer before commencement of any work.</p> <p>2. All dimensions shall be taken on the groundline, at bearing, elevation and area. Work shall be done to the finished ground plane. A survey must be conducted to confirm the exact boundary location.</p> <p>3. The contractor shall ensure that all dimensions are taken to the finished ground plane. The contractor shall ensure that all dimensions are taken to the finished ground plane.</p> <p>4. In the event of any discrepancy in these drawings, specifications or subsequent instructions issued by the Designer, the contractor shall contact the Designer immediately.</p> <p>5. All construction, control joints and expansion joints in the wall, floor, other locations shall be in strict accordance with the Structural Engineering details. No joints shall be made other than specified, and ground anchors shall be installed in accordance with the Designer's details.</p> <p>6. All construction shall be in strict accordance with the Designer's details. All construction shall be in strict accordance with the Designer's details.</p> <p>7. All construction shall be in strict accordance with the Designer's details. All construction shall be in strict accordance with the Designer's details.</p> <p>8. All construction shall be in strict accordance with the Designer's details. All construction shall be in strict accordance with the Designer's details.</p>		<p>Project: SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS, PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086</p> <p>Client: JACK ZHANG</p>	
<p>Issue No. 1</p> <p>Date: 18/04/23</p> <p>Scale: 1:100</p> <p>Sheet No. 1 of 2</p>	<p>Issue No. 1</p> <p>Date: 18/04/23</p> <p>Scale: 1:100</p> <p>Sheet No. 1 of 2</p>	<p>Issue No. 1</p> <p>Date: 18/04/23</p> <p>Scale: 1:100</p> <p>Sheet No. 1 of 2</p>	<p>Issue No. 1</p> <p>Date: 18/04/23</p> <p>Scale: 1:100</p> <p>Sheet No. 1 of 2</p>

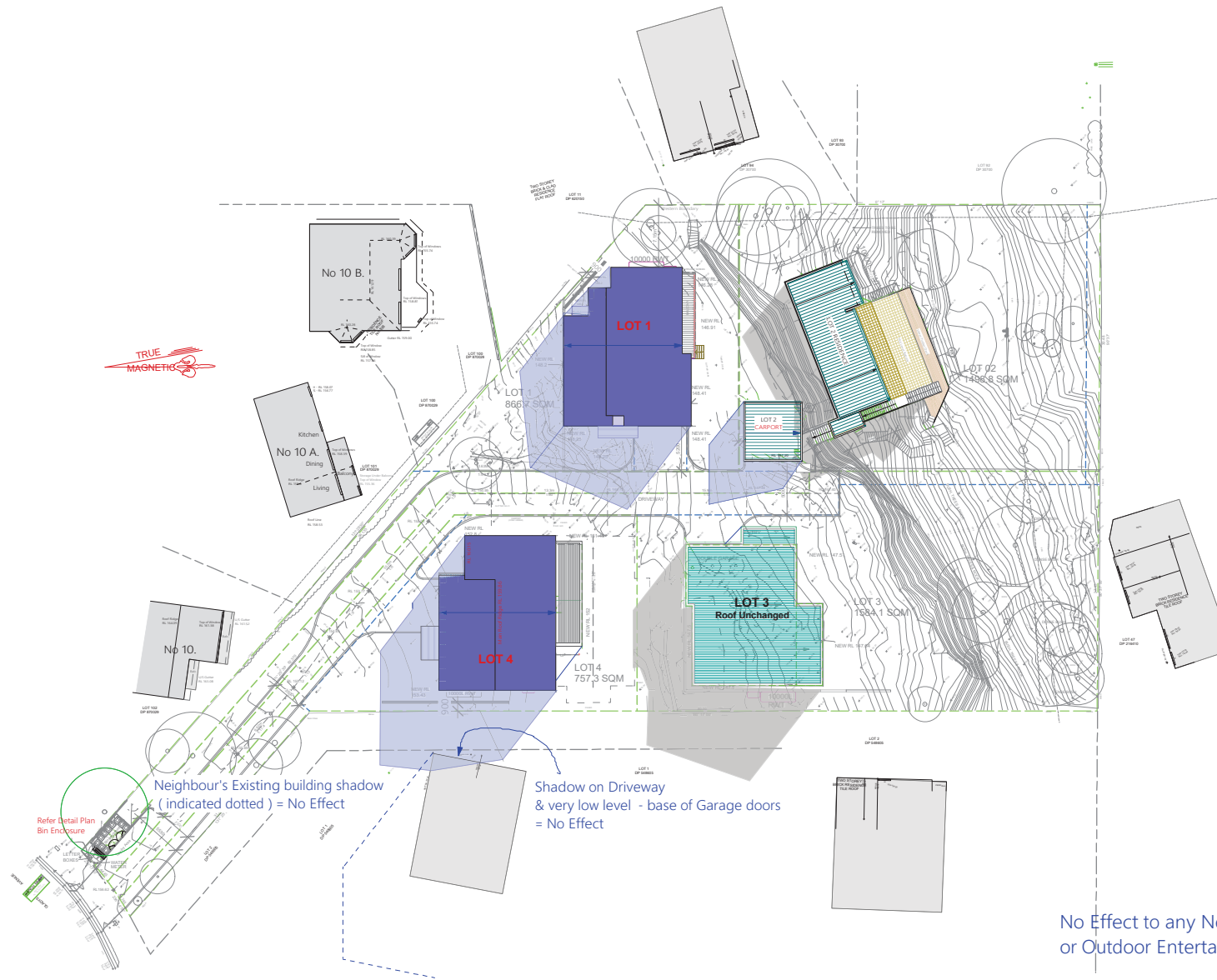


Small area of shadow to yard -
within existing fence shadow (indicated dotted) = No Effect

No Effect to any Neighbour's Windows
or Outdoor Entertaining Areas

12 Noon - Winter Solstice
Shadow Diagram

GENERAL NOTES				REVISIONS				PROJECT				CLIENT																							
<p>1. All dimensions shall be confirmed on site by the builder/contractor. Any discrepancies must be reported to the Designer before commencement of any work.</p> <p>2. All dimensions shall be taken on the groundline, at bearings, elevation and areas that have been shown to be correct on any plan. A survey must be conducted to confirm the exact boundary location.</p> <p>3. No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary works are confirmed and that the boundary reflects the groundline, not at other elevations. The survey must be performed by registered surveyors. It is the responsibility of the contractor to ensure that the boundary works are confirmed and that the boundary reflects the groundline, not at other elevations. The survey must be performed by registered surveyors.</p> <p>4. All construction, construction and erection shall be in strict accordance with the Structural Engineering details. No joints or breaks shall be made other than specified, and ground anchors shall be installed in accordance with the details.</p> <p>5. All construction shall be in strict accordance with the details. The contractor shall ensure that the construction is in strict accordance with the details.</p> <p>6. All construction shall be in strict accordance with the details. The contractor shall ensure that the construction is in strict accordance with the details.</p>				<table border="1"> <thead> <tr> <th>Rev</th> <th>Date</th> <th>By</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>15/05/22</td> <td>JZ</td> <td>ISSUE FOR CLIENT</td> </tr> <tr> <td>2</td> <td>16/05/22</td> <td>JZ</td> <td>REVISION</td> </tr> <tr> <td>3</td> <td>16/05/22</td> <td>JZ</td> <td>ISSUE FOR PRE DA</td> </tr> <tr> <td>4</td> <td>16/05/22</td> <td>JZ</td> <td>ISSUE FOR DA</td> </tr> </tbody> </table>				Rev	Date	By	Description	1	15/05/22	JZ	ISSUE FOR CLIENT	2	16/05/22	JZ	REVISION	3	16/05/22	JZ	ISSUE FOR PRE DA	4	16/05/22	JZ	ISSUE FOR DA	<p>SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS. PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086</p>				<p>12 Noon - Winter Solstice Shadow Diagram</p>			
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<p>7/07/2022</p>				<p>1. LOT 1 & 2 - LIGHT FIXTURES</p> <p>2. LOT 3 - LIGHT FIXTURES</p> <p>3. LOT 4 - LIGHT FIXTURES</p>				<p>Jack Zhang</p>				<p>12 Noon - Winter Solstice Shadow Diagram</p>																							
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No Effect to any Neighbour's Windows or Outdoor Entertaining Areas

3 pm - Winter Solstice
Shadow Diagram

GENERAL NOTES All dimensions shall be confirmed on site by the builder/contractor. Any discrepancies must be reported to the Designer before commencement of any work. All dimensions shall be confirmed on the boundaries, of bearings, distances and areas. Areas shall be shown on the site plan. A survey must be carried out to confirm the exact boundary location. The contractor shall ensure that all dimensions used in site survey conforming the site boundaries has been completed. The contractor to ensure that the boundary dimensions are confirmed and that the boundary controls have been established, prior to site commencement. The survey must be performed by registered surveyors. It is the responsibility of the contractor to ensure that the boundaries are correct. The contractor shall ensure that the boundaries are correct. The contractor shall ensure that the boundaries are correct.		REVISIONS No. Date Description 01 15/04/23 ISSUE FOR PERMITS 02 15/04/23 REVISION 03 15/04/23 ISSUE FOR PERMITS 04 15/04/23 ISSUE FOR PERMITS		PROJECT SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS. PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086		CLIENT JACK ZHANG	
DESIGNER ARCHITECTURAL SOLUTIONS PTY LTD 15/04/23		DATE 15/04/23		SCALE 1:100		PROJECT NO. 22-46	
PROJECT NO. 22-46		DATE 15/04/23		SCALE 1:100		PROJECT NO. 22-46	

Architectural Solutions Pty Ltd
 15/04/23
 1:100
 22-46

Liana Prowse
 Di-Signed
 Architectural Solutions
 Reg 5740
 PO Box 408 Roseville, NSW 2089
 Email: liana@architecturalsolutions.com.au
 Mob 0414 931 018

15/04/23
 1:100
 22-46

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
 CONSTRUCTION OF 2 STOREY DWELLING AT LOT 1, 12-14 GLADYS AVENUE, FRENCHS FOREST,
 NSW, 2086**

EXTERNAL WALLS

Finish	Paint Finish
Manufacturer	Dulux
Colour	Puppy



ROOF

Type	Pitched Roof
Manufacturer	Tiles
Colour	Monier concrete
Finish	Caraway



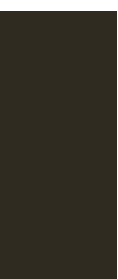
GUTTERS, DOWNPIPES AND FASCIA

Colour	Paint Finish
Finish	Dulux
Colour	Dark Metal



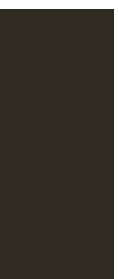
ALUMINIUM FRAME WINDOWS & SLIDING DOOR

Finish	Paint Finish
Paint manufacturer	Dulux
Colour	Dark Metal



POST AND RAILING

Finish	Paint Finish
Manufacturer	Dulux
Colour	Dark Metal





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1/08/2022

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
 CONSTRUCTION OF 2 STOREY DWELLING AT LOT 3, 12-14 GLADYS AVENUE, FRENCHS FOREST,
 NSW, 2086**

EXTERNAL WALLS

Finish	Paint Finish
Manufacturer	Dulux
Colour	Charter Grey



ROOF

Type	Flat roof
Manufacturer	Colorbond
Colour	Babylon
Finish	Metal



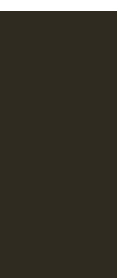
GUTTERS, DOWNPIPES AND FASCIA

Colour	Paint Finish
Finish	Dulux
Colour	Dark Metal



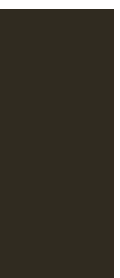
ALUMINIUM FRAME WINDOWS & SLIDING DOOR

Finish	Paint Finish
Paint manufacturer	Dulux
Colour	Dark Metal



POST AND RAILING

Finish	Paint Finish
Manufacturer	Dulux
Colour	Dark Metal



spaces designed for life

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
 CONSTRUCTION OF 2 STOREY DWELLING AT LOT 4, 12-14 GLADYS AVENUE, FRENCHS FOREST,
 NSW, 2086**

