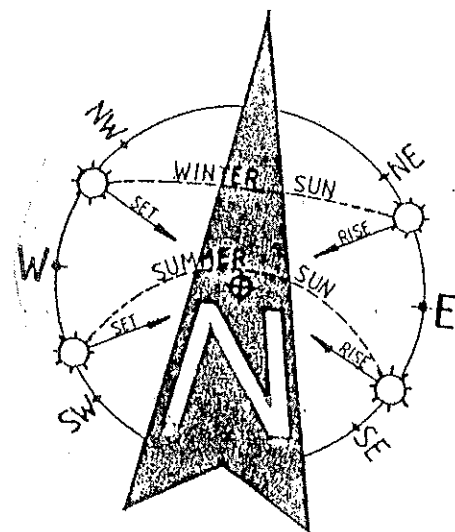


DEVELOPMENT CALCULATIONS

SITE AREA	557.70 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
RESIDENCE FLOOR	192.28	192.28
RESIDENCE ROOF	111.72	111.72
VERANDAH'S & STAIRS	—	32.10
DRIVEWAY & PARKING	42.35	42.35
DECKS	50.89	24.95
SHED	9.62	9.62
SHED ROOF	8.28	8.28
TOTAL HARD SURFACE	222.86 (39.96%)	229.02 (41.07%)
BITUMEN R.O.W. DRIVEWAY	131.76	131.76
TOTAL HARD SURFACE	354.62 (63.59%)	360.78 (64.69%)



NOTES:

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 7. All electrical power & light outlets to be determined by owner.
 8. Make good and repair all existing fixtures damaged by new work. Reuse existing materials where possible.

