

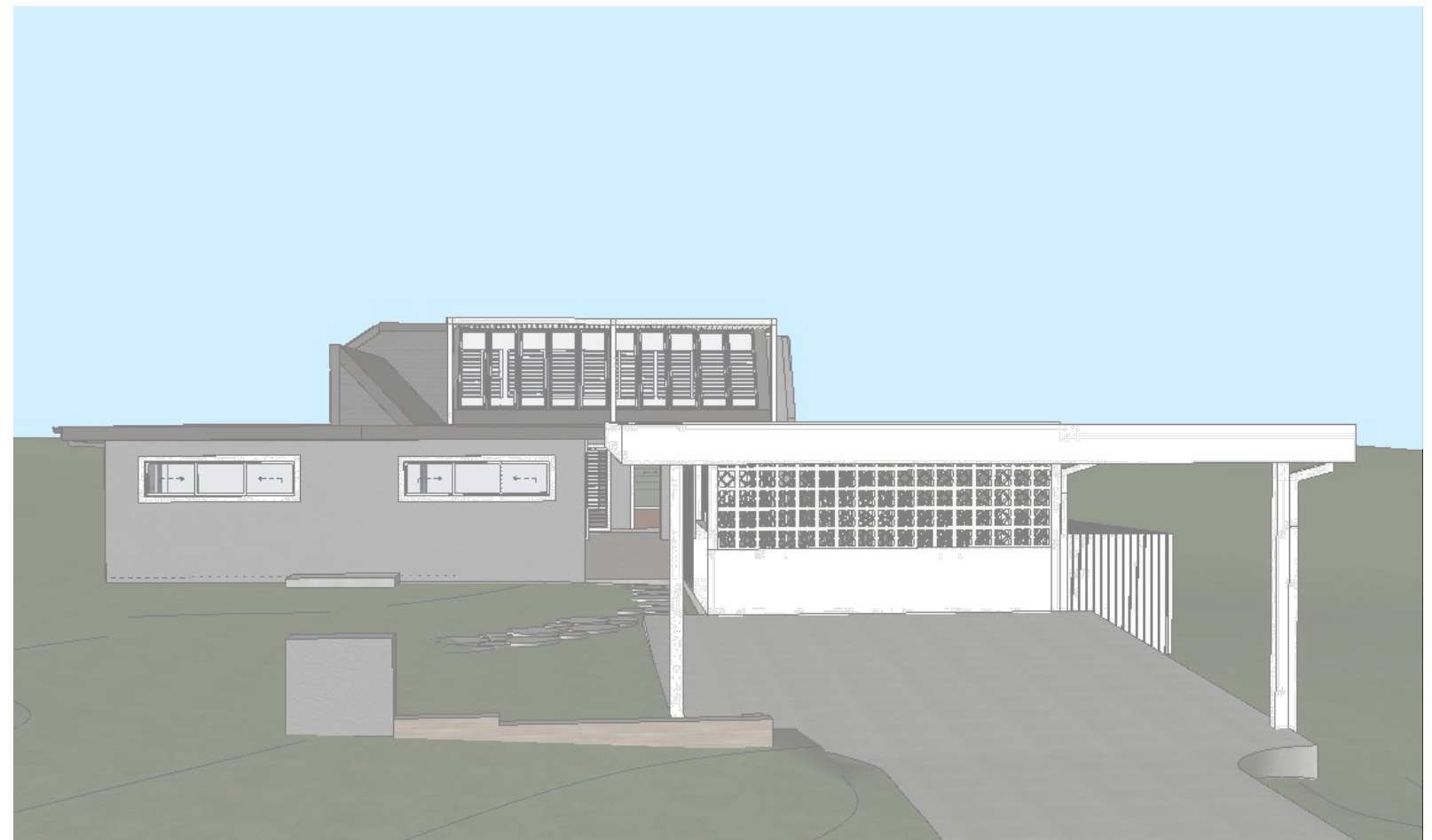
progressive plans

Residential Dwelling
NEWPORT, NSW 2106
19 June 2024
Issue A

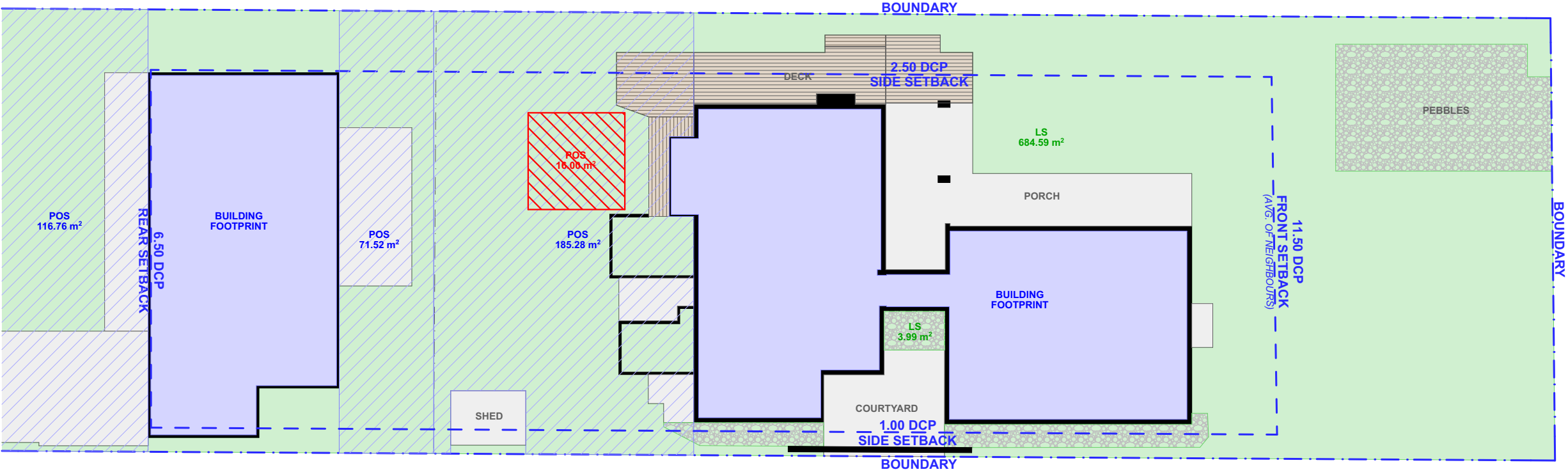
Prepared for
ALLISON & ANDREW O'NEILL

Development Application

75 BARDON ROAD



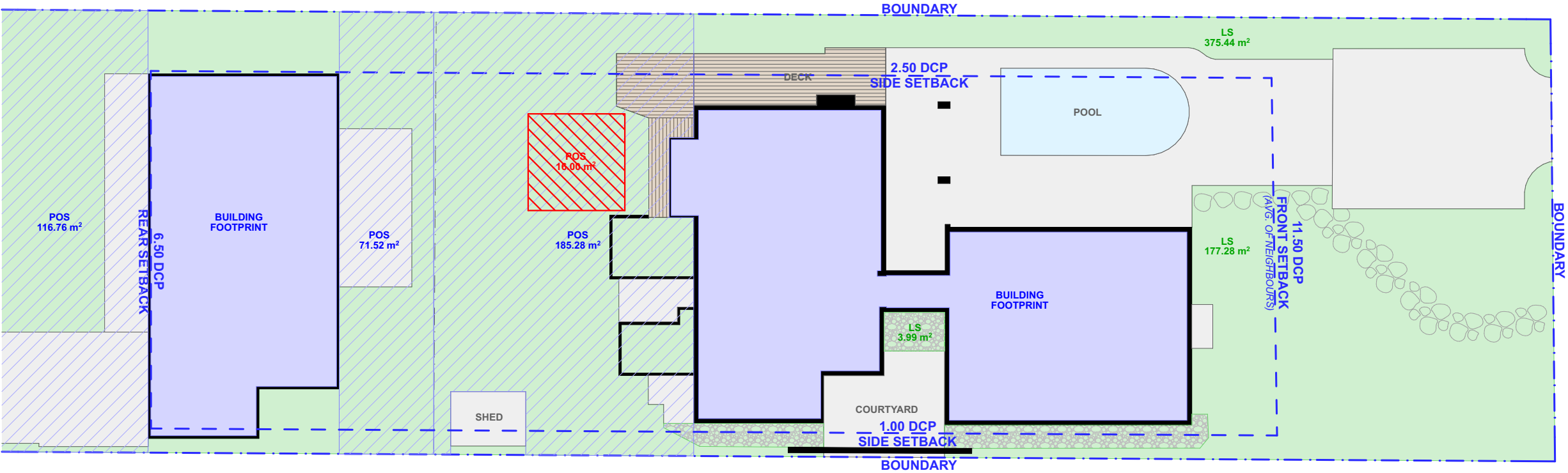
NO:	SHEET NAME	DATE
DA00	COVER PAGE	19/6/2024
DA01	SHEET INDEX	19/6/2024
DA02	AREA CALCULATIONS	19/6/2024
DA03	SITE ANALYSIS	19/6/2024
DA04	SITE - WASTE - SEDIMENT PLAN	19/6/2024
DA05	EXISTING GROUND FLOOR PLAN	19/6/2024
DA06	PROPOSED GROUND FLOOR PLAN	19/6/2024
DA07	EXISTING FIRST FLOOR PLAN	19/6/2024
DA08	PROPOSED FIRST FLOOR PLAN	19/6/2024
DA09	EXISTING ROOF PLAN	19/6/2024
DA10	PROPOSED ROOF / CONCEPT STORMWATER PLAN	19/6/2024
DA11	ELEVATIONS - NORTH & SOUTH	19/6/2024
DA12	ELEVATIONS - EAST & WEST	19/6/2024
DA13	SECTIONS - A & B	19/6/2024
DA14	POOL PLAN	19/6/2024
DA15	POOL SECTION	19/6/2024
DA16	FINISHES BOARD	19/6/2024
DA17	SHADOW DIAGRAM - JUNE 21ST - 9AM	19/6/2024
DA18	SHADOW DIAGRAM - JUNE 21ST - 12PM	19/6/2024
DA19	SHADOW DIAGRAM - JUNE 21ST - 3PM	19/6/2024
DA20	BASIX REQUIREMENTS	19/6/2024



1

EXISTING AREA CALCULATIONS


1:200



2

PROPOSED AREA CALCULATIONS

1:200



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NOTES


THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.


REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24


LEGEND

 DWELLING WALLS

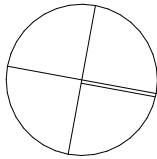
 CONCRETE / PAVERS

 TIMBER DECK

 POOL / WATER

 PEBBLES

NORTH POINT



CLIENTS:

ALLISON & ANDREW O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:	
AREA CALCULATIONS	
SCALE:	DATE:
1:200 @A3	19/6/2024
PROJECT NO:	DRAWING NO:
1010	DA02