EXTERNAL WALLS

Finish	Paint Finish
Manufacturer	Dulux
Colour	Subdue

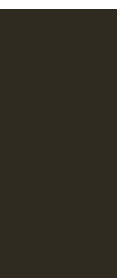


ROOF	
Type	Pitched Roof
Manufacturer	Tiles
Colour	Monier concrete
Finish	Babylon



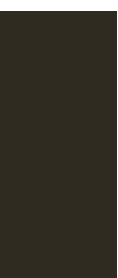
GUTTERS, DOWNPIPES AND FASCIA

Colour	Paint Finish
Finish	Dulux
Colour	Dark Metal



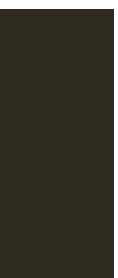
ALUMINIUM FRAME WINDOWS & SLIDING DOOR

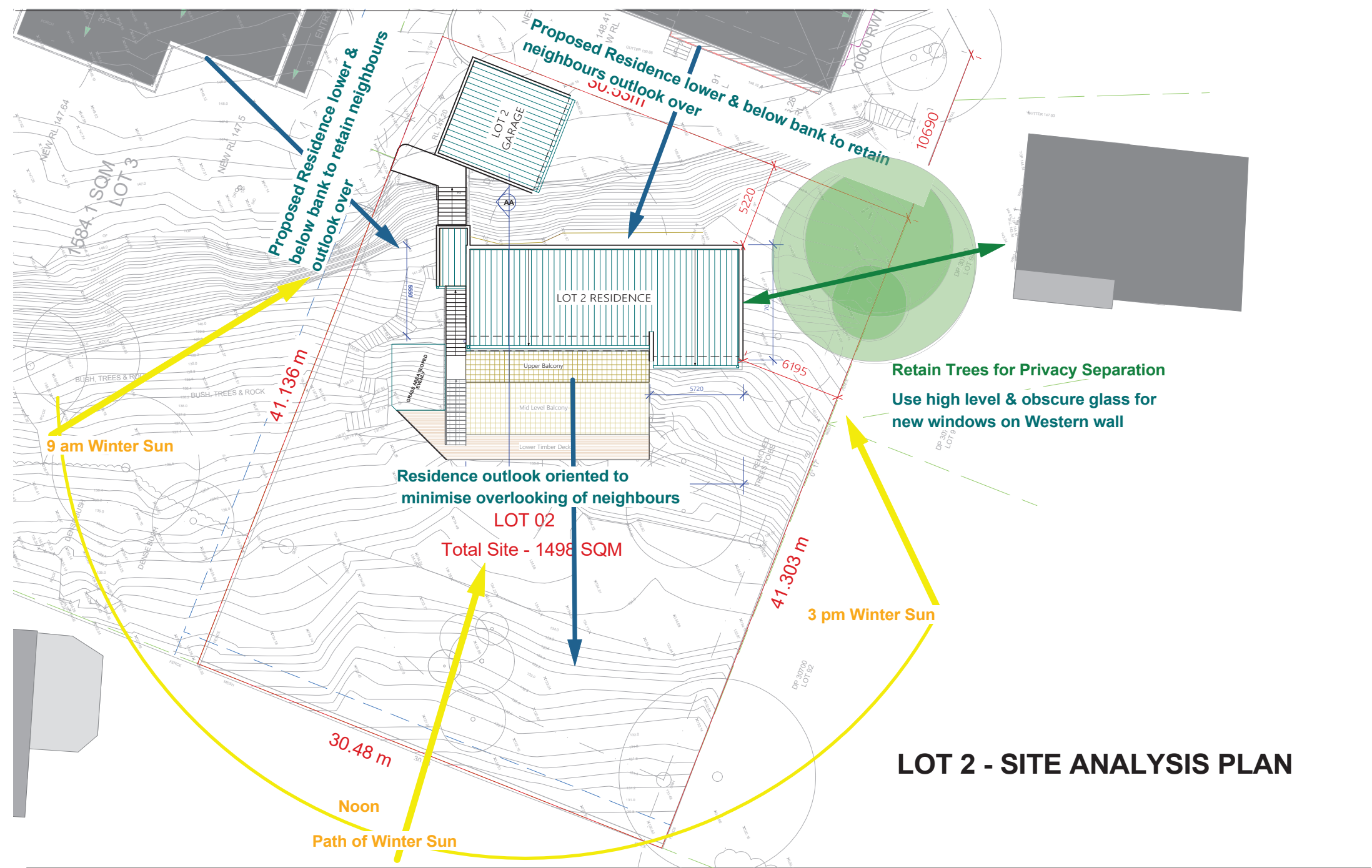
Finish	Paint Finish
Paint manufacturer	Dulux
Colour	Dark Metal



POST AND RAILING

Finish	Paint Finish
Manufacturer	Dulux
Colour	Dark Metal





LOT 2 - SITE ANALYSIS PLAN



NKP ARCHITECTURE
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 SYDNEY NSW 2209
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 W: nkparchitecture.com.au

CLIENT:
MR JACK ZHANG

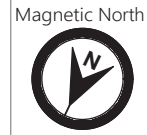
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**No. 12-14 GLADYS AVENUE,
 FRENCHS FOREST NSW 2030**

REVISION HISTORY:		
DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

GENERAL NOTES:

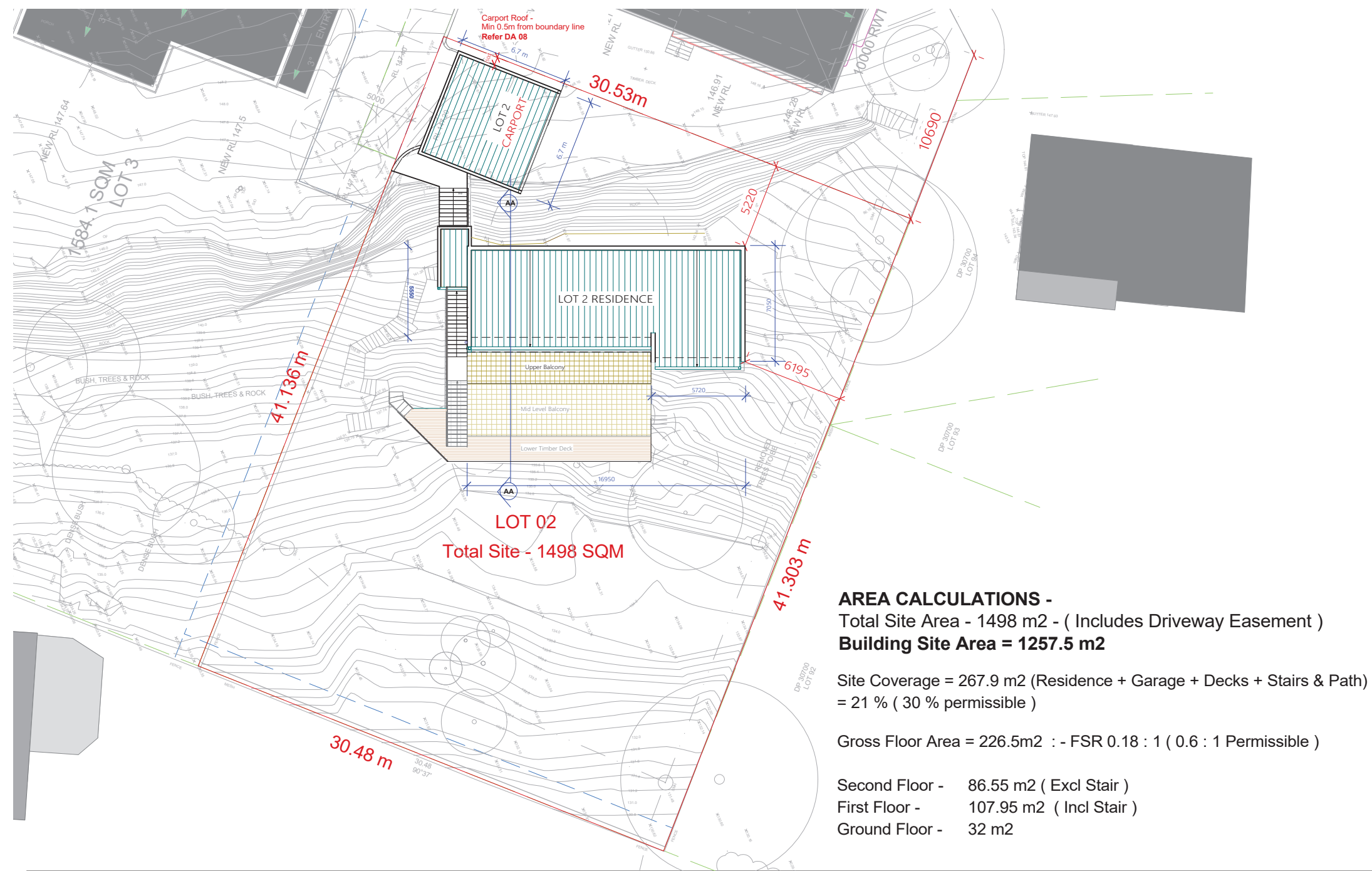
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DRAWING:
LOT 2 - SITE ANALYSIS PLAN



SCALE:
 1: 200 @ A3

DRAWING NO.
DA 00



LOT 02
Total Site - 1498 SQM

AREA CALCULATIONS -

Total Site Area - 1498 m² - (Includes Driveway Easement)

Building Site Area = 1257.5 m²

Site Coverage = 267.9 m² (Residence + Garage + Decks + Stairs & Path)
 = 21 % (30 % permissible)

Gross Floor Area = 226.5m² :- FSR 0.18 : 1 (0.6 : 1 Permissible)

- Second Floor - 86.55 m² (Excl Stair)
- First Floor - 107.95 m² (Incl Stair)
- Ground Floor - 32 m²



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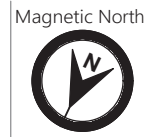
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15 Aug.22	Issued for DA	B
27 April 23	Garage deleted for Carport	C

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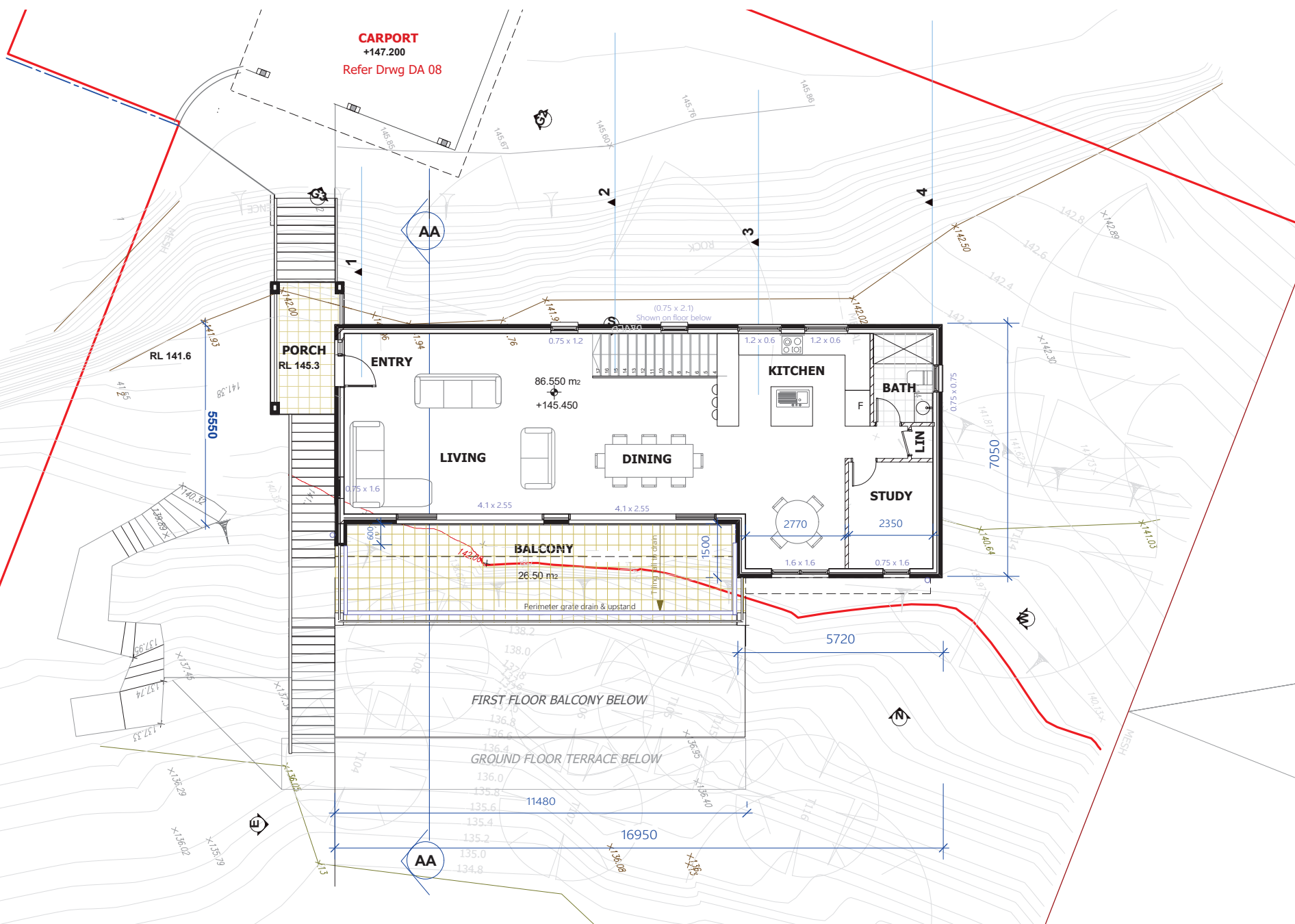
DRAWING:
LOT 2 - PROPOSED SITE & ROOF PLAN