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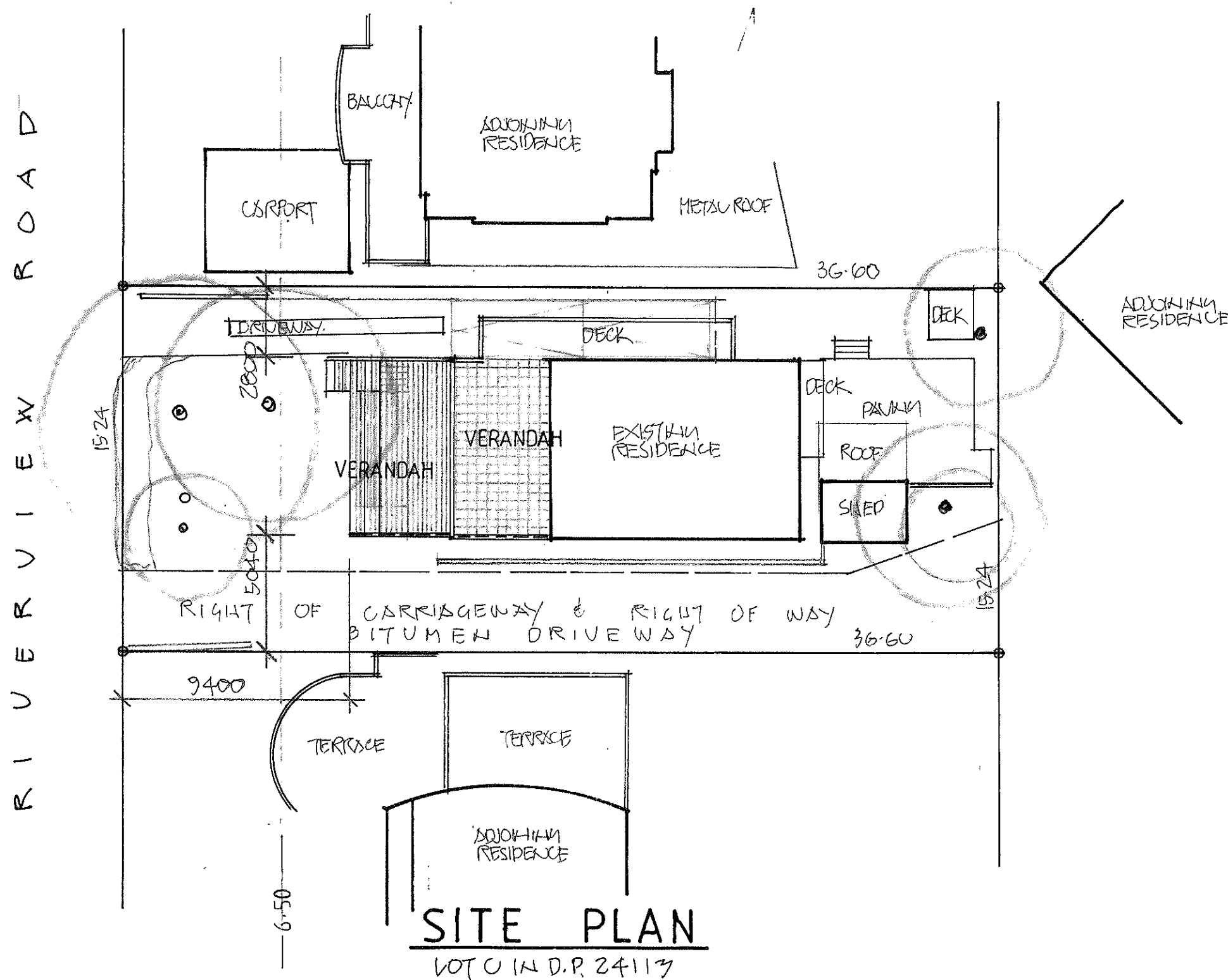
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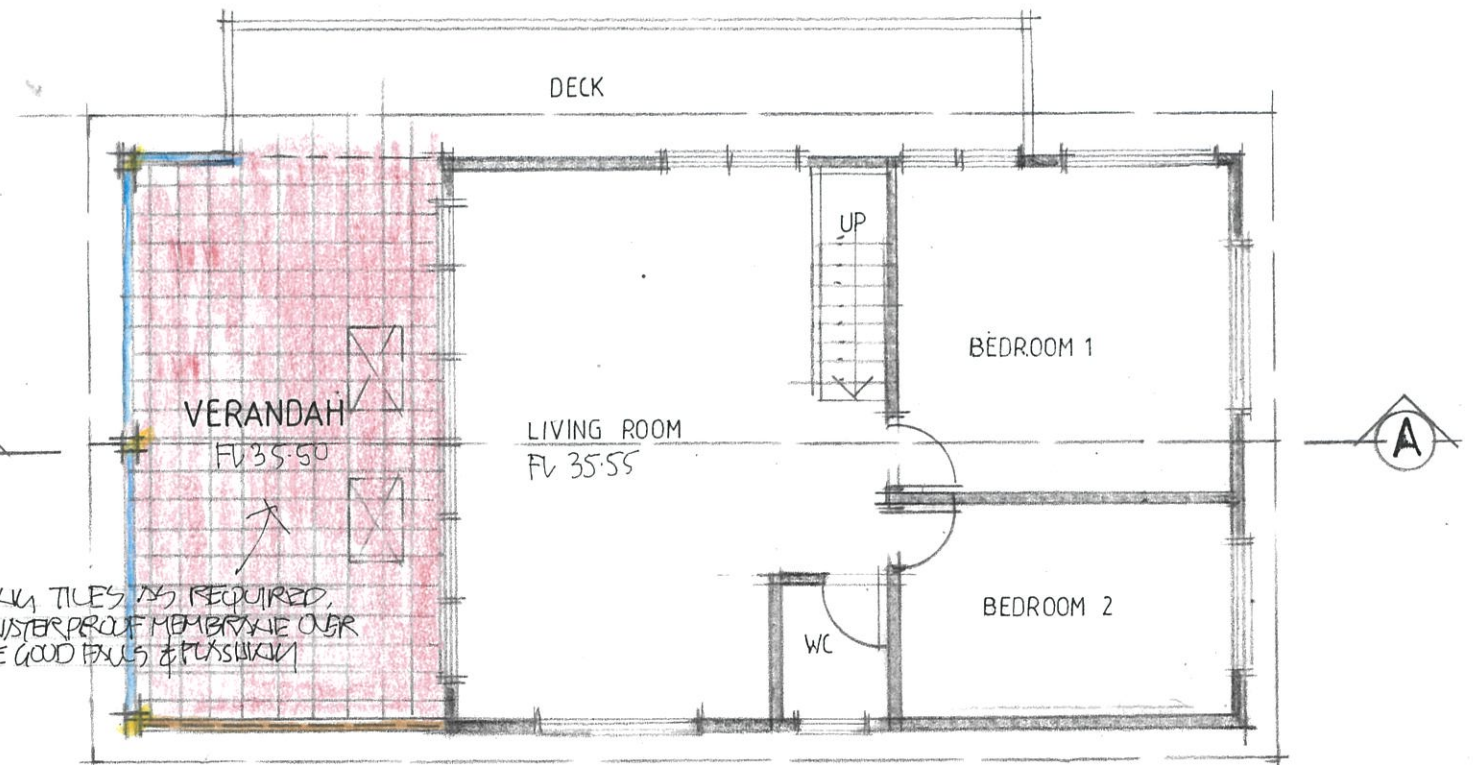
PROJECT
PROPOSED VERANDAH'S AT
No. 190 RIVERVIEW ROAD
AVALON BEACH N. S. W. 2107
 CLIENT
STEPHEN ARCHER & MELANIE WILSON