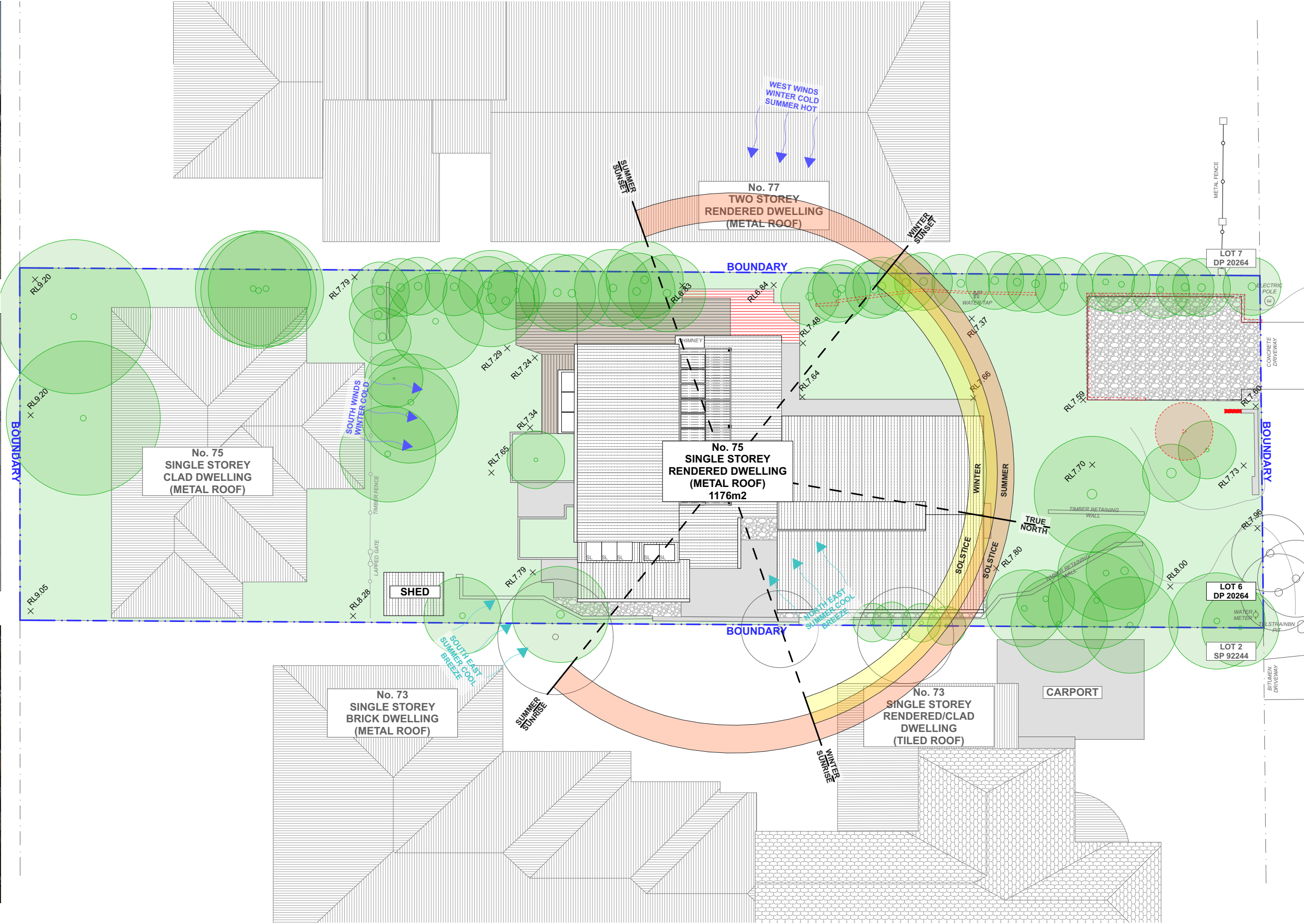
EXTERNAL VIEW





LOCATION MAP



AERIAL MAP



NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

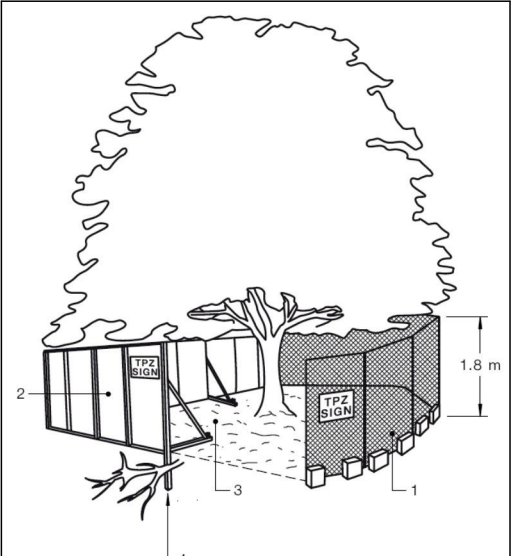
<div></div> <div>progressive plans</div> <div>0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES				LEGEND				ABBREVIATIONS		NORTH POINT		CLIENTS:		DRAWING TITLE:		
	THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.				<div><div><div></div>EXISTING</div><div><div></div>DEMOLISHED</div><div><div></div>EXISTING ROOF</div><div><div></div>PROPOSED ROOF</div><div><div></div>PEBBLES</div></div> <div><div><div></div>LANDSCAPE / GRASS</div><div><div></div>CONCRETE / PAVERS</div><div><div></div>TIMBER DECK</div><div><div></div>POOL / WATER</div><div><div></div>SEDIMENT EROSION FENCE</div></div>				DP: DEPOSIT PLAN RL: REDUCED LEVEL SP: STRATA PLAN				ALLISON & ANDREW O'NEILL		SITE ANALYSIS		
	REV. A				NOTES. DA SET				INITIAL SB		DATE 24.04.24		SITE ADDRESS:		SCALE:		
													75 BARDO ROAD NEWPORT, NSW, 2106		1200 @A3		
														PROJECT NO:		DRAWING NO:	
														1010		DA03	

SKIP BIN
RECYCLING

SKIP BIN
WASTE

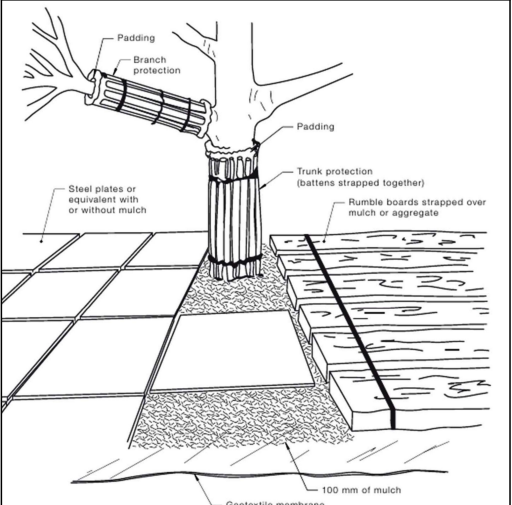
MATERIAL
STORAGE

SKIP BINS & MATERIAL STORAGE TO BE STORED IN