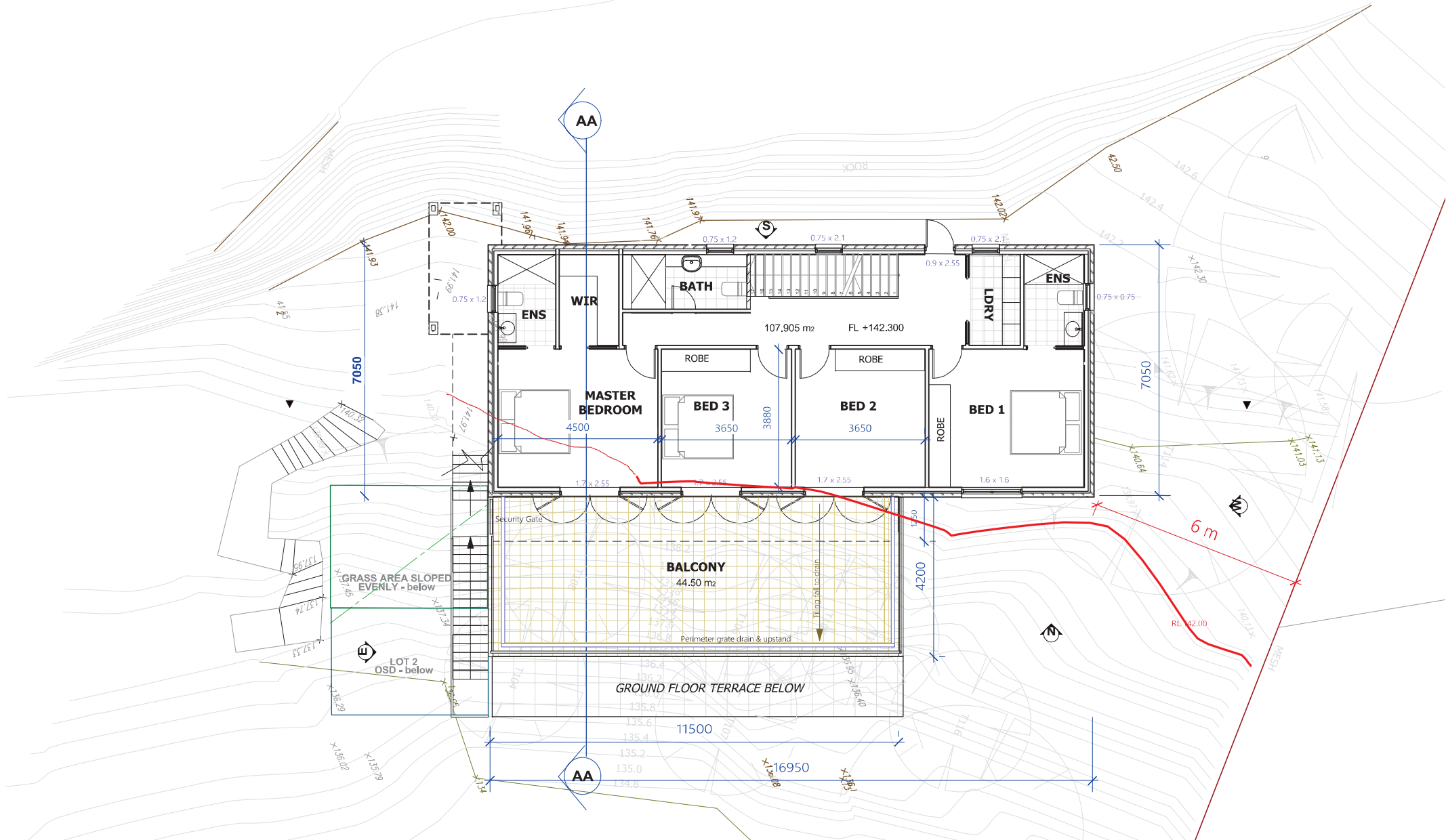
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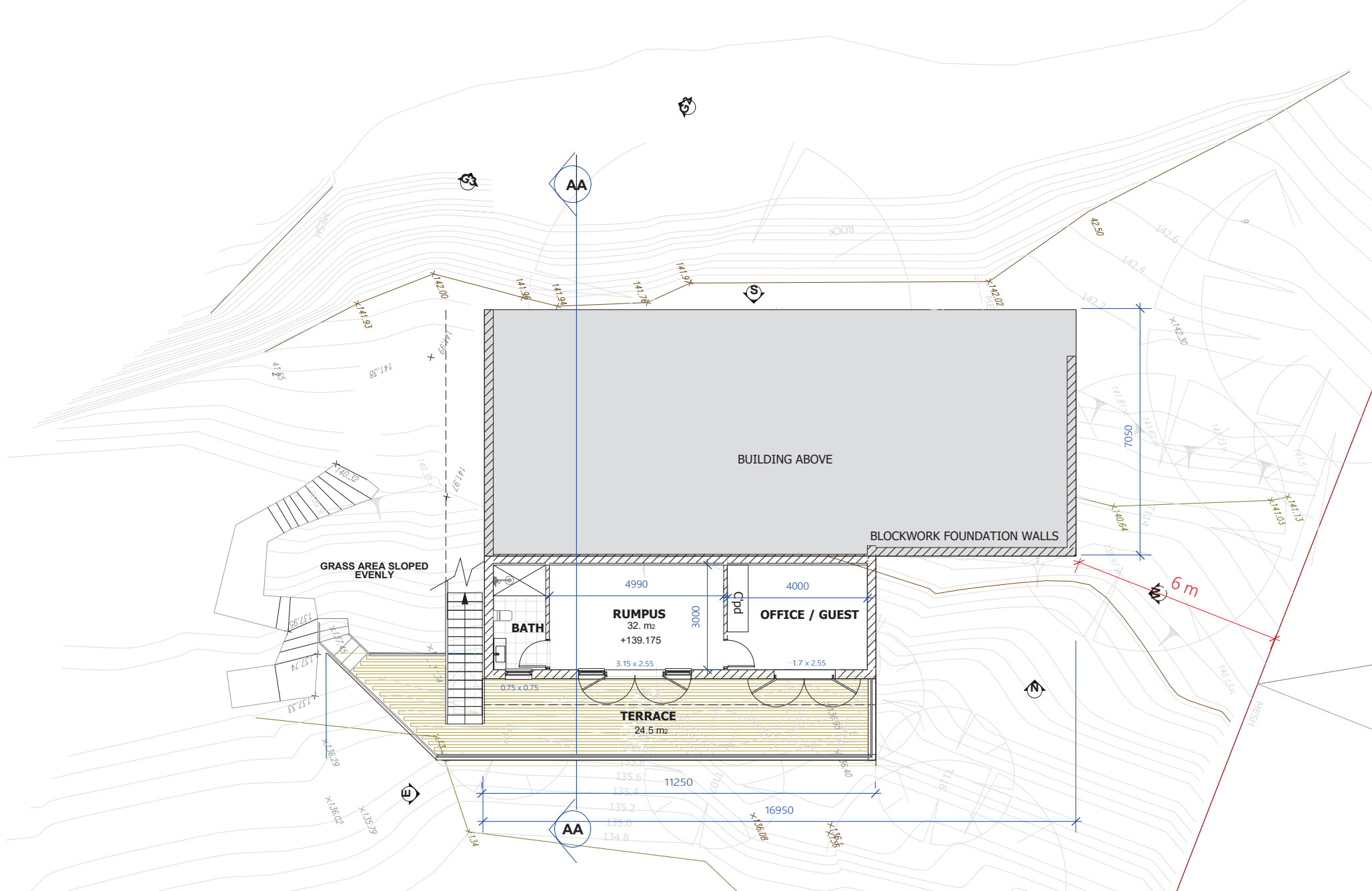
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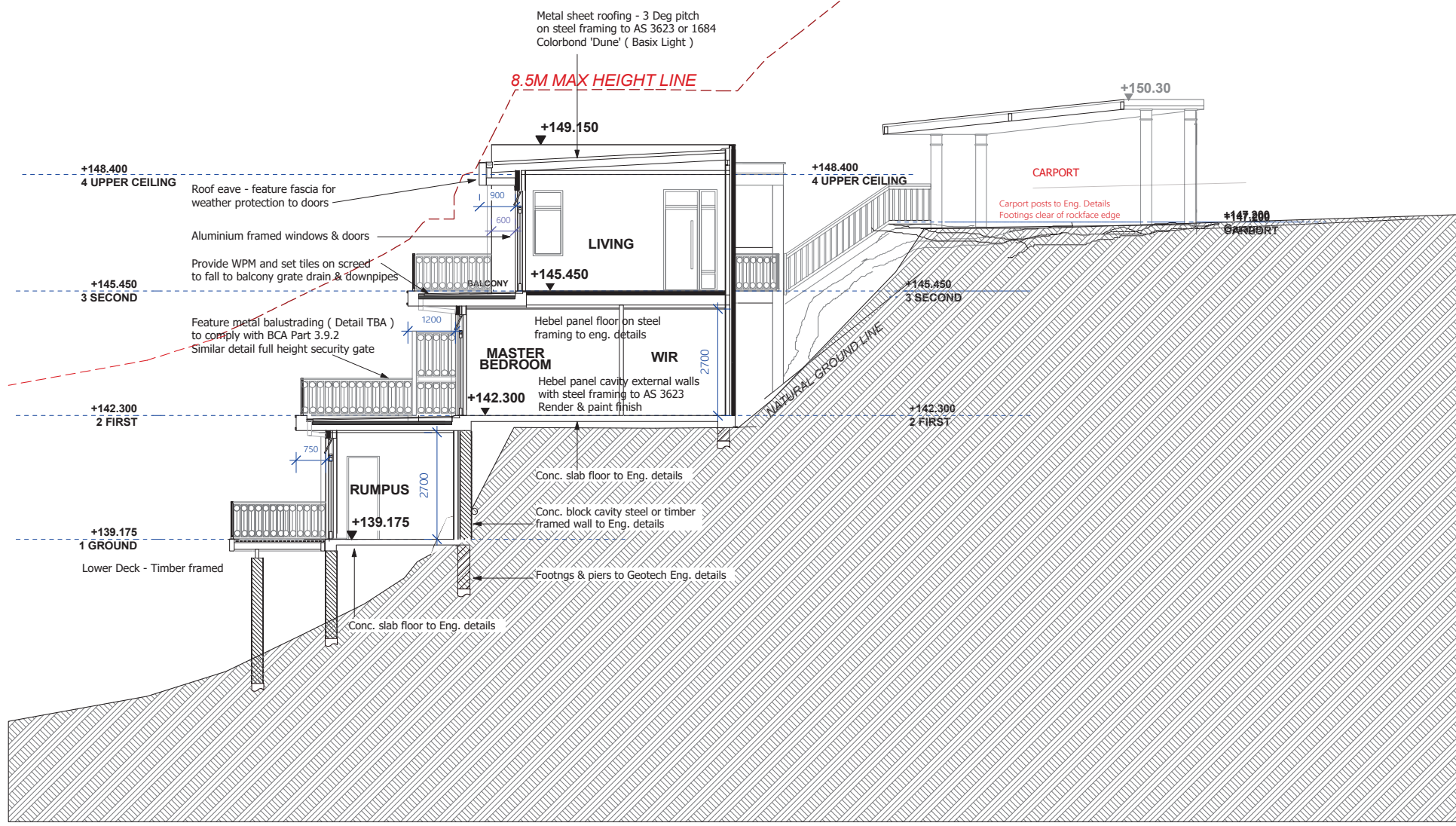
 <p>NKP ARCHITECTURE NSW ARB No. 10425 BEVERLY HILLS SYDNEY NSW 2209 M: 04 2072 5400 E: neil@nkparchitecture.com.au W: nkparchitecture.com.au</p>	<p>CLIENT: MR JACK ZHANG</p> <p>PROJECT ADDRESS: No. 12-14 GLADYS AVENUE, FRENCHS FOREST NSW 2030</p>	<p>REVISION HISTORY:</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>COMMENT</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>16.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>23.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>30.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>15 Aug 22</td> <td>Issued for DA</td> <td>B</td> </tr> <tr> <td>27 April 23</td> <td>Garage deleted for Carport</td> <td>C</td> </tr> </tbody> </table>	DATE	COMMENT	REV.	16.03.22	FOR CONSULTANTS	A	23.03.22	FOR CONSULTANTS	A	30.03.22	FOR CONSULTANTS	A	15 Aug 22	Issued for DA	B	27 April 23	Garage deleted for Carport	C	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> These plans are subject copyright and must not be used copied or reproduced without the authority of the designer The Builder is to verify dimensions prior to commencement If any discrepancies arise they are to be reported to the designer prior to the commencement of the works Do not scale, figured dimensions Is not shown or is required consult with the designer Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer 	<p>DRAWING: LOT 2 - PROPOSED SECOND FLOOR PLAN</p>	<p>NORTH</p> 	<p>SCALE: 1:100 @ A3</p> <p>DRAWING NO. DA 02</p>
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PROJECT ADDRESS:
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 FRENCHS FOREST NSW 2030**

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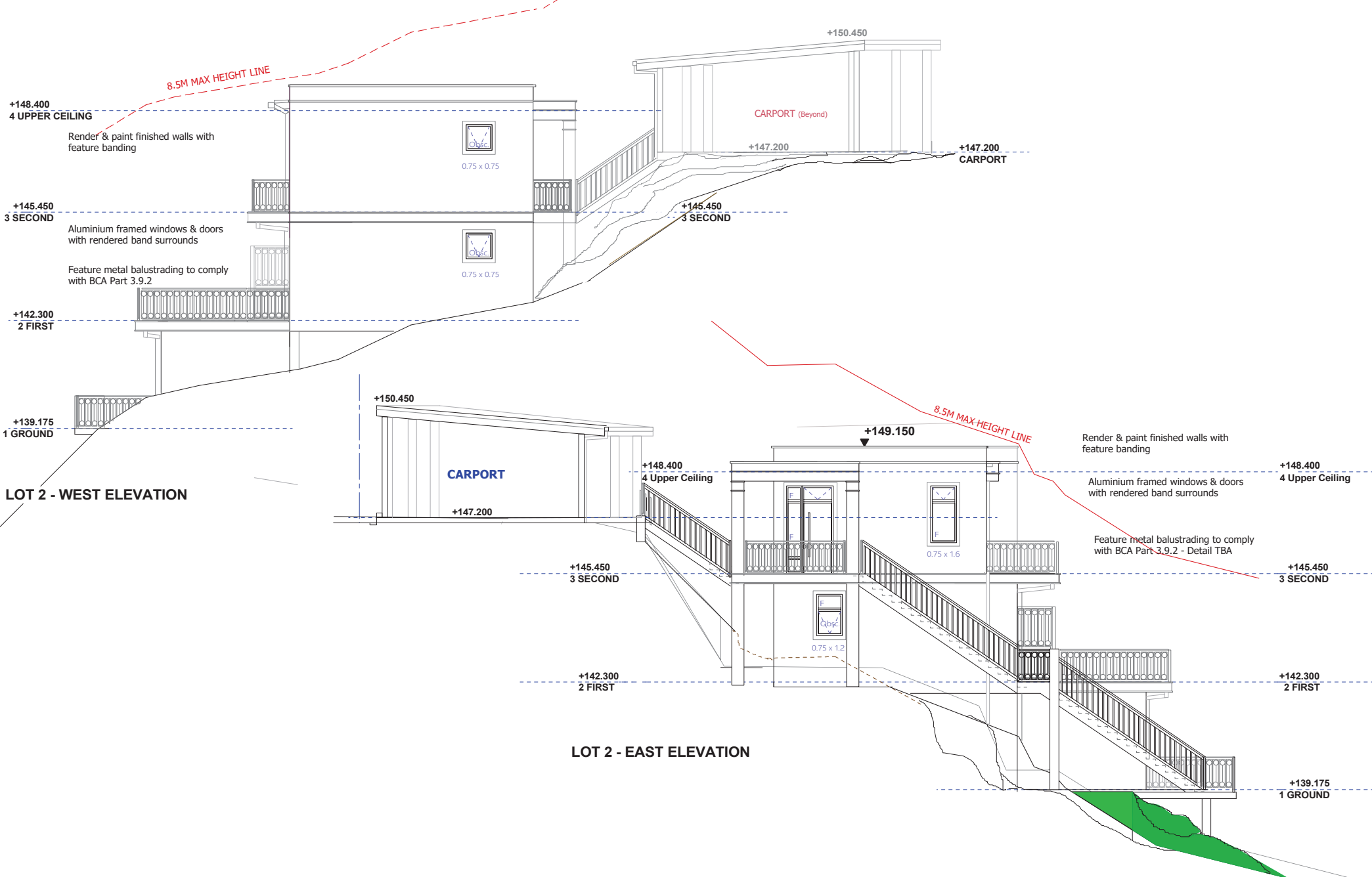
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DRAWING:
LOT 2 - PROPOSED SECTION A-A