DATE 10/11/2021	SCALE 1:200
DRAWN JOE	CHECKED
DRAWING No.	ISSUE
2084-1	

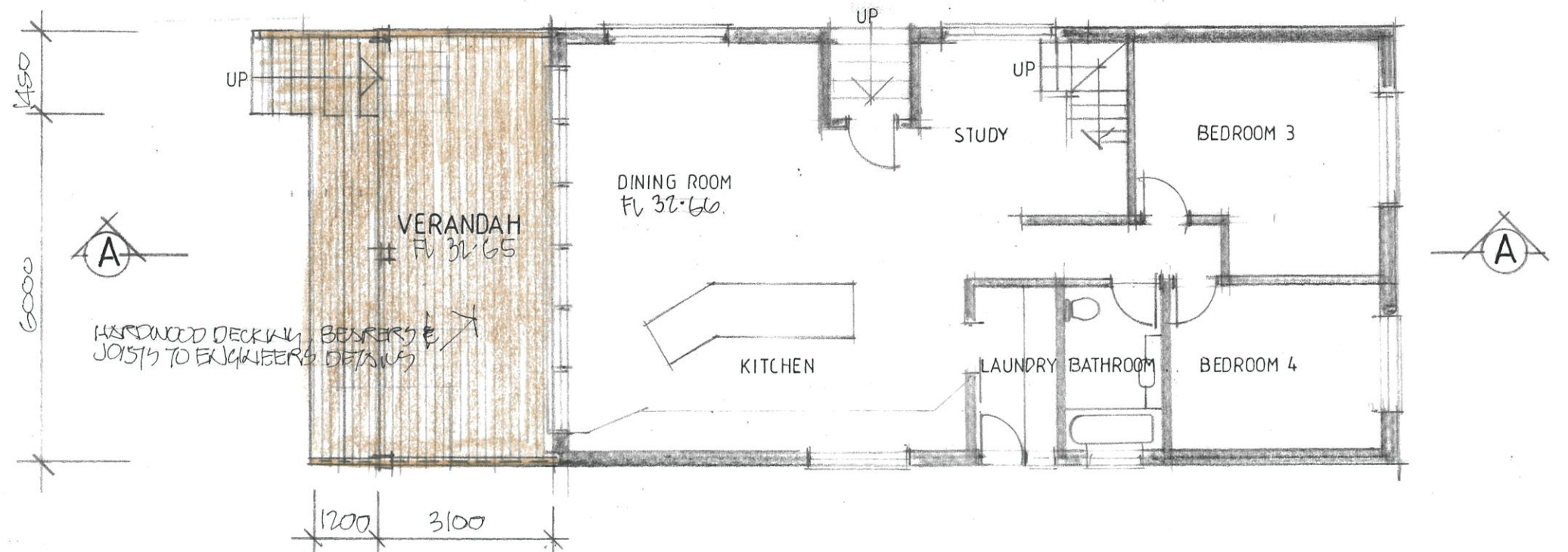


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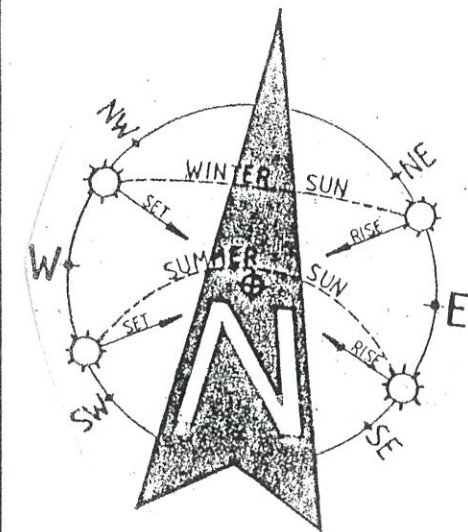
1. LIGHTING OF BATHROOM AND WC TO BE IN ACCORDANCE WITH NCC VOL. 2 PART 3.8.4.2 AND AS/NZS 1680.0 1768.
2. VENTILATION OF BATHROOMS, ENSUITES & WC'S TO BE IN ACCORDANCE WITH PART 3.8.5.2 OF THE BUILDING CODE OF AUSTRALIA AS / NZS 1680.2.
3. THE DOOR TO THE BATHROOM IS REQUIRED TO COMPLY WITH AND IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA PART 3.8.3.3 (TO EITHER OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT).
4. FIRE / SMOKE ALARMS TO BE IN ACCORDANCE WITH PART 3.7.2 OF THE NCC VOL. 2 PART 3.7.2. AND AS 3786.
5. TERMITE RISK MANAGEMENT TO BE IN ACCORDANCE WITH VOL. 2 PART 3.1.4 OR VOL. 1 PART B1.4 (I) AND INSTALLED IN ACCORDANCE WITH AS 3660.
6. SOUND INSULATION TO BE IN ACCORDANCE WITH PART 3.8.6.2 CLAUSES (a), (b) & (c) AND PART 3.8.6.3. OF THE NCC.
7. ALL EXTERNAL GLAZING TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%.
8. ALL GLAZED ASSEMBLIES TO COMPLY WITH AS. 2047 AND AS. 1288.
9. WATERPROOFING OF ALL WET AREAS TO COMPLY WITH NCC VOL. 2 PART F1 & VOL. 2 PART 3.8.1 & CONSTRUCTED IN ACCORDANCE WITH AS 3740.
10. AN APPROVED NON-VENTILATED COVER OR SHEILD WHICH ALLOWS FOR THE INSULATION TO BE CLOSELY INSTALLED TO THE SIDES & TOP TO ALL DOWNLIGHTS.
11. STAIRS, HANDRAILS, BALUSTRADES & RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH NCC VOL. 2 PARTS 3.9.1 & 3.9.2 IN AS1657.
12. PROTECTION OF OPEN-ABLE WINDOWS MUST COMPLY WITH NCC VOL. 2 PART 3.9.2.5 (a) & (b) AND NCC VOL. 2 PART 3.9.5 (c) & (d).
13. GLAZING TO ALL BATHROOMS AND ENSUITES TO BE TOUGHENED GLASS
14. SLIP RESISTANCE TO COMPLY WITH NCC AND AS4586.