FRONT YARD OR DRIVEWAY



**TREE PROTECTION ZONE (TPZ)
FENCING (WHEN POSSIBLE):**

- CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET.
- ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.
- MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.
- BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.



**TREE PROTECTION ZONE (TPZ)
FENCING (NOT POSSIBLE):**


- FOR TRUNK AND BRANCH PROTECTION USE BOARDS AND PADDING THAT WILL PREVENT DAMAGE TO BARK. BOARDS ARE TO BE STRAPPED TO TREES, NOT NAILED, OR SCREWED.
- RUMBLE BOARDS SHOULD BE OF SUITABLE THICKNESS TO PREVENT SOIL COMPACTION AND ROOT DAMAGE.



1

SITE - WASTE - SEDIMENT PLAN

1:200



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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24

LEGEND

EXISTING

DEMOLISHED

EXISTING ROOF

PROPOSED ROOF

PEBBLES

LANDSCAPE / GRASS

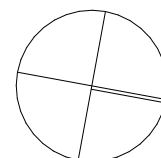
CONCRETE / PAVERS

TIMBER DECK

POOL / WATER

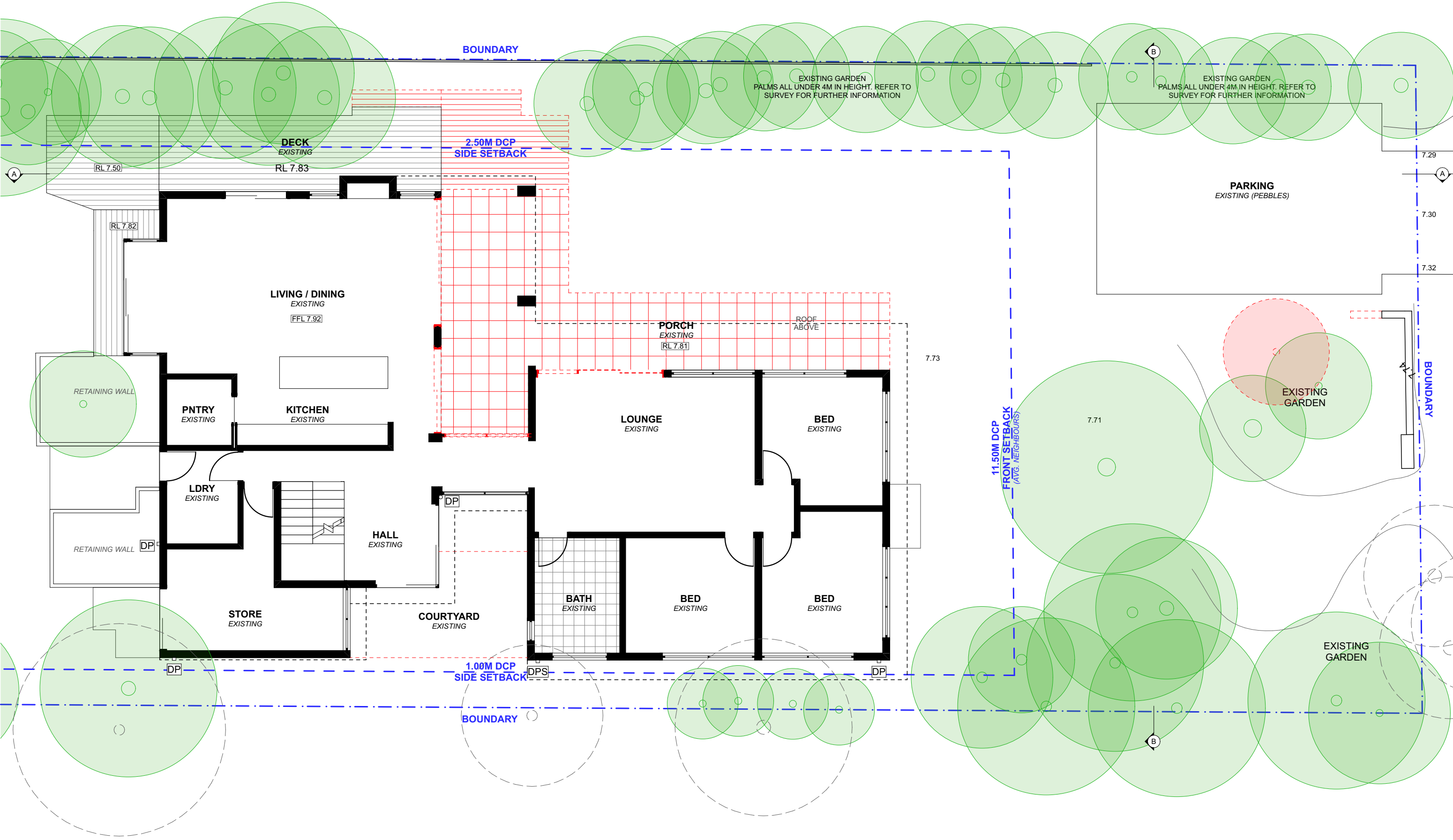
SEDIMENT EROSION FENCE

ABBREVIATIONS
DP: DEPOSIT PLAN
RL: REDUCED LEVEL
SP: STRATA PLAN

NORTH POINT


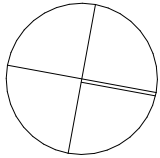
CLIENTS:
ALLISON & ANDREW O'NEILL
SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