SCALE:
1:100 @ A3

DRAWING NO.
DA 05



LOT 2 - WEST ELEVATION

LOT 2 - EAST ELEVATION



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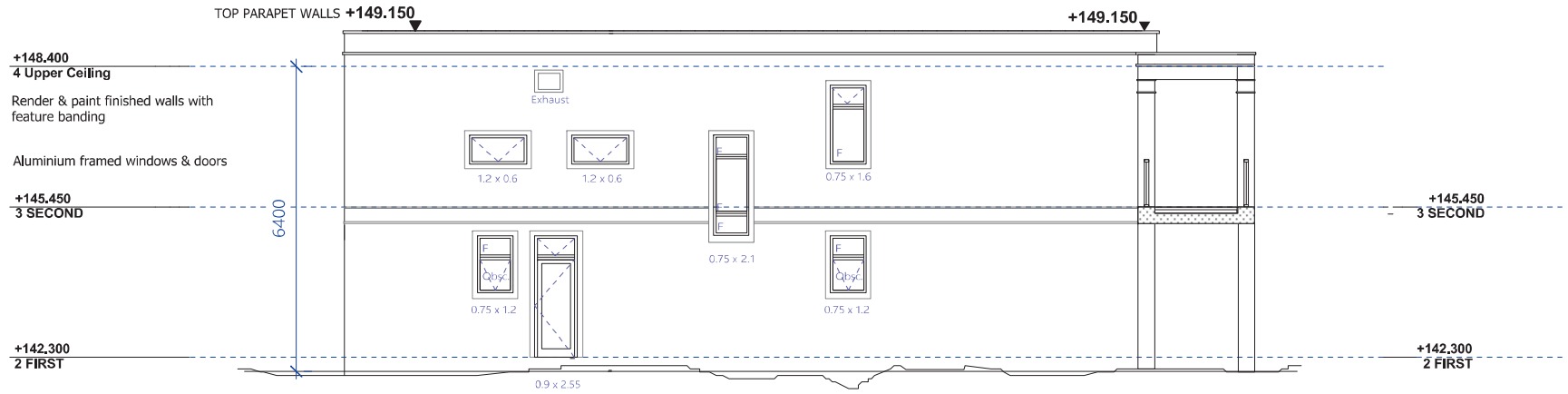
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DRAWING:
LOT 2 - EAST & WEST ELEVATION

NORTH

SCALE:
1:100 @ A3


DRAWING NO.
DA 06

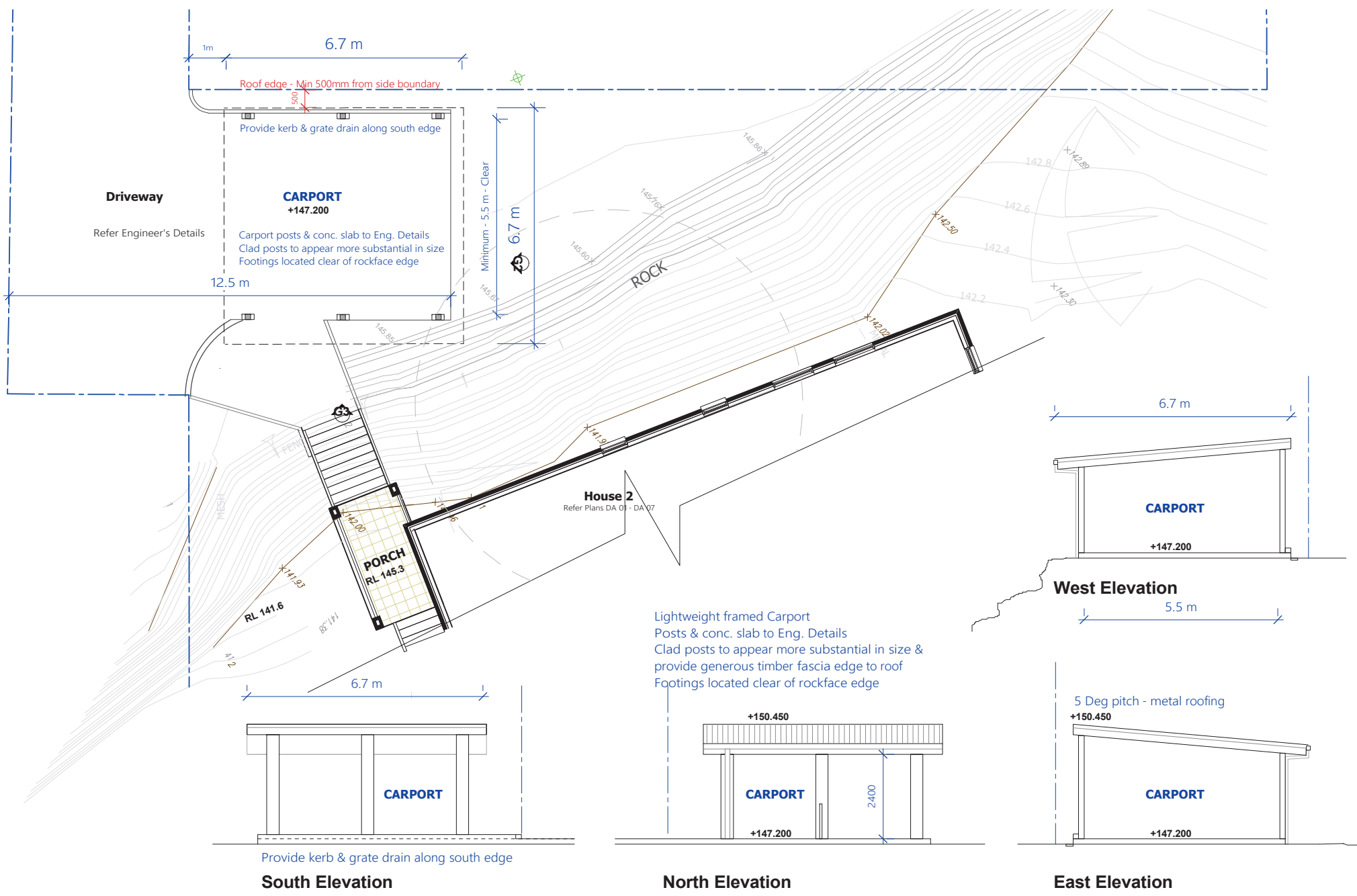


LOT 2 - SOUTH ELEVATION



LOT 2 - NORTH ELEVATION

 <p>NKP ARCHITECTURE NSW ARB No. 10425 BEVERLY HILLS SYDNEY NSW 2209 M: 04 2072 5400 E: neil@nkparchitecture.com.au W: nkparchitecture.com.au</p>	<p>CLIENT: MR JACK ZHANG</p> <p>PROJECT ADDRESS: No. 12-14 GLADYS AVENUE, FRENCHS FOREST NSW 2030</p>	<p>REVISION HISTORY:</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>COMMENT</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>10.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>23.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>30.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>15 Aug.22</td> <td>Issued for DA</td> <td>B</td> </tr> </tbody> </table>	DATE	COMMENT	REV.	10.03.22	FOR CONSULTANTS	A	23.03.22	FOR CONSULTANTS	A	30.03.22	FOR CONSULTANTS	A	15 Aug.22	Issued for DA	B	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> These plans are subject copyright and must not be used copied or reproduced without the authority of the designer The Bulkier is to verify dimensions prior to commencement If any discrepancies arise they are to be reported to the designer prior to the commencement of the works Do not scale figured dimensions Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer 	<p>DRAWING: LOT 2 - NORTH & SOUTH ELEVATION</p>	<p>NORTH</p>	<p>SCALE: 1:100 @ A3</p> <p>DRAWING NO. DA 07</p>
	DATE	COMMENT	REV.																		
10.03.22	FOR CONSULTANTS	A																			
23.03.22	FOR CONSULTANTS	A																			
30.03.22	FOR CONSULTANTS	A																			
15 Aug.22	Issued for DA	B																			



Lightweight framed Carport
 Posts & conc. slab to Eng. Details
 Clad posts to appear more substantial in size &
 provide generous timber fascia edge to roof
 Footings located clear of rockface edge

Provide kerb & grate drain along south edge

South Elevation

North Elevation

East Elevation



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CLIENT:
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**No. 12-14 GLADYS AVENUE,
 FRENCHS FOREST NSW 2030**

REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug 22	Issued for DA	B
27 April 23	Garage deleted for Carport	C

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DRAWING:
LOT 2 - PROPOSED CARPORT



NORTH

SCALE:
1:100 @ A3

DRAWING NO.
DA 08

LOT 2 - PROPOSED FINISHES - DARK EARTH COLOURS



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30.03.22	FOR CONSULTANTS	A

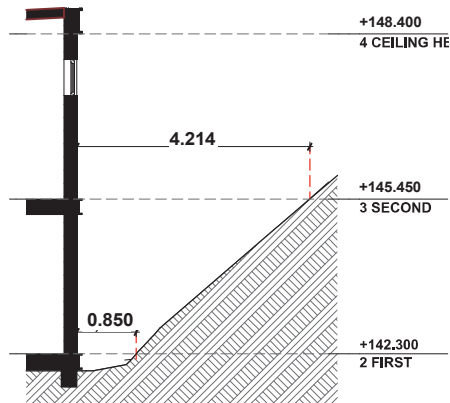
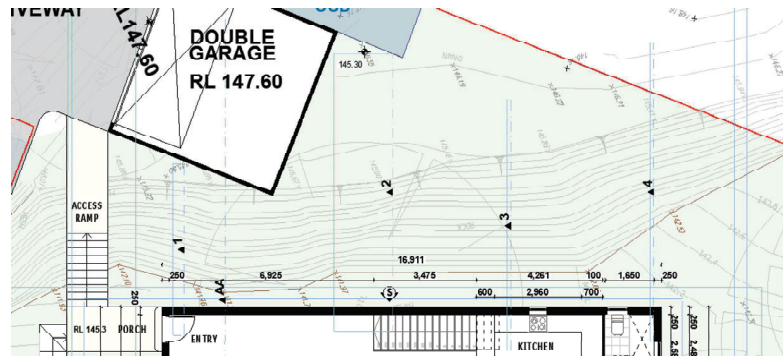
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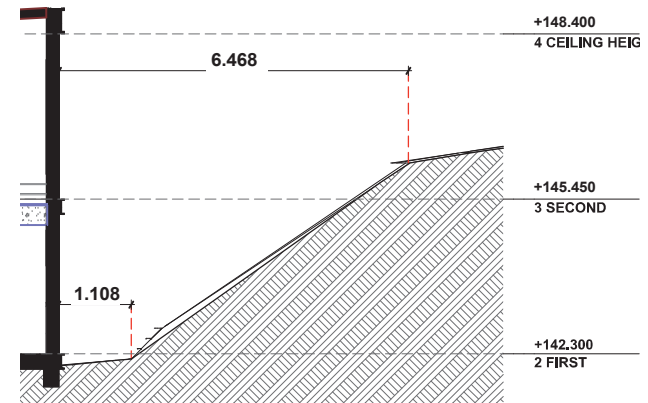
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LOT 2 - PROPOSED COLOURS & FINISHES

SCALE:
 1:100 @ A3

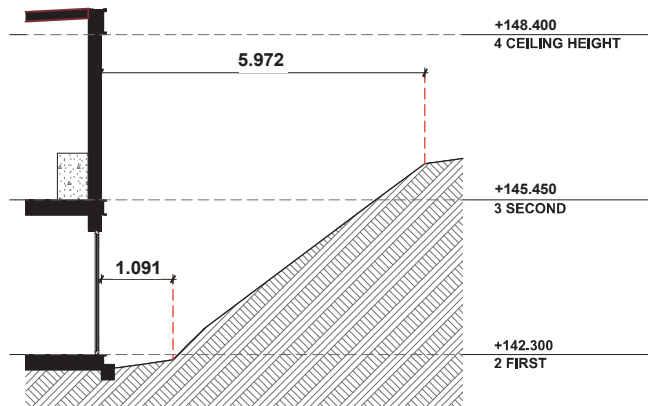
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**Colours & Finishes
 Schedule**