FIRST FLOOR PLAN



GROUND FLOOR PLAN



NOTES:

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 6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
 7. All electrical power & light outlets to be determined by owner.
 8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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 BUILDING DESIGN CONSULTANTS

No.	AMENDMENT	DATE



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PROJECT
PROPOSED VERANDAH'S AT
NO. 190 RIVERVIEW ROAD
AVALON BEACH N. S. W. 2107
CLIENT
STEPHEN ARCHER & MELANIE WILSON

DATE 10/11/2021	SCALE 1:100
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DRAWING No.	ISSUE
2084-2	

FIRST FLOOR FL 35.55

GROUND FLOOR FL 32.60

RIGHT
OF
WAY

WEST ELEVATION

CORROBORO CUSTOM ORB ROOF SHEETING
FIXED NEW OVER FOIL LINED BUSHKET

FIRST FLOOR FL 35.55

GROUND FLOOR FL 32.60

EW 31.70

EW 31.65

EW 30.40

NORTH ELEVATION

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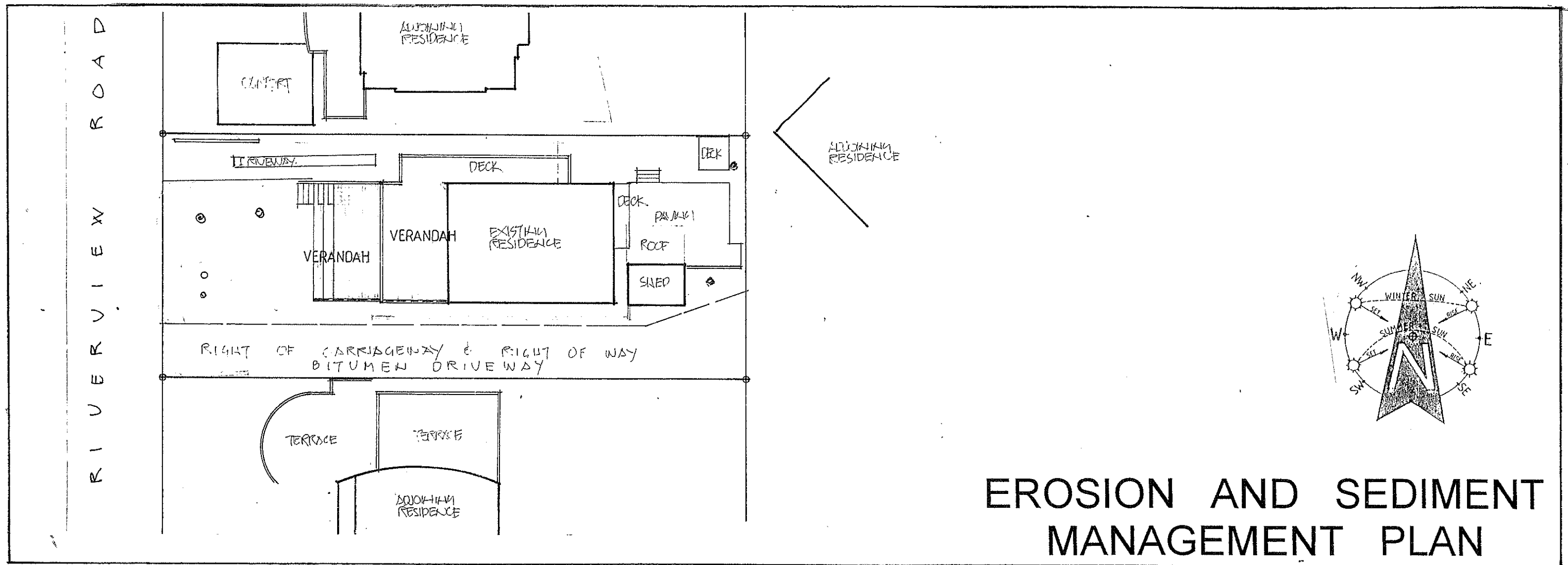
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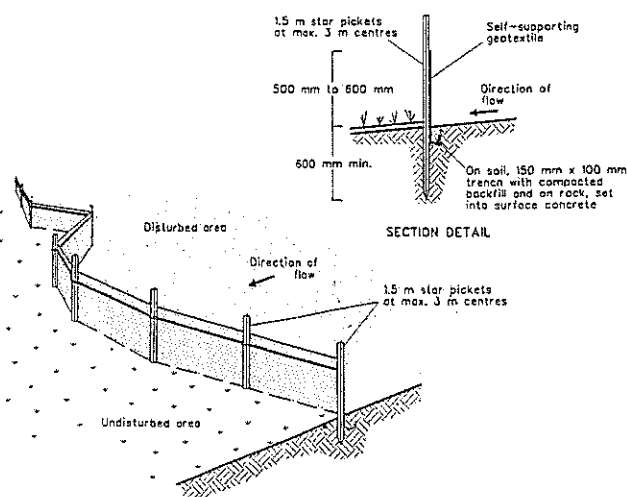
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DATE 10/11/2021	SCALE 1:100
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DRAWING No.	ISSUE
2084-4	