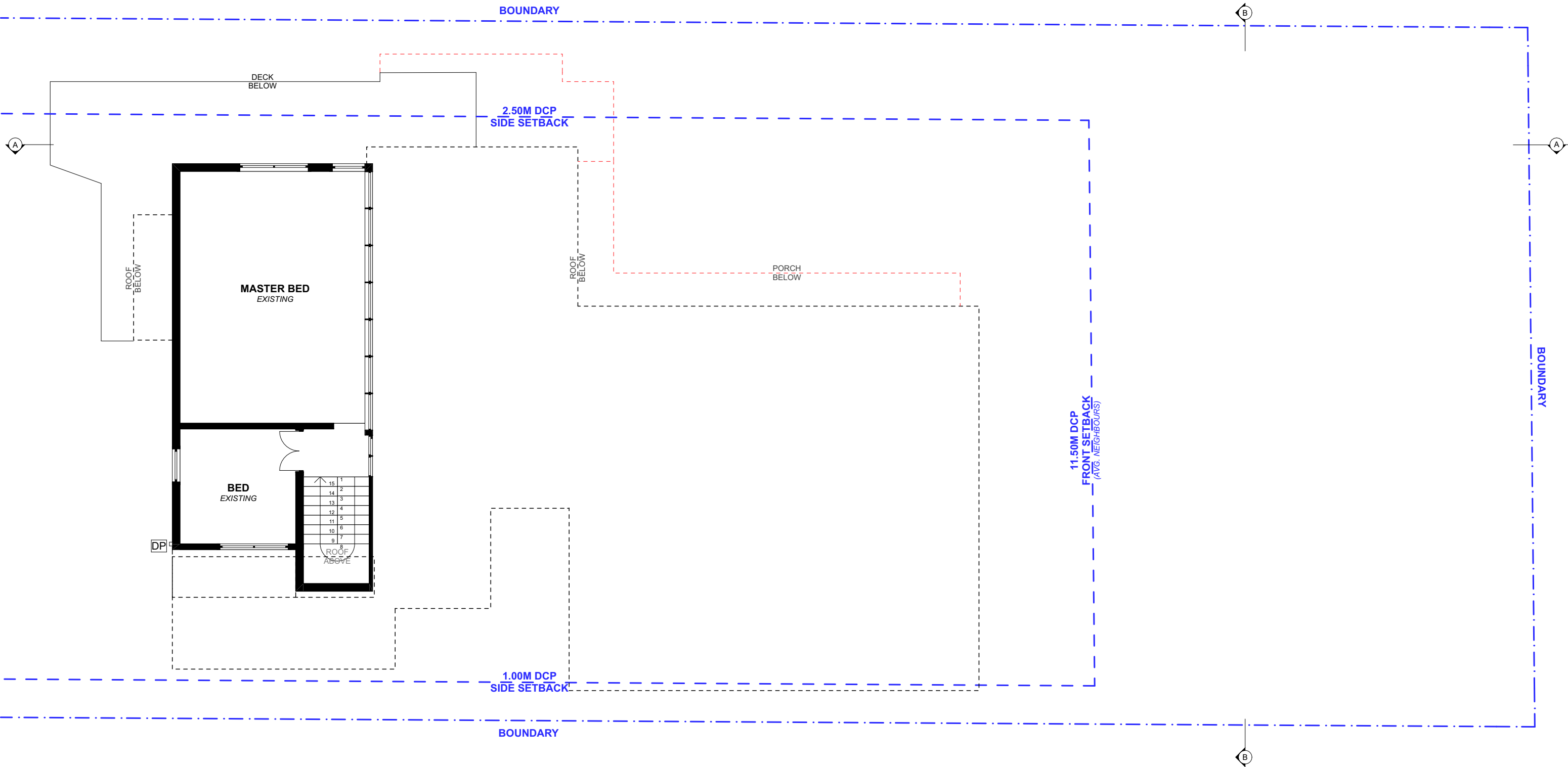
DRAWING TITLE:
SITE - WASTE - SEDIMENT PLAN
SCALE:
1200 @A3
PROJECT NO:
1010
DATE:
19/6/2024
DRAWING NO:
DA04



1 EXISTING GROUND FLOOR PLAN 1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001


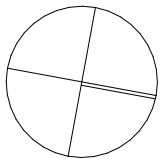
 <div>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: ALLISON & ANDREW O'NEILL		DRAWING TITLE: EXISTING GROUND FLOOR PLAN	
		A	DA SET	SB	24.04.24				SITE ADDRESS: 75 BARDO ROAD NEWPORT, NSW, 2106		SCALE: 1:100 @A3	DATE: 19/6/2024
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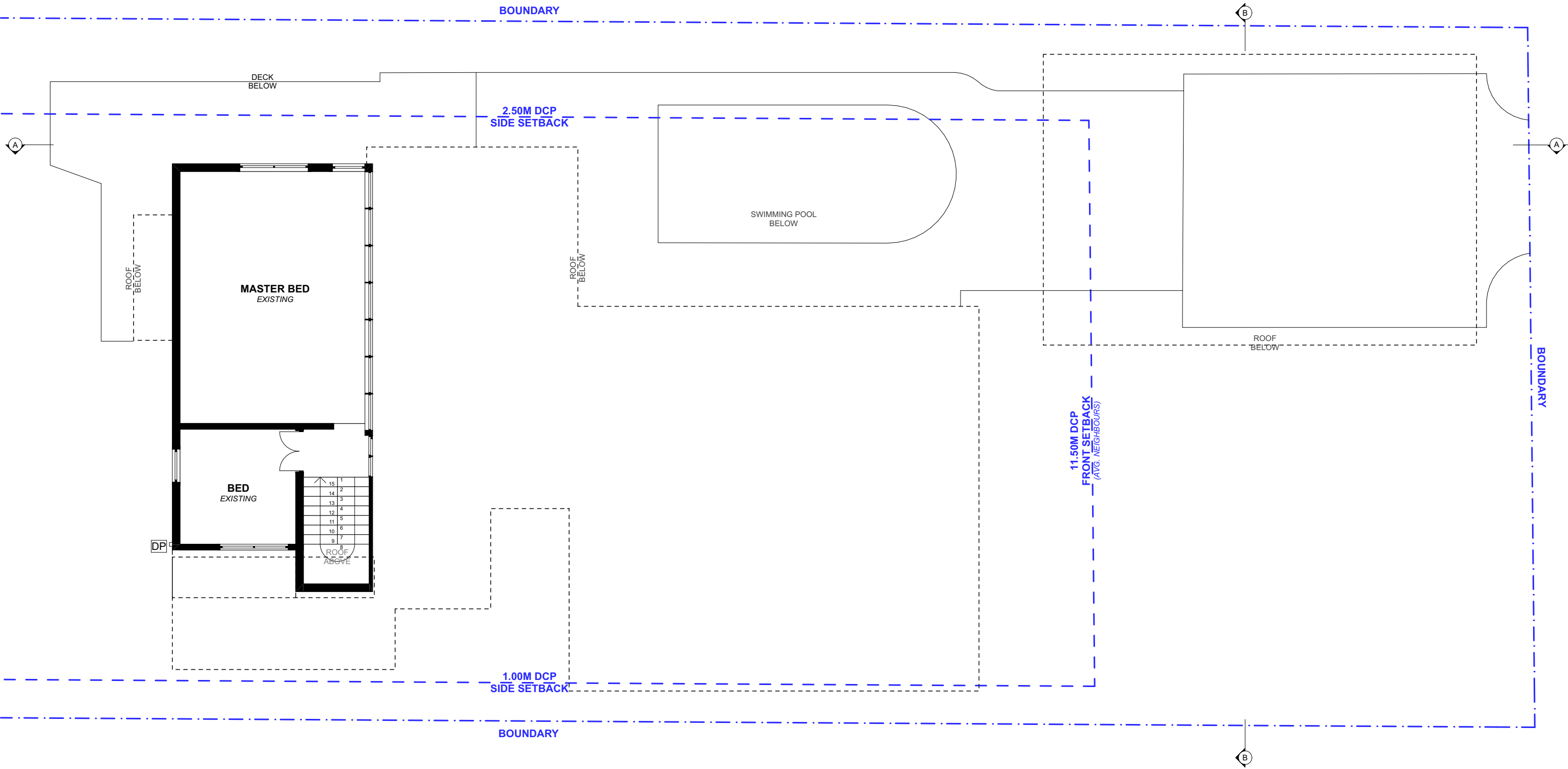