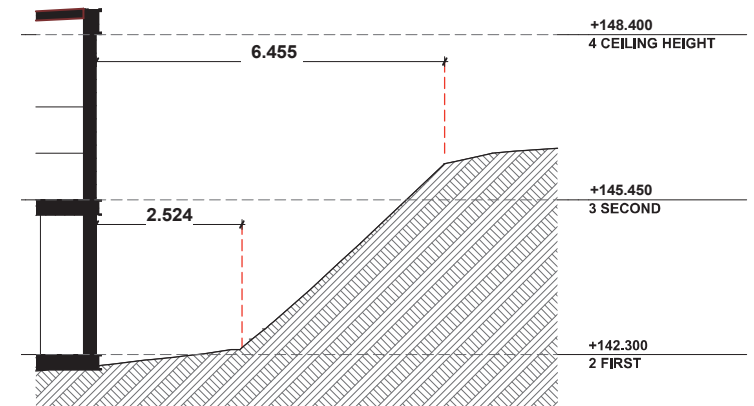
SECTION 1



SECTION 2



SECTION 3



SECTION 4



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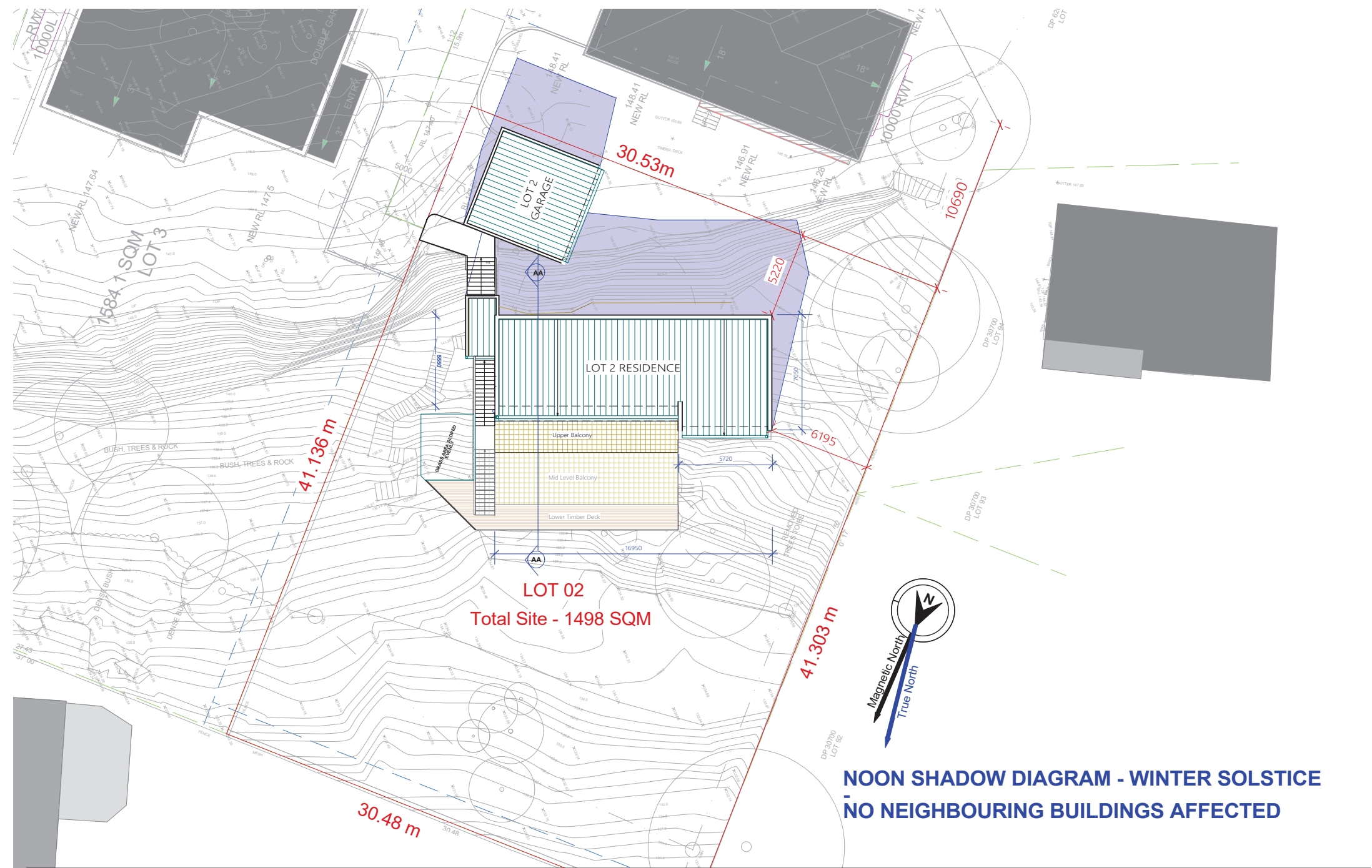
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30/03/22	FOR CONSULTANTS	A

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 ■ The Builder is to verify dimensions prior to commencement.
 ■ If any discrepancies arise they are to be reported to the designer prior to the commencement of the works.
 ■ Do not scale, use figured dimensions only. If a dimension is not shown or is required consult with the designer.
 ■ Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer.

DRAWING:
LOT 2 - PROXIMITY TO CLIFF

NORTH

SCALE:
1:100@ A3



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DRAWING:

LOT 2 - Noon Shadow Diagram

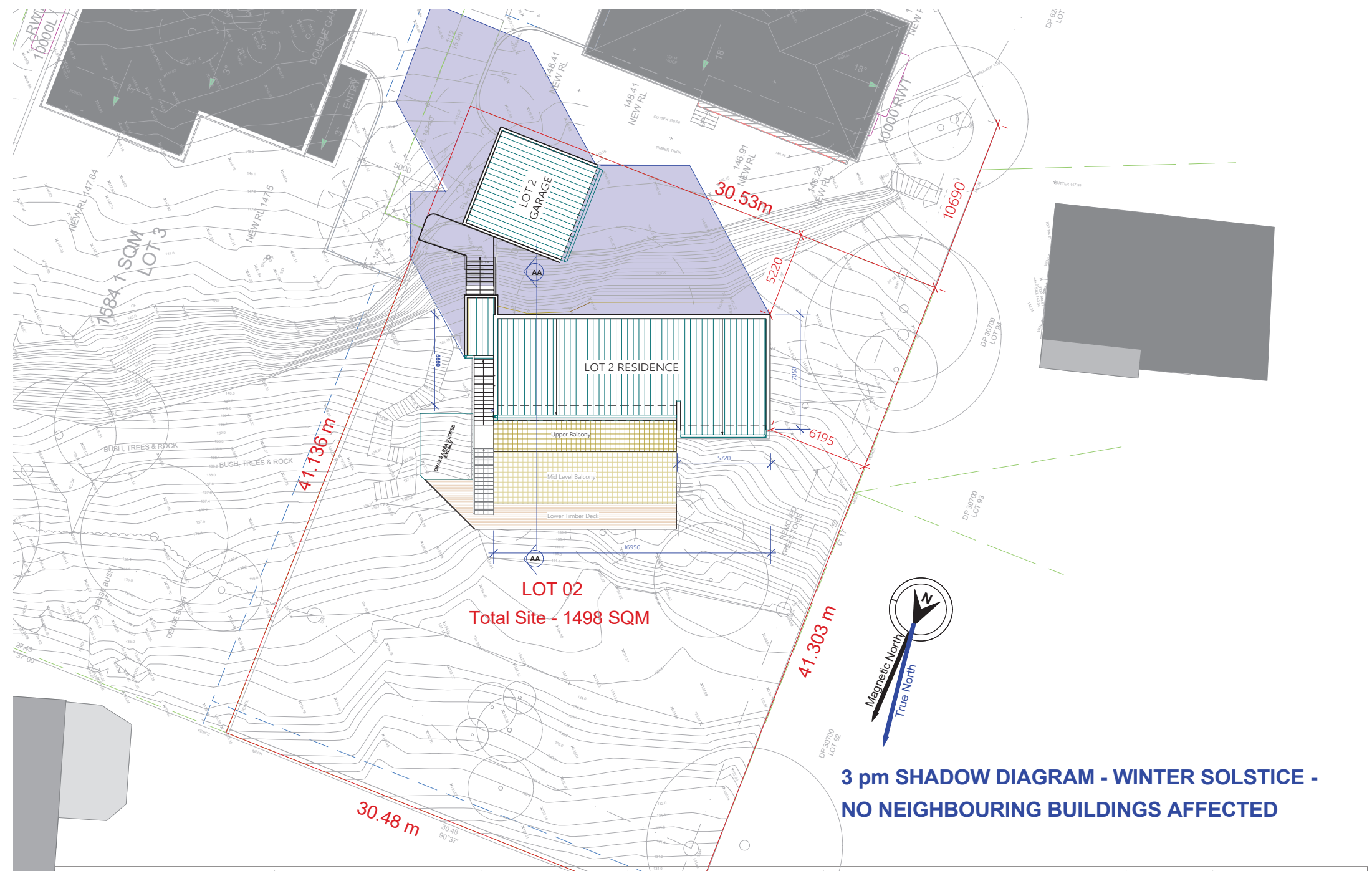
Magnetic North



SCALE:
1: 200 @ A3

DRAWING NO.

SD 01



LOT 02
Total Site - 1498 SQM

**3 pm SHADOW DIAGRAM - WINTER SOLSTICE -
NO NEIGHBOURING BUILDINGS AFFECTED**



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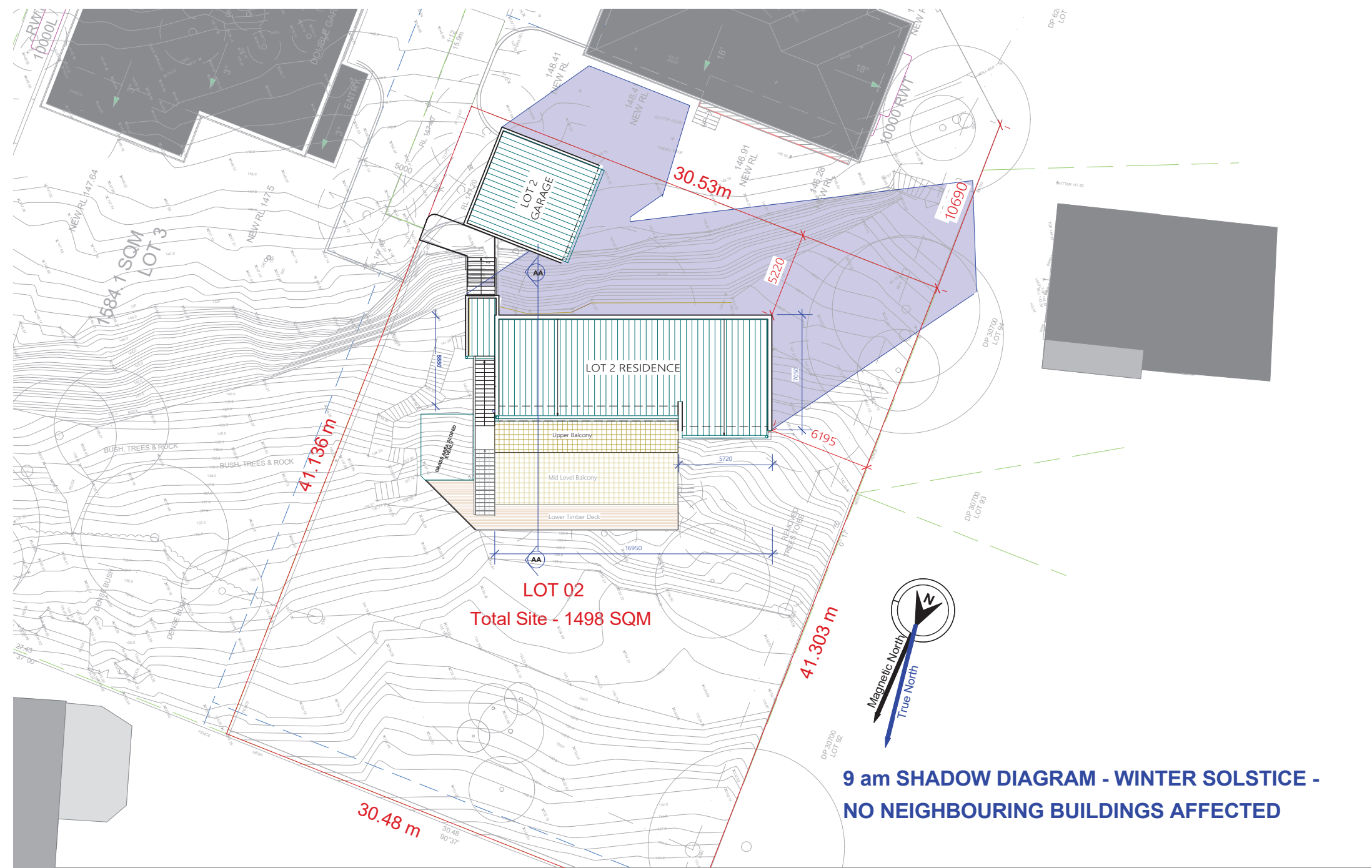
DRAWING:
LOT 2 - Noon Shadow Diagram

Magnetic North



SCALE:
1: 200 @ A3

DRAWING NO.
SD 01



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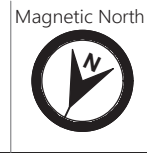
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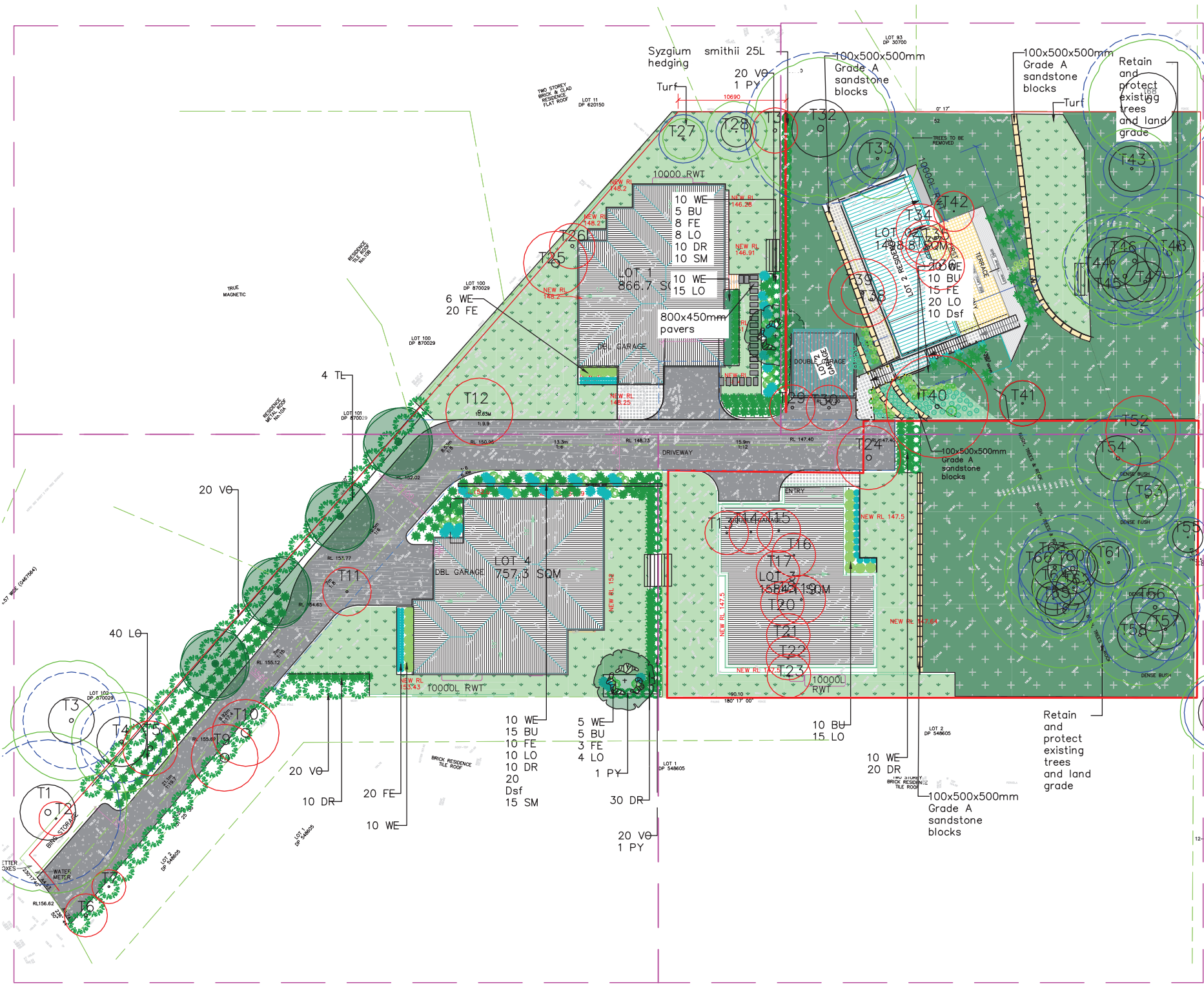
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DRAWING:
LOT 2 - Noon Shadow Diagram