EROSION AND SEDIMENT MANAGEMENT PLAN

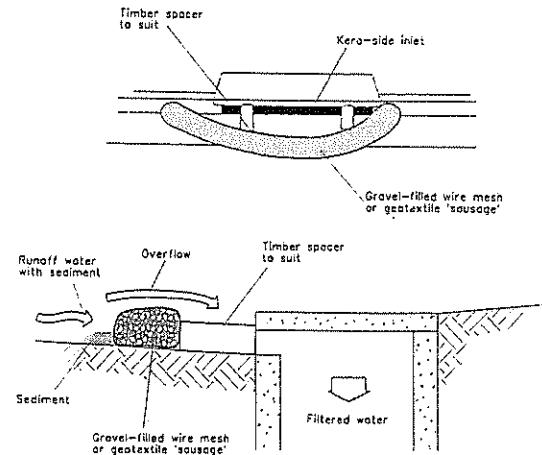
SEDIMENT FENCE



CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3.0 METRES APART.
3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE. FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.

MESH AND GRAVEL INLET FILTER

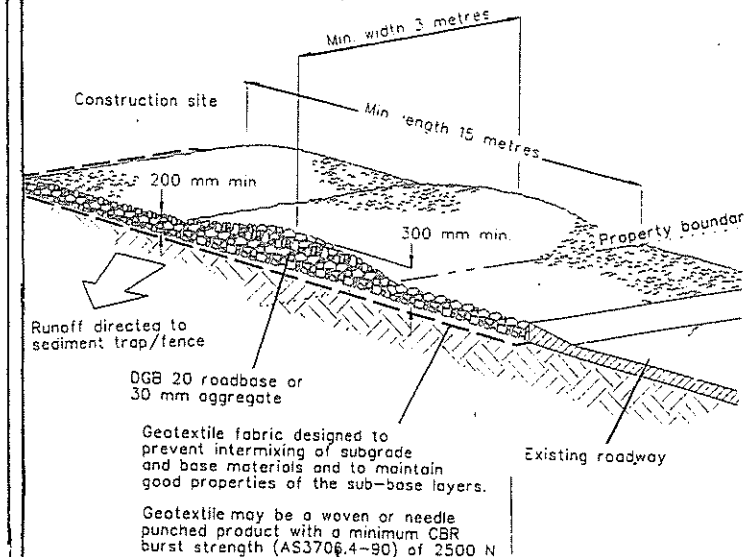


NOTE: This practice only to be used where specified in an approved SWMP/ESCP.

CONSTRUCTION NOTES

1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT.
2. FILL THE SLEEVE WITH 25MM TO 50MM GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150MM HIGH X 400MM WIDE.
4. PLACE THE FILTER AT THE OPENING OF THE KERB INLET LEAVING A 100MM GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY.
5. MAINTAIN THE OPENING WITH SPACER BLOCKS.
6. FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER.
7. FIT TO ALL KERB INLETS AT SAG POINTS

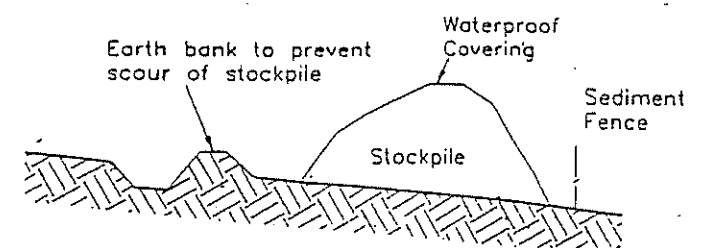
STABILISED SITE ACCESS



CONSTRUCTION NOTES

1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30MM AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
5. CONSTRUCT HUMPS IMMEDIATELY WITHIN THE BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

BUILDING MATERIAL STOCKPILES DETAIL



CERTIFICATION

I JOHN EVANS MEMBER No. 365-96 OF THE BUILDING DESIGNERS ASSOCIATION OF N. S. W. INC, HEREBY CERTIFY THAT THIS DRAWING HAS BEEN DESIGNED IN WITH THE REQUIREMENTS OF THE LANDCOM PUBLICATION MANAGING URBAN STORMWATER. SOILS AND CONSTRUCTION-VOLUME 1, 4TH EDITION (2004)

Signed

[Signature]

Date

10/11/2021

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PROJECT
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STEPHEN ARCHER & MELANIE WILSON