NOTE: NO PROPOSED CHANGE TO THIS LEVEL

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

1 EXISTING FIRST FLOOR PLAN 1:100

 <div>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: ALLISON & ANDREW O'NEILL		DRAWING TITLE: EXISTING FIRST FLOOR PLAN	
		A	DA SET	SB	24.04.24				SCALE: 1:100 @A3		DATE: 19/6/2024	
		SITE ADDRESS: 75 BARDO ROAD NEWPORT, NSW, 2106		PROJECT NO: 1010	DRAWING NO: DA07							


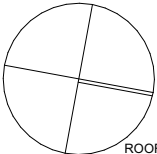


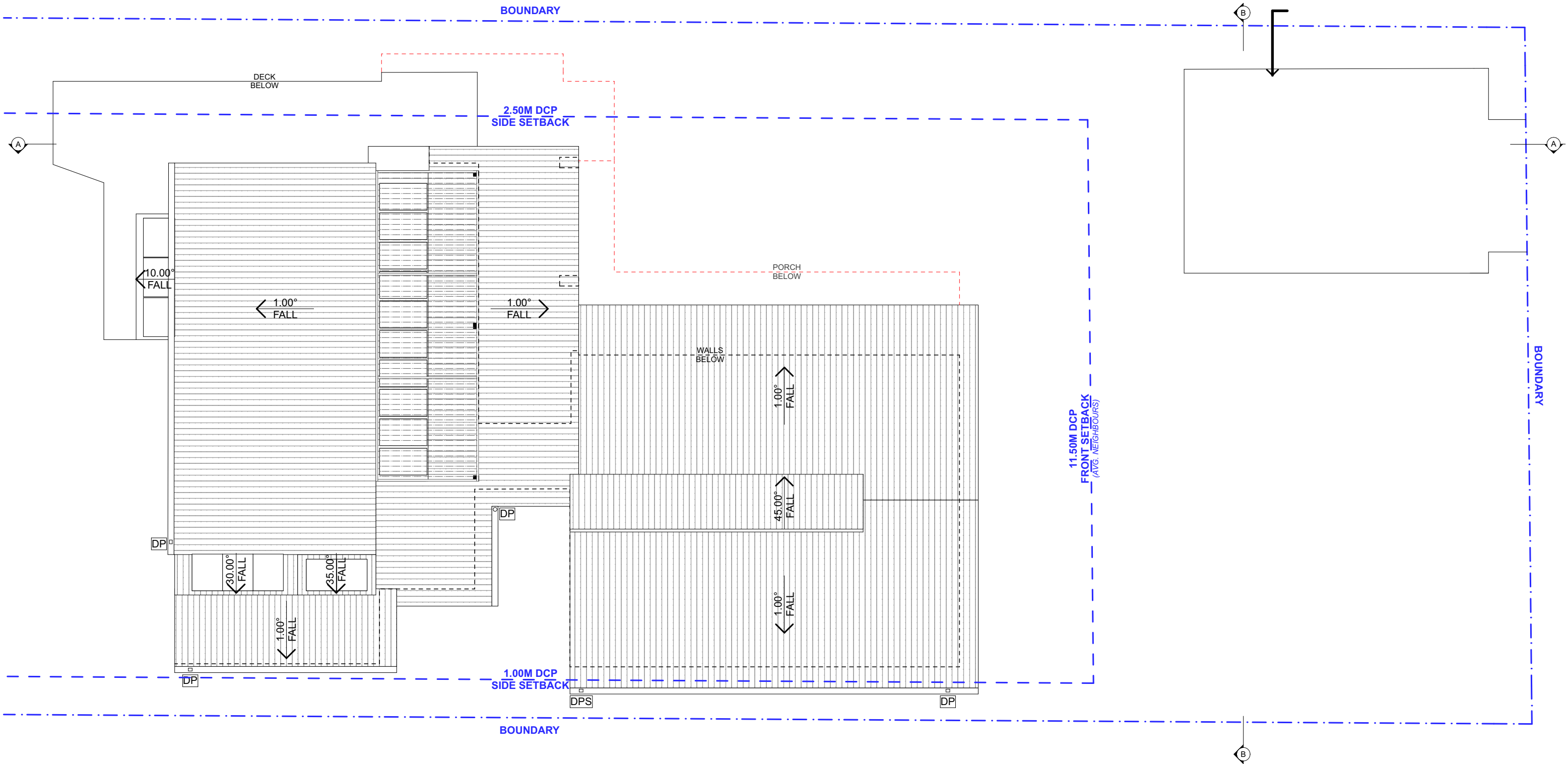
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PROPOSED FIRST FLOOR PLAN

1:100

NOTE: NO PROPOSED CHANGE TO THIS LEVEL

 <div>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND <div>EXISTING</div> <div>DEMOLISHED</div> <div>PROPOSED</div>	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: ALLISON & ANDREW O'NEILL SITE ADDRESS: 75 BARDO ROAD NEWPORT, NSW, 2106		DRAWING TITLE: PROPOSED FIRST FLOOR PLAN	
		A	DA SET	SB	24.04.24						SCALE: 1:100 @A3	DATE: 19/6/2024
											PROJECT NO: 1010	DRAWING NO: DA08