Magnetic North
 SCALE:
 1: 200 @ A3
 DRAWING NO.
SD 03



NOTES: preference to scaling.
 2. The contractor shall check all dimensions with before commencing work.
 3. Construction is to be compliant with Australian standards for this landscape design. This is a landscape design and is to be read in conjunction with engineers and architectural plans.
 4. Designer is not responsible for Vegetation health or asset damage during and after construction.

KEY

- Existing tree to be retained
- Existing tree to be removed
- Proposed Tree
- Proposed grasses/shrubs
- Proposed Hedge
- Concrete
- Turf
- Folding clothes line

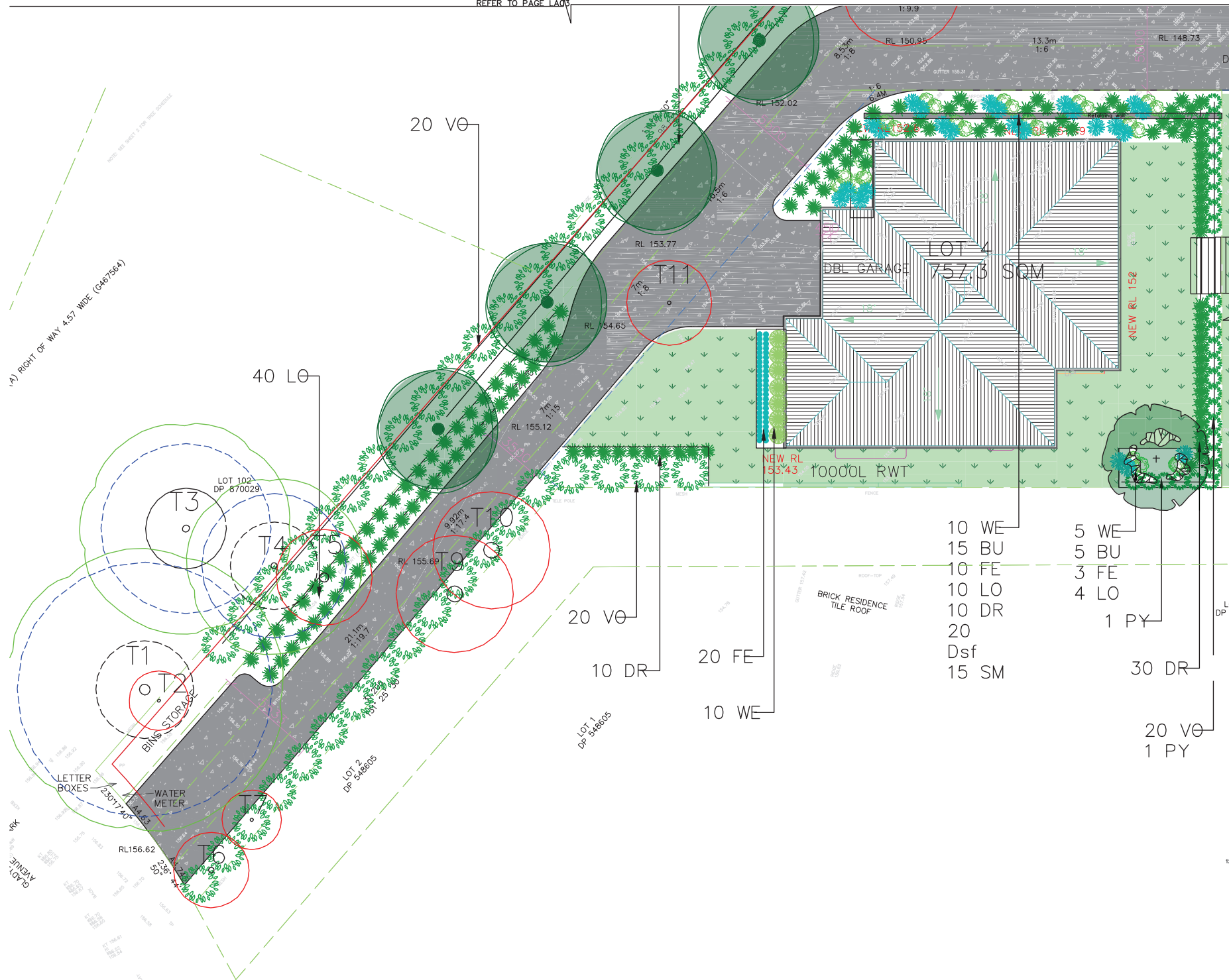
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 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, HYDRAULIC AND SURVEY PLAN.
 3. EXISTING TREES TO REMAIN SHALL BE PROTECTED AS PER ARBORIST REPORT AND COUNCIL REQUIREMENTS.
 4. NO VARIATION TO THE WORKS TO BE CARRIED OUT WITHOUT PRIOR APPROVAL FROM OWNER.
 5. ALL PLANT WORKS MUST COMPLY WITH AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA.
 6. ALL STORM WATER OUTLETS AND SURFACE RUN OFF SHALL BE TO HYDRAULIC ENGINEERS DETAIL.
 7. ALL LANDSCAPE WORKS SHALL COMPLETE WITH ALL COUNCILS DA AND CC CONDITIONS AND ALL RELEVANT AUSTRALIAN STANDARD AND AUSTRALIA SPEC NO.1 SPECIFICATION C273 LANDSCAPING.
 8. DAL BEFORE YOU DIG IS RECOMMENDED BEFORE COMMENCING LANDSCAPE WORKS.
 9. REFER TO ARBORIST REPORT FOR TREE RETENTION AND REMOVAL.

Contours presented in the plan are based on existing conditions. Cut and fill is to be determined by engineers and are not specified on this plan.

B Council recommendation	04.08.20
A Landscape plan	04.08.20
ISSUE DESCRIPTION	DA

ADDRESS	12-14 Godde Ave frenchcreek
DRAWING TITLE	LANDSCAPE PLAN
DATE: 04.08.2022	DRAWING NO: REVIS
DRAWN BY: JAE	LA01 B
JOB NO: 20-22	
SCALE: 1:200	

REFER TO PAGE LA03



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- 10 WE
- 15 BU
- 10 FE
- 10 LO
- 10 DR
- 20
- Dsf
- 15 SM
- 5 WE
- 5 BU
- 3 FE
- 4 LO
- 1 PY
- 30 DR
- 20 VØ
- 1 PY

A	Landscape plan	04.08.2022
ISSUE	DESCRIPTION	DATE









ADDRESS
15 Gladys Ave Frenchforest

DRAWING TITLE:
LANDSCAPE PLAN - LOT 4

DATE: 04.08.2022	DRAWING NO:	REVISION:
DRAWN BY: AZ	JOB NO: 15-23	LA02 A
SCALE: 1:500		

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KEY

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-  Proposed grasses/shrubs
-  Proposed Hedge
-  Concrete
-  Turf
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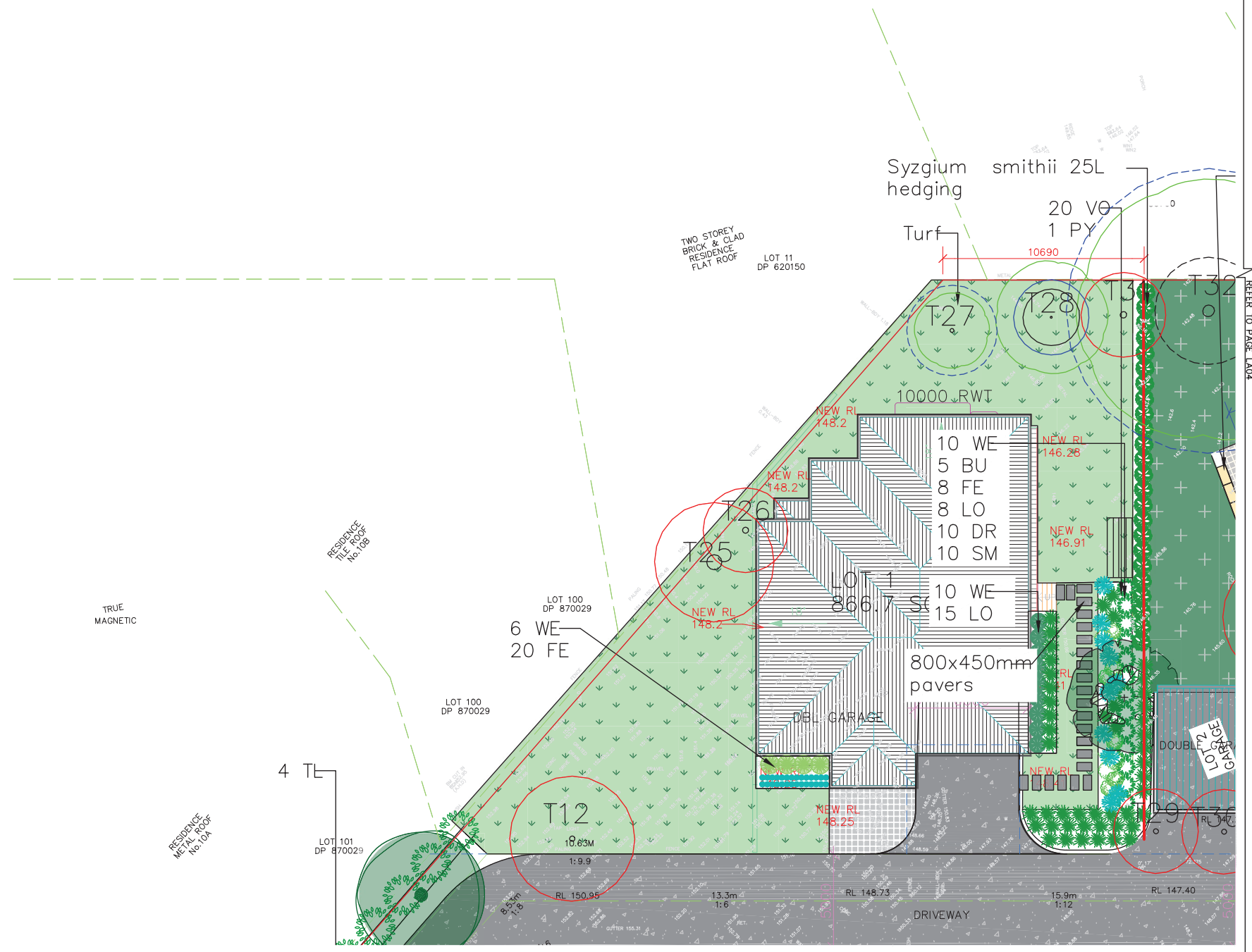
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A	Landscape plan	04.08.2022
ISSUE	DESCRIPTION	DATE