DATE 10/11/2021 SCALE
DRAWN JOE CHECKED
DRAWING No. 2084-5 ISSUE

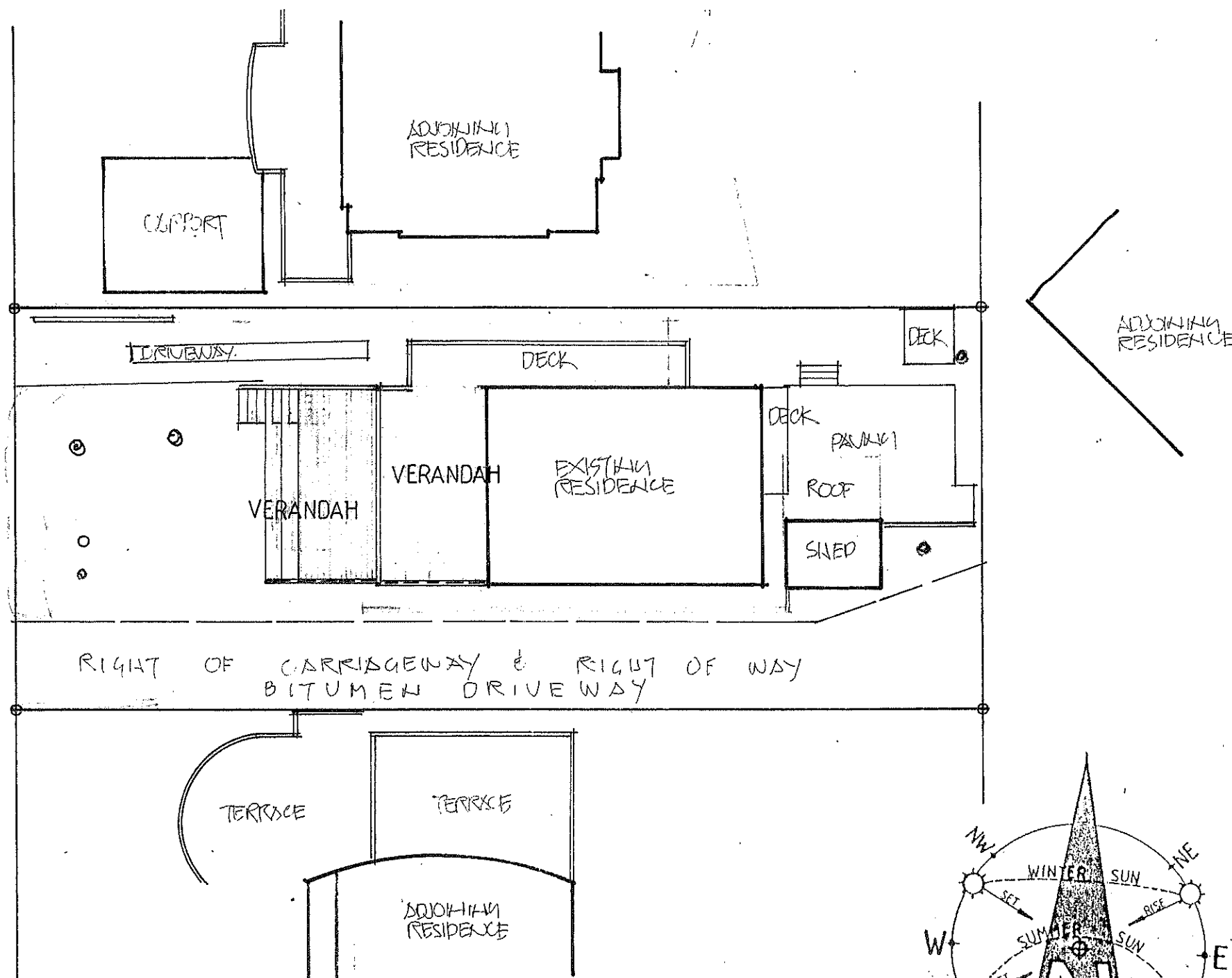
NOTE:
ALL DRAINAGE WORKS TO BE DESIGNED AND IMPLEMENTED
IN ACCORDANCE WITH THE REQUIREMENTS OF
Section 3.1.2 OF THE BUILDING CODE OF AUSTRALIA AND
AS/NZS 3500 3.2 - STORMWATER DRAINAGE

ALL COMPONENTS OF THE EXISTING DRAINAGE SYSTEM TO BE RETAINED
MUST BE CHECKED DURING CONSTRUCTION TO BE IN GOOD WORKING CONDITION
AND AT LEAST OF THE CAPACITY INDICATED ON THIS DRAWING. ANY
DRAINAGE COMPONENTS OR CONNECTIONS FOUND TO BE IN UNSATISFACTORY
CONDITION MUST BE UPGRADED OR REPLACED AS REQUIRED. LOCATION OF
EXISTING PIPEWORK HAS BEEN ESTIMATED FROM VISIBLE DRAINAGE
COMPONENTS AND MUST BE CONFIRMED DURING CONSTRUCTION. CONSULT
ENGINEER IN THE EVENT OF ANY SIGNIFICANT DISCREPANCIES.



- NOTES:**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, STRUCTURAL DRAWINGS AND THE SPECIFICATION.
 - PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY THEMSELVES OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE DRAWINGS AND ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
 - THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISED PONDING OF SURFACE RUN-OFF.
 - ALL SWD PIPES ARE 100 mm UPVC AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE
 - THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION & SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT.
 - TOPSOIL SHALL BE STRIPED & STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED.
 - THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.