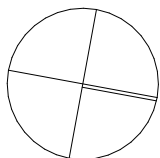


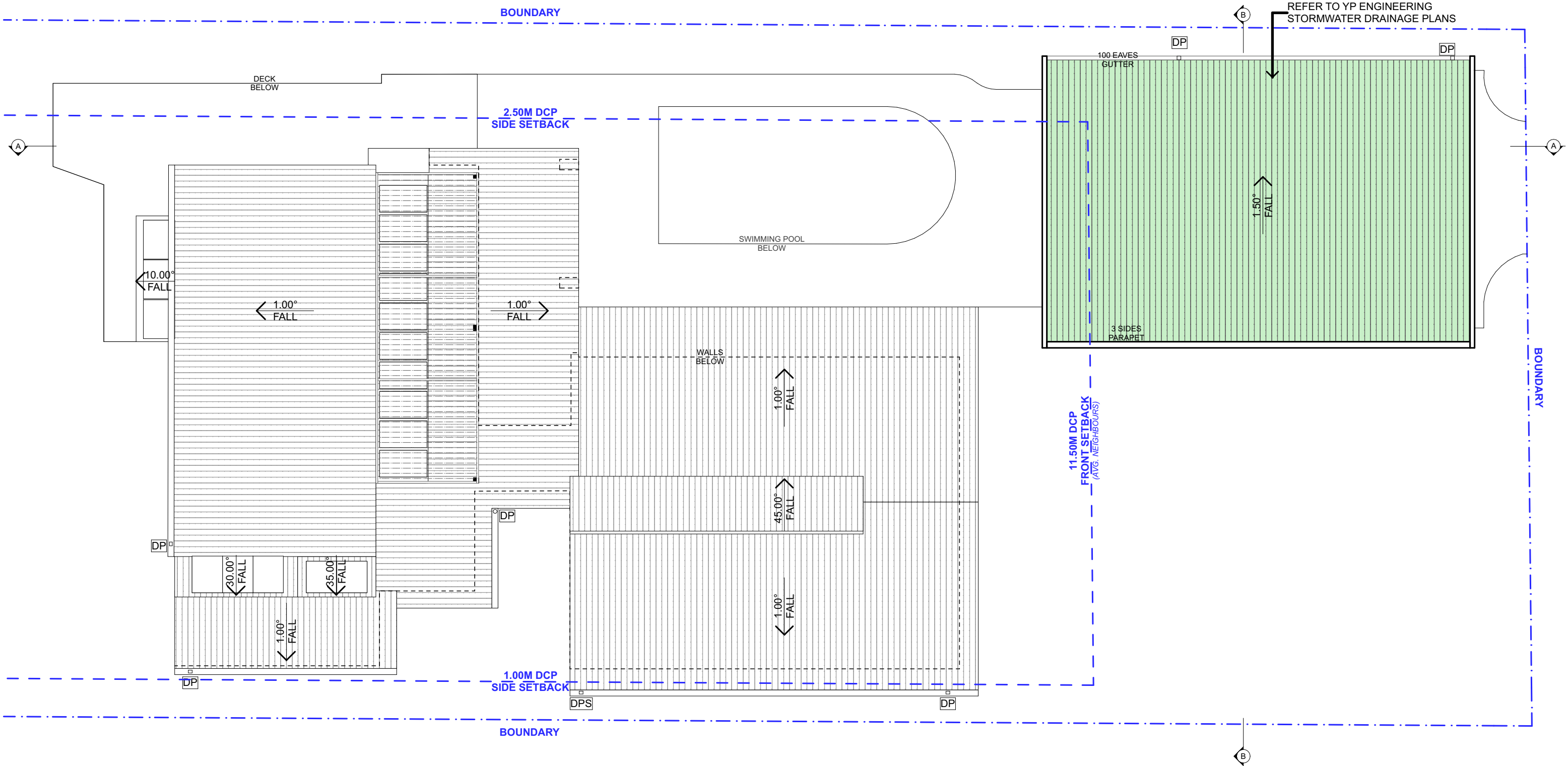
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EXISTING ROOF PLAN

1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

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		A	DA SET	SB	24.04.24					SCALE: 1:100 @A3	DATE: 19/6/2024
										PROJECT NO: 1010	DRAWING NO: DA09


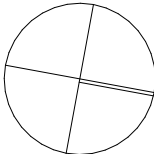


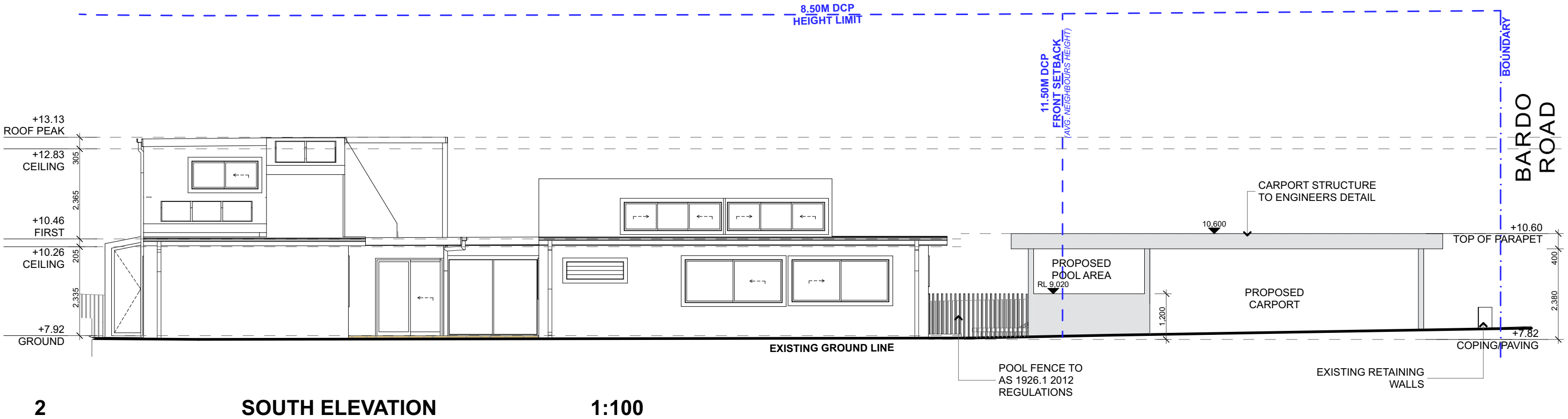
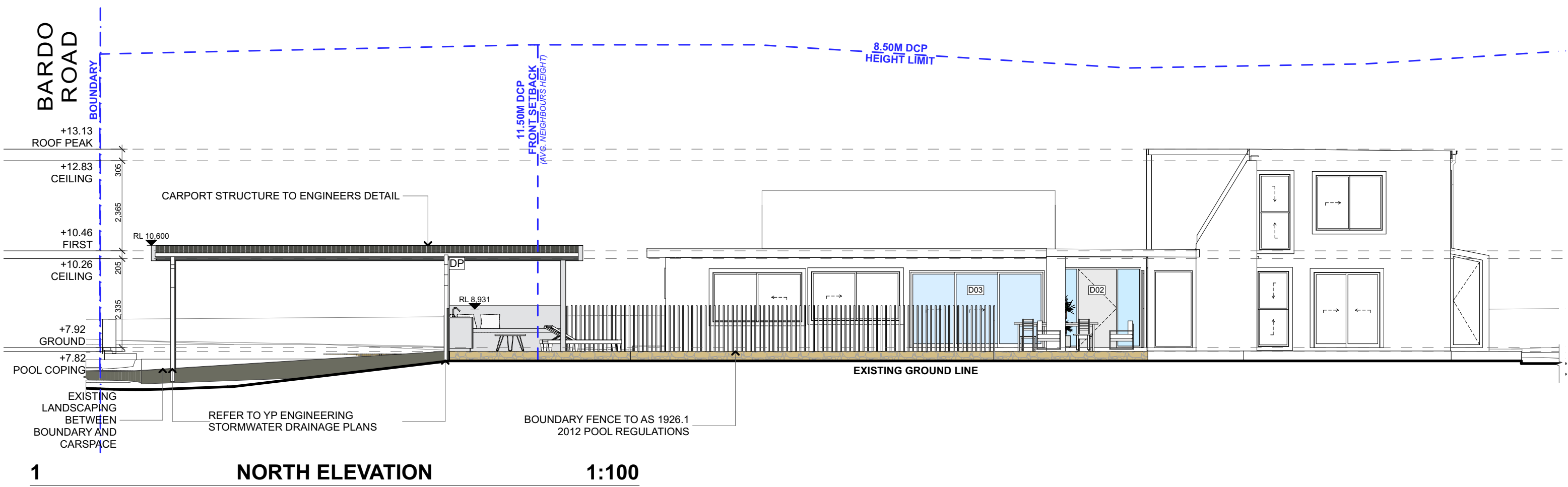
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PROPOSED ROOF / CONCEPT STORMWATER PLAN