ADDRESS
12-19 Gladys Ave Frenchforest

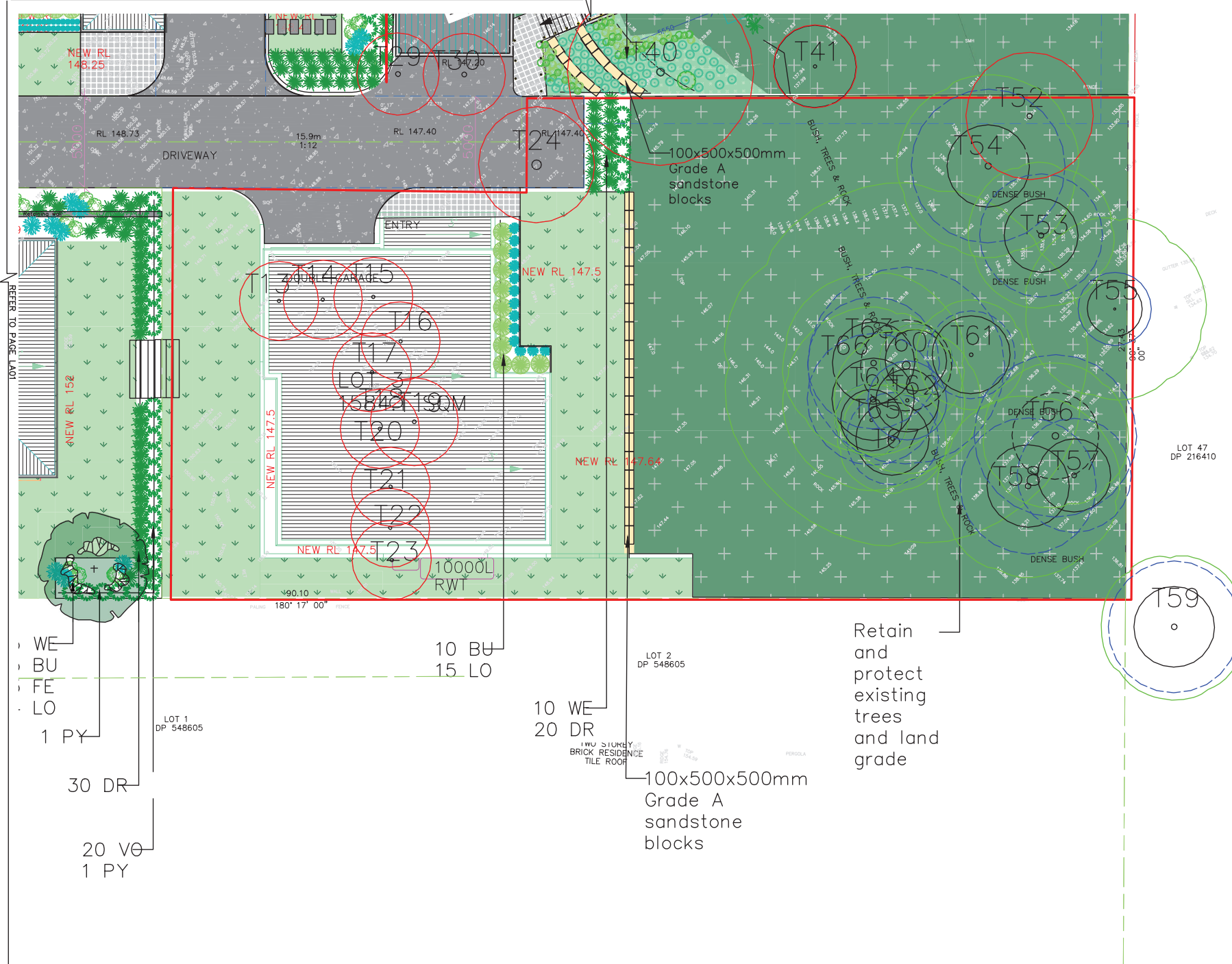
DRAWING TITLE
LANDSCAPE PLAN - LOT 1

DATE: 04.08.2022	DRAWING NO:	REVISION:
DRAWN BY: AZ		
CHECKED BY: DS		
SCALE: 1:200	LA03	A



REFER TO PAGE LA02

REFER TO PAGE LA03



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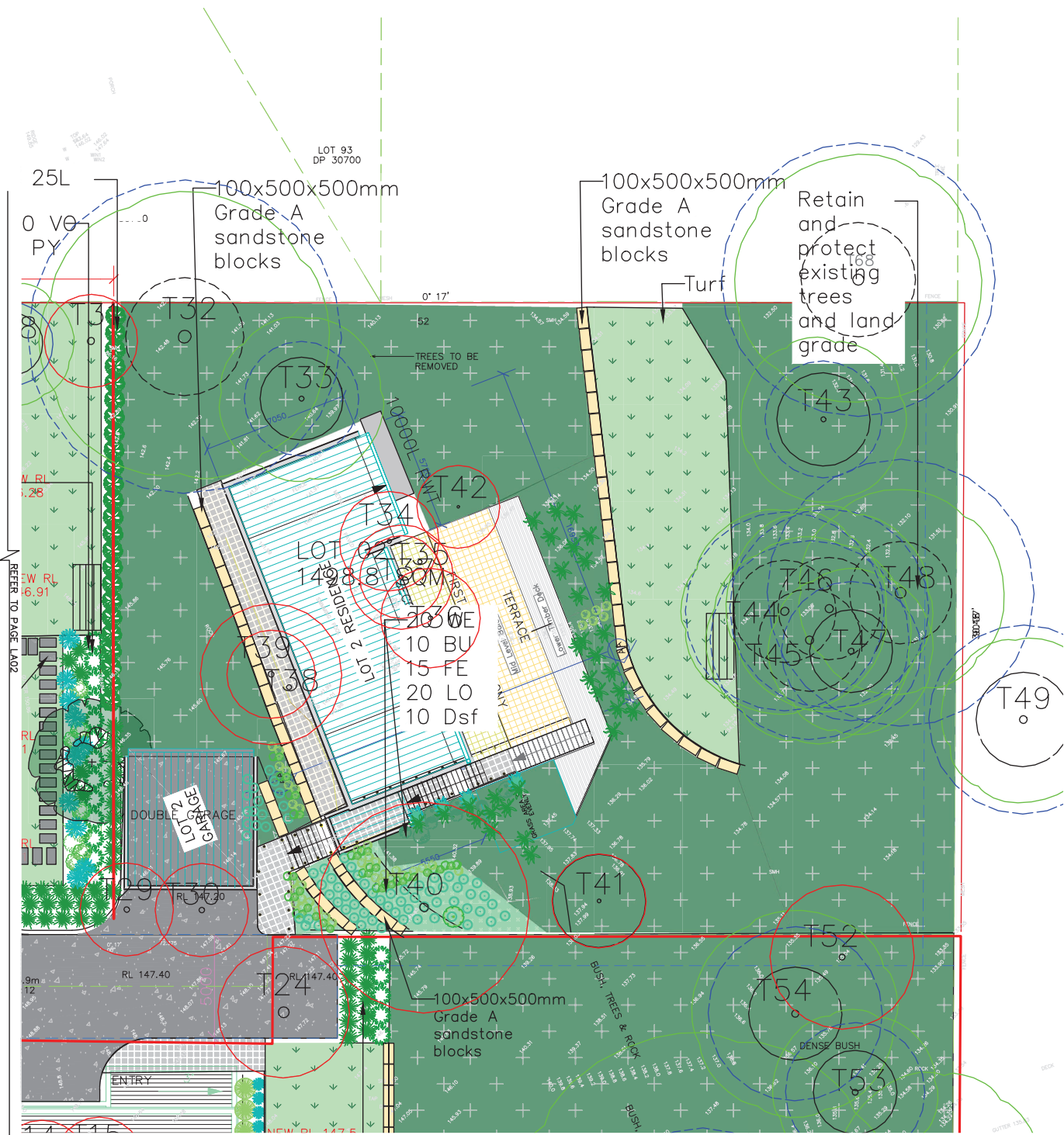
KEY

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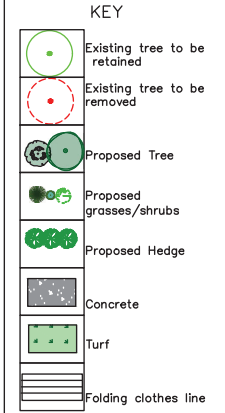
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A Landscape plan		04.08.2022
ISSUE DESCRIPTION	DATE	
ADDRESS 12-19 Gladys Ave Frenchsforest		
DRAWING TITLE: LANDSCAPE PLAN- LOT 3		
DATE: 04.08.2022	DRAWING NO:	REVISION:
DRAWN BY: JES	JOB NO: LA04	LA04 A
SCALE: 1:200		



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A	Landscape Plan	04.08.2022
ISSUE	DESCRIPTION	DATE

ADDRESS
12-15 Gladys Ave frenchforest

DRAWING TITLE:
LANDSCAPE PLAN - LOT 2

DATE: 04.08.2022	DRAWING NO:	REVISION:
DRAWING BY: AZ		LA05
JOB NO: 100-20		A
SCALE: 1:500		

GENERAL

ALL EARTHWORK, DRAINAGE WORKS, RETAINING WALLS, CONCRETE WORKS AND GRADING TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS, DETAILS AND SPECIFICATION. REFER TO ENGINEERING DRAWINGS FOR ALL FINISHED LEVELS. ALL SET OUT TO BE APPROVED ON SITE BY SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF GROUND WORKS.

REWORKS

BEFORE LANDSCAPE WORKS COMMENCE, THE LANDSCAPE CONTRACTOR IS TO DETERMINE THE LOCATIONS OF ALL SERVICE LINES AND PROTECT THEM FROM DAMAGE DURING CONSTRUCTION. UNDERWRITE A \$1M BEFORE YOU GO! ENQUIRY FOR SERVICE LOCATIONS.

EXISTING VEGETATION

VEGETATION TO BE REMOVED

REMOVE ONLY THOSE TREES AND VEGETATION MARKED FOR REMOVAL. ALL TREES AND NATIVE VEGETATION REQUIRED TO BE REMOVED AS PART OF THESE WORKS ARE TO BE MULCHED ON SITE AND STOCKPOILED FOR REUSE IN PLANTING AREAS.

VEGETATION TO BE RETAINED

WHERE TREES ARE MARKED FOR RETENTION THE FOLLOWING PROTECTION MEASURES ARE TO BE UNDERTAKEN:

- A TREE PROTECTION ZONE IS A RADIUS OF 12x TRUNK DIAMETER AT 1.4m ABOVE GROUND, AS DEFINED IN AS4740:2009.
- PROTECT ALL EXISTING TREES MARKED FOR RETENTION FROM DAMAGE WITHIN THE TPZ. LABELS CHANGING NOTES ON THE DRAWINGS.
- ERECT PROTECTIVE FENCING USING 1.8m TEMPORARY FENCING OUTSIDE THE TPZ FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- INSTALL A 150mm LAYER OF LEAF MULCH WITHIN THE TPZ TO PROTECT THE SOIL FROM DAMAGE DURING THE CONSTRUCTION PERIOD.
- THE EXISTING TOPSOIL LEVELS MUST NOT BE RAISED OR LOWERED WITHIN THE TPZ UNLESS PRIOR APPROVAL IS GIVEN BY SUPERINTENDENT.
- IF EXCAVATION IS REQUIRED WITHIN TPZ OF TREES IT IS TO BE CONFINED TO THE SOIL UNDERSTANDING AND NOT THROUGH THE SOIL. CONTAINERS, MIX EXISTING SITE SOIL, INCLUDING ADDITIVES WITH POTANY HUMUS MIX AS SUPPLIED BY AUSTRALIAN NATIVE LANDSCAPES OR EQUIVALENT AT A RATIO OF 1:1. REFER TO DRAWINGS AND DETAILS FOR SOIL PLACEMENT DEPTHS FOR THE SPECIFIC PLANTING AREAS.
- USE HAND METHODS TO LOCATE, EXPOSE AND CLEARLY REMOVE THE ROOTS ON THE LINE OF THE EXCAVATION.
- DO NOT REMOVE STOCKPILE, SPILL OR OTHERWISE PLACE MATERIALS WITHIN THE TPZ. TREE CUT HAND-OUT CONCRETE WITHIN TPZ. DO NOT PLACE SITE SHEDS OR AMBIENTS WITHIN THE TPZ OF THE TREE. DO NOT STOCKPILE SOIL WITHIN THE TPZ FOR ANY REASON.
- PREFER DAMAGE TO TREE BARK AND CANOPY. DAMAGE SHALL BE TREATED BY A QUALIFIED ARBORIST AS SOON AS PRACTICALLY POSSIBLE AFTER DAMAGE OCCURS.
- WHERE IT IS NECESSARY TO CUT ROOTS, USE A CHAINSAW OR SIMILAR WHERE THE CUTTING METHOD DOES NOT UNLAKELY DISTURB THE ROOT SYSTEM. ANY MAJOR STRUCTURAL ROOTS ARE TO BE CUT BY A QUALIFIED ARBORIST.
- REGULARLY WATER AND MAINTAIN ALL TREES TO BE RETAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.

WEEK 1 PREPARATION

PRIOR TO ANY ENGINEERING WORKS, ERASE ALL WEED SPECIES USING ENVIRONMENTALLY ACCEPTABLE METHODS AND REMOVE FROM SITE. BRACED ALL WEEDS FROM THE PROPOSED PLANTING AND TURF AREAS PRIOR TO ANY PLANTING OPERATIONS. USE ROUND-UP SPACTIVE FOR AREAS ADJACENT TO WATERWAYS, CREEKS AND DRAINAGE CHANNELS, OR WHERE RUNOFF MAY ENTER THE CREEK SYSTEM. APPLY ROUND-UP SPACTIVE OR EQUIVALENT TO ALL PROPOSED PLANTING AREAS TO MANUFACTURERS RECOMMENDED APPLICATION RATES. A MINIMUM OF TWO APPLICATIONS WILL BE REQUIRED. REQUIRE FRAM SPRAYING OCCURS TWO WEEKS PRIOR TO COMMENCEMENT OF LANDSCAPING WORKS. ENSURE ALL WEED GROWTH HAS CEASED AND REMOVE ALL WEED WASTE FROM SITE PRIOR TO COMMENCEMENT OF SOIL AND PLANTING WORKS. DO NOT BURN. RE-APPLY HERBICIDE AS REQUIRED.

SOIL PREPARATION

DO NOT FILL OR MACHINE CULTIVATE WITHIN THE DRP LINE OF EXISTING TREES. IF CULTIVATION IS REQUIRED IN THESE AREAS, USE HAND METHODS ONLY. DO NOT USE SERVICES IF REQUIRED TO CULTIVATE AREAS. USE ROUND-UP SPACTIVE TO DETERMINE IF ANY ACOTYLES ARE REQUIRED TO PROVIDE A SOIL MEDIA THAT PROMOTES OPTIMAL GROWING CONDITIONS. ALL EXISTENTIAL WEED REQUIREMENTS ARE TO BE REMOVED FROM THE SOIL UNDERSTANDING AND MIX THROUGHOUT THE SOIL. PRIOR TO MIXING WITH IMPROVED SOIL. CONTAINERS, MIX EXISTING SITE SOIL, INCLUDING ADDITIVES WITH POTANY HUMUS MIX AS SUPPLIED BY AUSTRALIAN NATIVE LANDSCAPES OR EQUIVALENT AT A RATIO OF 1:1. REFER TO DRAWINGS AND DETAILS FOR SOIL PLACEMENT DEPTHS FOR THE SPECIFIC PLANTING AREAS.