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**CONNECT ALL NEW STORMWATER
LINES TO THE EXISTING SYSTEM**

**STORMWATER
CONCEPT PLAN**

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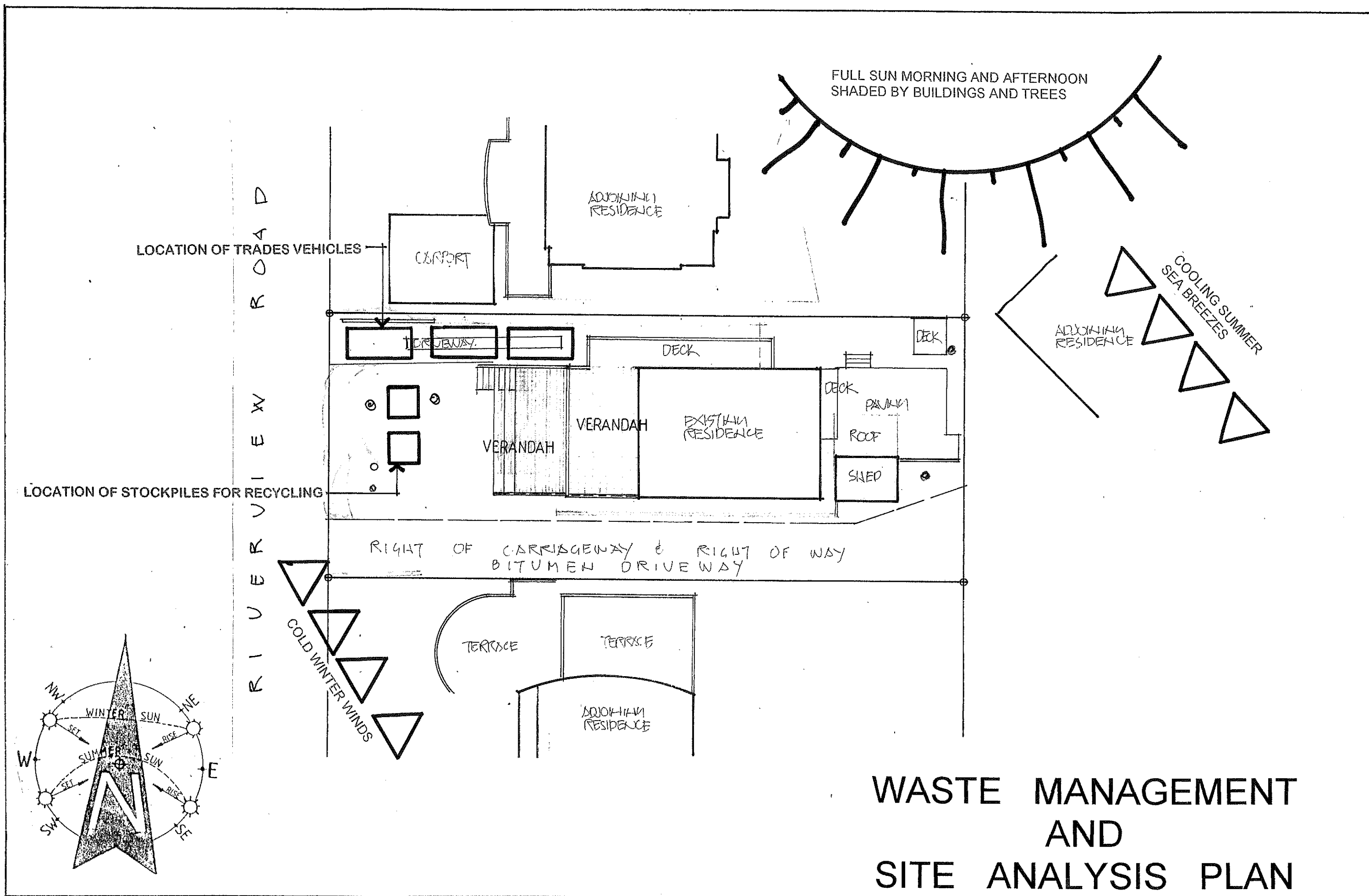
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WASTE MANAGEMENT AND SITE ANALYSIS PLAN