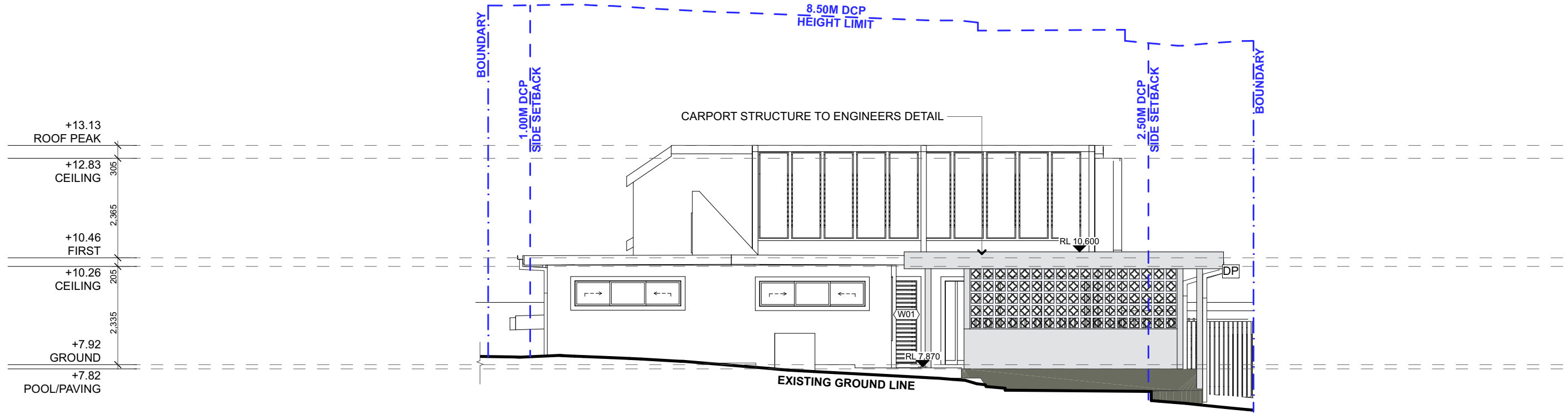
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NOTE: PROPOSED DOWNPIPES TO DRAIN INTO EXISTING STORMWATER LINES

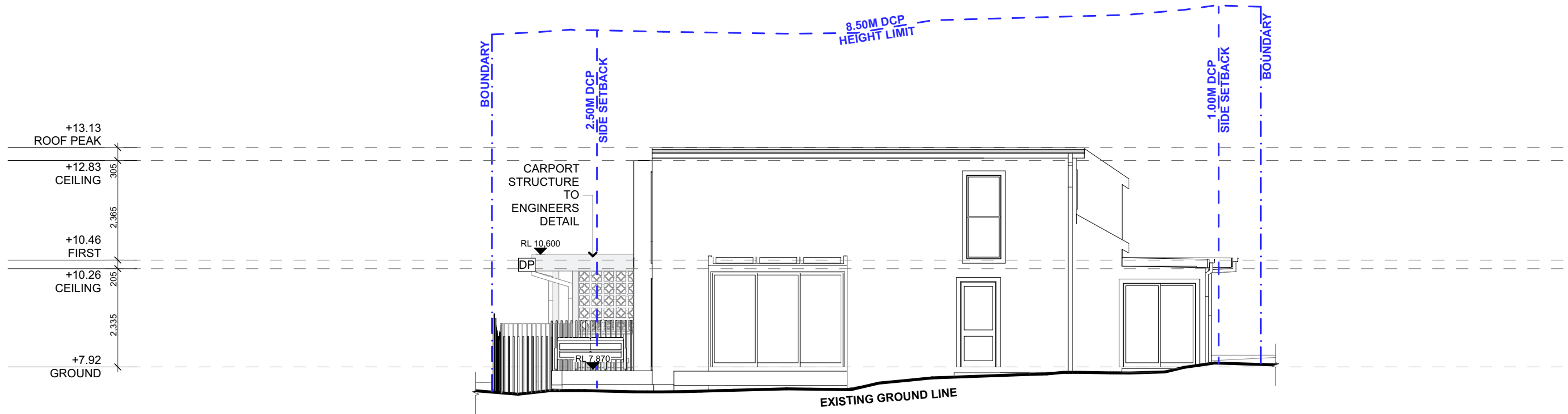
 <div><p>progressive plans</p><p>0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</p></div>	<p>NOTES</p> <p>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</p>	REV.	NOTES.	INITIAL	DATE	<p>LEGEND</p> <div><div></div> EXISTING</div> <div><div></div> DEMOLISHED</div> <div><div></div> PROPOSED</div>	<p>ABBREVIATIONS</p> <p>CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM</p>	<p>NORTH POINT</p> 	<p>CLIENTS:</p> <p>ALLISON & ANDREW O'NEILL</p> <p>SITE ADDRESS:</p> <p>75 BARDO ROAD NEWPORT, NSW, 2106</p>	<p>DRAWING TITLE:</p> <p>PROPOSED ROOF / CONCEPT STORMWATER PLAN</p>	
										<p>SCALE:</p> <p>1:100 @A3</p>	<p>DATE:</p> <p>19/6/2024</p>
										<p>PROJECT NO:</p> <p>1010</p>	<p>DRAWING NO:</p> <p>DA10</p>



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		A	DA SET	SB	24.04.24				SCALE: 1:100 @A3	DATE: 19/6/2024
									PROJECT NO: 1010	DRAWING NO: DA11



1 EAST ELEVATION 1:100



2 WEST ELEVATION 1:100



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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24