SOIL PLACEMENT

NO CONTAMINATED SOIL IS TO BE USED ON SITE. SHOULD SOIL BECOME CONTAMINATED BY DIESEL OIL, PAINT, CEMENT OR ANY OTHER CONTAMINANTS, EXCAVATE THE CONTAMINATED SOIL AND DISPOSE OF IT OFF SITE AND REPLACE IT WITH SOIL MIX TO THE CORRECT FINISHED LEVELS. SPREAD THE TOPSOIL ON THE PREPARED SUB-SOIL AND GRADE EVENLY, ALLOWING THE FOLLOWING TO OCCUR:

- REQUIRED FINISHED LEVELS CAN BE ACHIEVED AFTER LIGHT COMPACTION.
- TURF AREAS SHALL BE FINISHED FLUSH WITH ADJACENT FINISHED SURFACES SUCH AS KERBS, PATHS, ACCESS DRIVEWAYS AND CONCRETE EDGING.
- PLACE SOIL IN MAXIMUM LAYER DEPTHS OF 150mm, LIGHTLY COMPACT AT EACH LAYER.
- PLACE 200mm DEPTH OF SOIL MIX IN ALL LITTORAL, TERRESTRIAL, RE-VEGETATION AND NATIVE GARDEN MIX PLANTING ZONES.
- PLACE 100mm DEPTH OF SOIL MIX IN ALL AREAS TO BE TURFED.
- ON COMPLETION OF SOIL PLACEMENT THE SURFACE SHALL BE:
 - FREE FROM STONES AND LUMPS OF SOIL.
 - GRADED TO DRAIN FREELY WITHOUT TRAPPED LOW POINTS.
 - GRADED EVENLY TO ALL SURROUNDING FINISHED SURFACES.
 - READY FOR PLANT INSTALLATION.

MULCHING

INSTALL 100mm DEPTH OF SOIL, 100% RECYCLED LEAF MULCH FREE OF DELETERIOUS AND EXOTICUSOUS MATTER SUCH AS SOIL, WEEDS AND STICKS TO ALL PLANTING ZONES EXCLUDING BIO-RETENTION MIX A AND B. PLACE MULCH TO THE REQUIRED DEPTH, CLEAR OF PLANT STEMS AND NINE TO AN EVEN SURFACE FLUSH WITH EXISTING FINISHED LEVELS.

PLANTING

PLANT MATERIAL SHOULD BE PRE-ORDERED 4 - 6 MONTHS PRIOR TO ANTICIPATED INSTALLATION DATE TO ENSURE LOCAL STOCK IS AVAILABLE. THE CONTRACTOR SHALL INSTALL PLANTS TO THE LOCATION AND EXTENT SHOWN ON THE DRAWINGS. THE PLANTS SHALL BE PLANTED USING BEST HORTICULTURAL TECHNIQUES AND IN ACCORDANCE WITH THE DRAWINGS. SPECIES TO BE PLANTED IN BAYS ARE TO BE ORDERED IN SPECIES GROUPS. AVOID PLANTING SPECIES IN RECTANGULAR BAYS TO ASSIST IN RECREATING A NATURAL SYSTEM.

DELIVERY

DELIVER PLANT MATERIAL TO SITE ON A DAY TO DAY BASIS AND PLANT IMMEDIATELY AFTER DELIVERY. PROTECT PLANTS AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS THAT CAN NOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WELL PROTECTED AND REGULARLY WATERED. PLANTS SHALL BE KEPT IN SUCH A MANNER TO AVOID ANY DAMAGE TO THE PLANT.

PLANTING CONDITIONS

DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS SUCH AS EXTREME HEAT, COLD, WIND OR RAIN. IN OTHER THAN SANDY SOILS, SUSPEND EXCAVATION WHEN THE SOIL IS WET, OR DURING FROST PERIODS. NOTIFY SUPERINTENDENT OF ALL SOIL OR DRAINAGE CONDITIONS ENCOUNTERED DURING PLANTING OPERATIONS THAT THE LANDSCAPE CONTRACTOR CONSIDERS TO BE DETRIMENTAL TO PLANT GROWTH.

WATERING

THOROUGHLY WATER THE PLANTS IMMEDIATELY AFTER PLANTING, AND AS REQUIRED TO MAINTAIN GROWTH RATES FREE FROM STRESS. LESS FREQUENT HEAVY WATERING IS PREFERABLE TO LIGHT WATERING. THE SOIL MOISTURE NEEDS TO BE ASSESSED DAILY AND WATERING REGIME ADJUSTED ACCORDINGLY. THE CONTRACTOR SHALL SUPPLY AND INSTALL A TEMPORARY IRRIGATION SYSTEM TO IRRIGATE ALL PLANT MATERIAL FOR THE DURATION OF THE MAINTENANCE PERIOD. AT COMPLETION OF THE MAINTENANCE PERIOD, THE CONTRACTOR IS RESPONSIBLE FOR THE RECOMMISSIONING OF THE TEMPORARY IRRIGATION SYSTEM TO THE REGIONAL COUNCIL COMPANIES FROM SITE.

PLACING

EXCAVATE HOLES AS INDICATED IN PLANTING DETAILS WHEN INSTALLING PLANT. WHEN PLANTING THERE SHOULD BE AMPLE LOOSE SOIL TO ENSURE THAT ROOT SOIL CONTACT IS COMPLETE AND THAT NO AIR GAPS EXIST. A RABBIT LIP SHOULD BE PRESENT AROUND THE PLANT TO ASSIST IN TRAPPING WATER AND ALLOW FILTRATION. INSTALL PLANT STOCK TO THE AREAS AS INDICATED ON DRAWINGS AND SPACED AS SPECIFIED. IN A RANDOM PATTERN, ENSURING COMPLETE COVERAGE. PLANTING IN THE BIO-RETENTION AND LITTORAL ZONES ARE TO BE IN SPECIES GROUPINGS OF BETWEEN 60 - 70 PLANTS. REFER TO PLANT SCHEDULE. PLANTING IN THE TERRESTRIAL, RE-VEGETATION (GROUND COVER LAYER) AND NATIVE GARDEN MIX ZONES ARE TO BE IN SPECIES GROUPINGS OF 30 - 50 PLANTS. REFER TO PLANT SCHEDULE. PLANTING OF THE CANOPY LAYER IN THE RE-VEGETATION AREAS IS TO BE SPACED AT A RATE OF 1:2 TREES PER 10 SQ.M. REFER TO PLANT SCHEDULE.

REPLACEMENT

REPLACE DAMAGED OR FAIL PLANTS WITH PLANTS OF THE SAME TYPE AND SIZE.

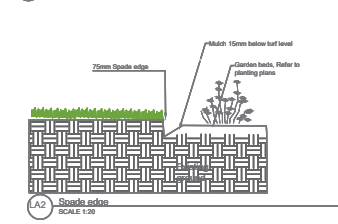
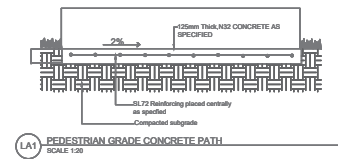
TURFING

THE CONTRACTOR SHALL INSTALL 80W WALTER BUFFALO TURF ROLLS TO THE LOCATION AND EXTENT SHOWN ON THE DRAWINGS AND TO ALL AREAS DAMAGED DURING THE CONSTRUCTION PERIOD. TURF IS TO BE LAID ALONG CONTOURS IN STRECHER/BOND PATTERN WITH STAGGERED, CLOSE BUTTED JOINTS. TURF TO BE LAID TO ENSURE LEVELS/FLUSH WITH ADJACENT FINISHED SURFACES. WATER IMMEDIATELY AFTER LAYING LAYERS. THE TOP SOIL, SUBSEQUENT TO THE TURF, CONTINUE WATERING TO MAINTAIN GROWTH RATES FREE FROM STRESS. WHERE TURF LEVELS HAVE DROPPED FROM DESIGN LEVELS AFTER LAYING AND WATERING, LIFT UP AND RE-GRADE TOP SOIL TO ACHIEVE DESIGN LEVELS.

MAINTENANCE

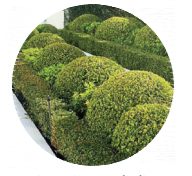
MAINTAIN WORKS IN GOOD CONDITION FOR 50 WEEKS FROM THE DATE OF PRACTICAL COMPLETION. WORKS SHALL GENERALLY INCLUDE BUT NOT BE EXCLUSIVE TO THE FOLLOWING:

- WEEDING, WATERING, APPLICATION OF FERTILISER, PEST AND DISEASE CONTROL, STAKING AND TYING, REMOVAL OF LITTER FROM PLANTING AND GRASSED AREAS AND REPAIRMENT OF DEAD AND DYING PLANTS.
- CONTINUE TO REPLACE FAILED, DAMAGED OR TOLERANT AREAS AS SPECIFIED. SUBSTITUTIONS SHALL ONLY BE MADE WITH THE APPROVAL OF THE SUPERINTENDENT WHERE A SPECIES IS CONSIDERED TO BE RESPONDING POORLY TO CONDITIONS.
- ADJUST STAKES AND TIES TO AVOID PLANT DAMAGE. REPLACE IF DAMAGED AND REMOVE AT END OF CONTRACT IF SO DIRECTED.
- MONITOR GRASS AREAS TO AVOID CONFLICT WITH THE GROWTH HABIT OF THE GRASS. MAINTAIN HEALTHY WEED-FREE GROWTH. REMOVE CLIPPINGS FROM SITE.
- REGULARLY REMOVE RUBBISH AND DEBRIS FROM SITE.
- ADJUST WATERING REGIME OR TEMPORARY IRRIGATION SYSTEM TO MAINTAIN OPTIMAL GROWING CONDITIONS FREE FROM STRESS FOR ALL PLANTING ZONES AND TURF AREAS AND AS SEASONAL CONDITIONS CHANGE. DISCOMMISSION TEMPORARY IRRIGATION SYSTEM AND REMOVE ALL COMPONENTS FROM SITE AT END OF MAINTENANCE PERIOD OR AT A TIME WHERE IT IS NO LONGER REQUIRED.
- CONTROL ANY PESTS AND DISEASES IN TURF AND PLANTING AREAS. SPRAY OR TREAT ANY AFFECTED AREAS DIRECTLY IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND TO COMPLY WITH ALL STATUTORY REQUIREMENTS UNLESS THE PROBLEM HAS BEEN ELIMINATED. PROPER CARE SHOULD BE TAKEN TO ENSURE THE USER AND ANYONE COMING IN CONTACT WITH THE SPRAY ARE ADEQUATELY PROTECTED. SPRAY OUTSIDE NORMAL WORKING HOURS IF NECESSARY.



Plant Schedule

Symbol	Botanical Name	Common Name	Height at Maturity	Size	Qty
Trees					
PY	<i>Pyrus calleryana</i>	Callery pear	12m	45L	2
TL	<i>Tristaniopsis laurina</i>	Water gum	15m	25L	4
Shrubs					
Dsf	<i>Dichondra argentea</i>	Silver falls	200mm	140mm	30
LO	<i>Lomandra confertifolia ssp rubiginosa</i>	Mat Rush	0.7m	140mm	112
WE	<i>Westringia fruticosa</i>	Native Rosemary	1m	400mm	50
BU	<i>Buxus microphylla</i>	Littleleaf Box	1m	400mm	40
SM	<i>Senecio Mandraliscae</i>	Blue chalk sticks	0.2m	140mm	25
DR	<i>Dianella revoluta</i>	blue flax-lily	0.5m	140mm	80
VO	<i>Viburnum odoratissimum</i>	Sweet Viburnum	2m	400mm	80



Senecio Mandraliscae



Dichondra argentea 'Silver Falls' var.



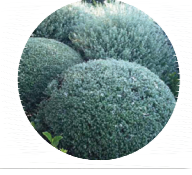
Dianella revoluta



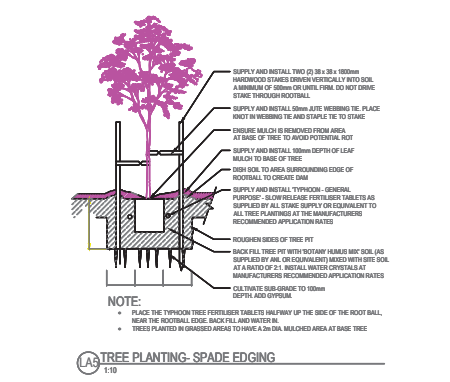
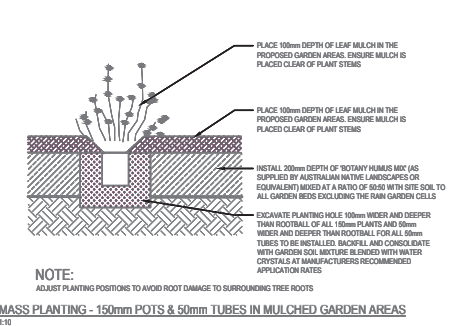
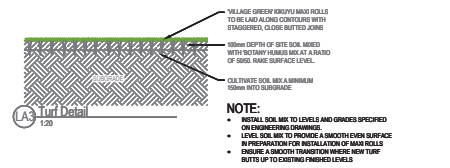
Stygium smithii var.



Lomandra confertifolia ssp rubiginosa 'Silver' var.



Viburnum odoratissimum



- NOTES:**
1. Figured dimensions shall be taken in preference.
 2. The contractor shall check all dimensions on all construction work.
 3. Construction is to be compliant with Australian standards for this landscape design. This is a landscape design and should be read in conjunction with engineers and architectural plans.
 4. Designer is not responsible for vegetation health damage during and after construction.

A	Landscape plan
B	DESIGN DESCRIPTION
ADDRESS 12-14 Clady Ave Branchhurst	
DRAWING TITLE PLANT SCHEDULE & DETAILS	
DATE: 04.06.2022	DRAWING NO:
DRAWN: AZ	LA06
JOB NO: 04-21	