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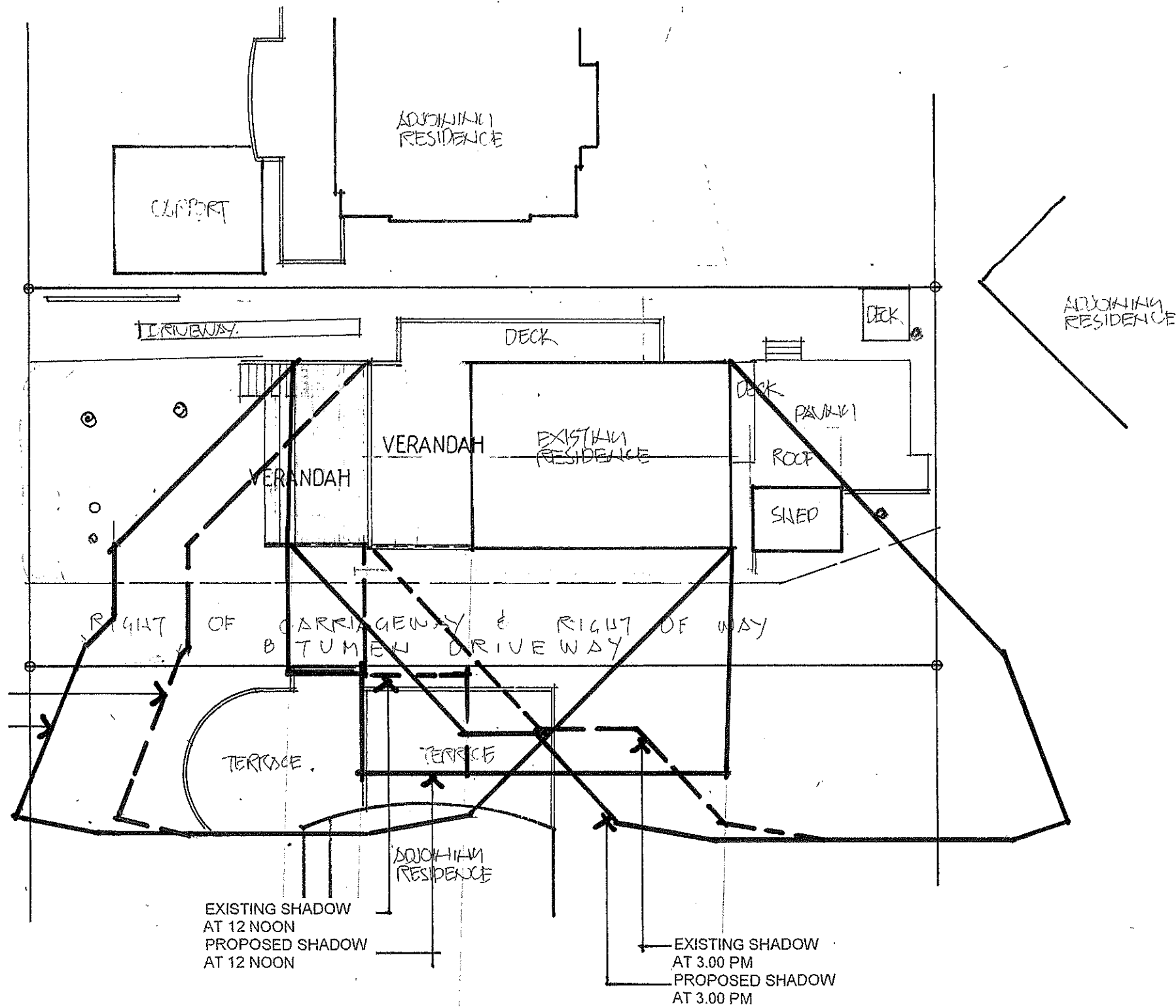


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AVALON BEACH N. S. W. 2107
CLIENT
STEPHEN ARCHER & MELANIE WILSON

DATE 10/11/2021	SCALE 1:200
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DRAWING No.	ISSUE
2084-7	

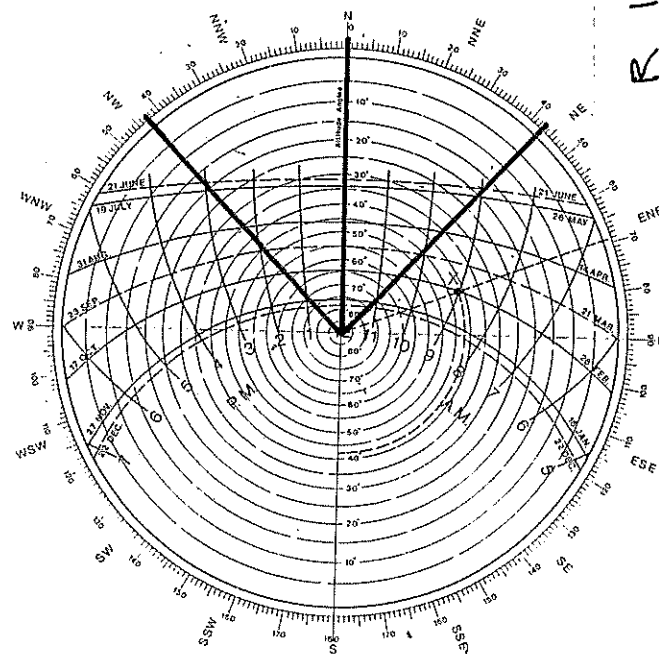
RIVERVIEW ROAD



EXISTING SHADOW
AT 9.00 AM
PROPOSED SHADOW
AT 9.00 AM

EXISTING SHADOW
AT 12 NOON
PROPOSED SHADOW
AT 12 NOON

EXISTING SHADOW
AT 3.00 PM
PROPOSED SHADOW
AT 3.00 PM



SHADOW DIAGRAM

JUNE 21

SCALE 1 : 200

SHADOW CERTIFICATION

I JOHN EVANS SENIOR BUILDING DESIGNER OF J.D. EVANS & COMPANY PTY LIMITED
EST. 1978 HEREBY CERTIFY THAT THE SHADOW DIAGRAMS ARE ACCURATE

Signed

Date

10/11/21

No.	AMENDMENT	DATE



J.D. EVANS and COMPANY
DESIGN AND BUILDING CONSULTANTS
UNIT 7, 6 JUBILEE AVENUE, WARRIEWOOD 2102
PHONE 9999 4566 MOBILE 0418 976 596
www.jdeco.com.au

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DATE 10/11/2021	SCALE 1:200
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DRAWING No.	ISSUE
2084-8	