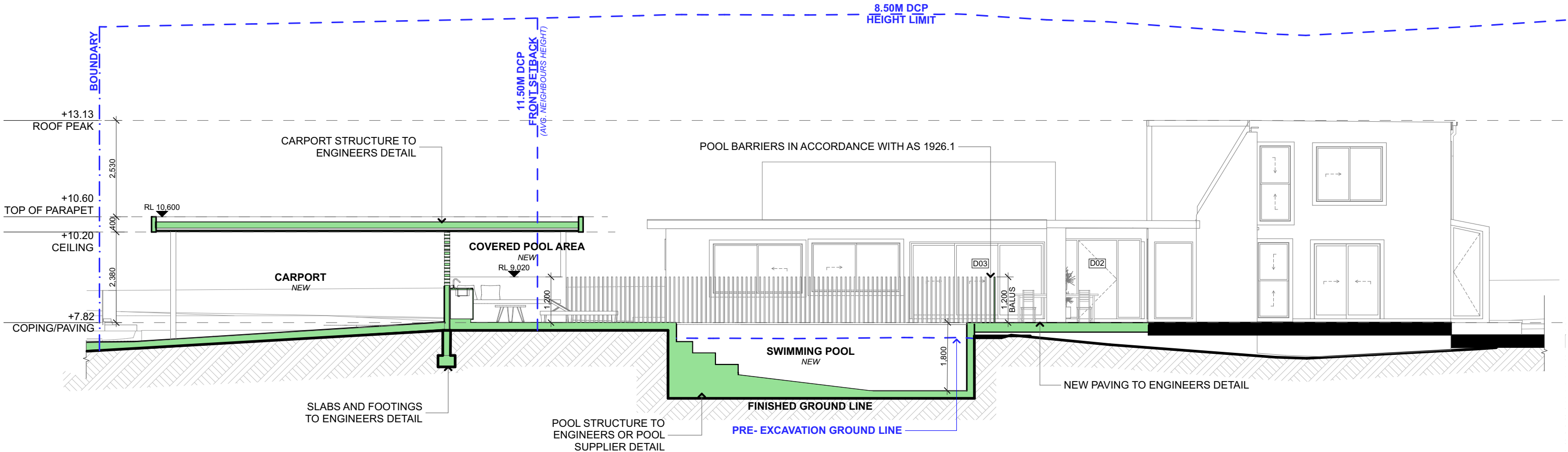
LEGEND
EXISTING
DEMOLISHED
RENDERED & PAINTED
TRAVERTINE PAVING
EARTH FILL

GLASS

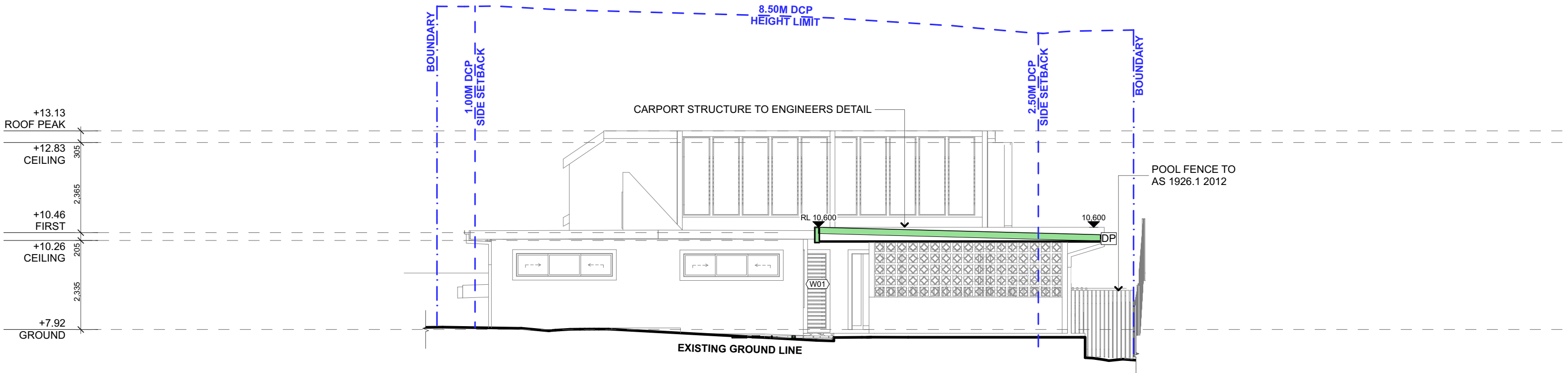
ABBREVIATIONS
CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL

CLIENTS:
ALLISON & ANDREW
O'NEILL
SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:
ELEVATIONS - EAST & WEST
SCALE:
1:100 @A3
DATE:
19/6/2024
PROJECT NO:
1010
DRAWING NO:
DA12



1 SECTION A 1:100



2 SECTION B 1:100



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REV.

NOTES.

INITIAL

DATE

LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL

CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

SECTIONS - A & B

SCALE:

1:100 @A3

DATE:

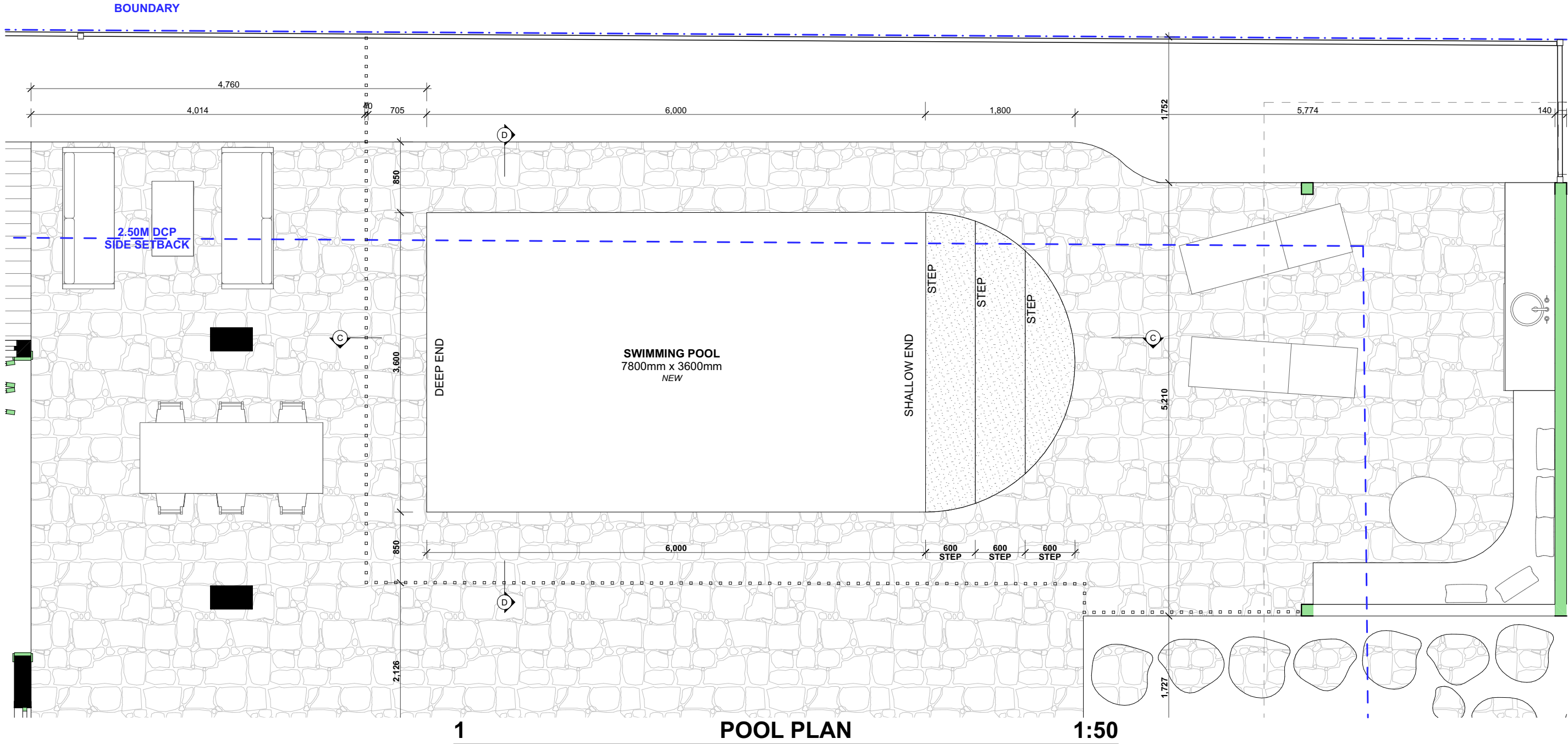
19/6/2024

PROJECT NO:

1010

DRAWING NO:

DA13



progressive plans

0400 699 850
16 BOWLING GREEN LANE
AVALON BEACH, NSW, 2107
HELLO@PROGRESSIVEPLANS.COM.AU
WWW.PROGRESSIVEPLANS.COM.AU

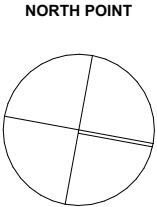
NOTES

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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24

LEGEND
EXISTING
DEMOLISHED
PROPOSED
PAVING

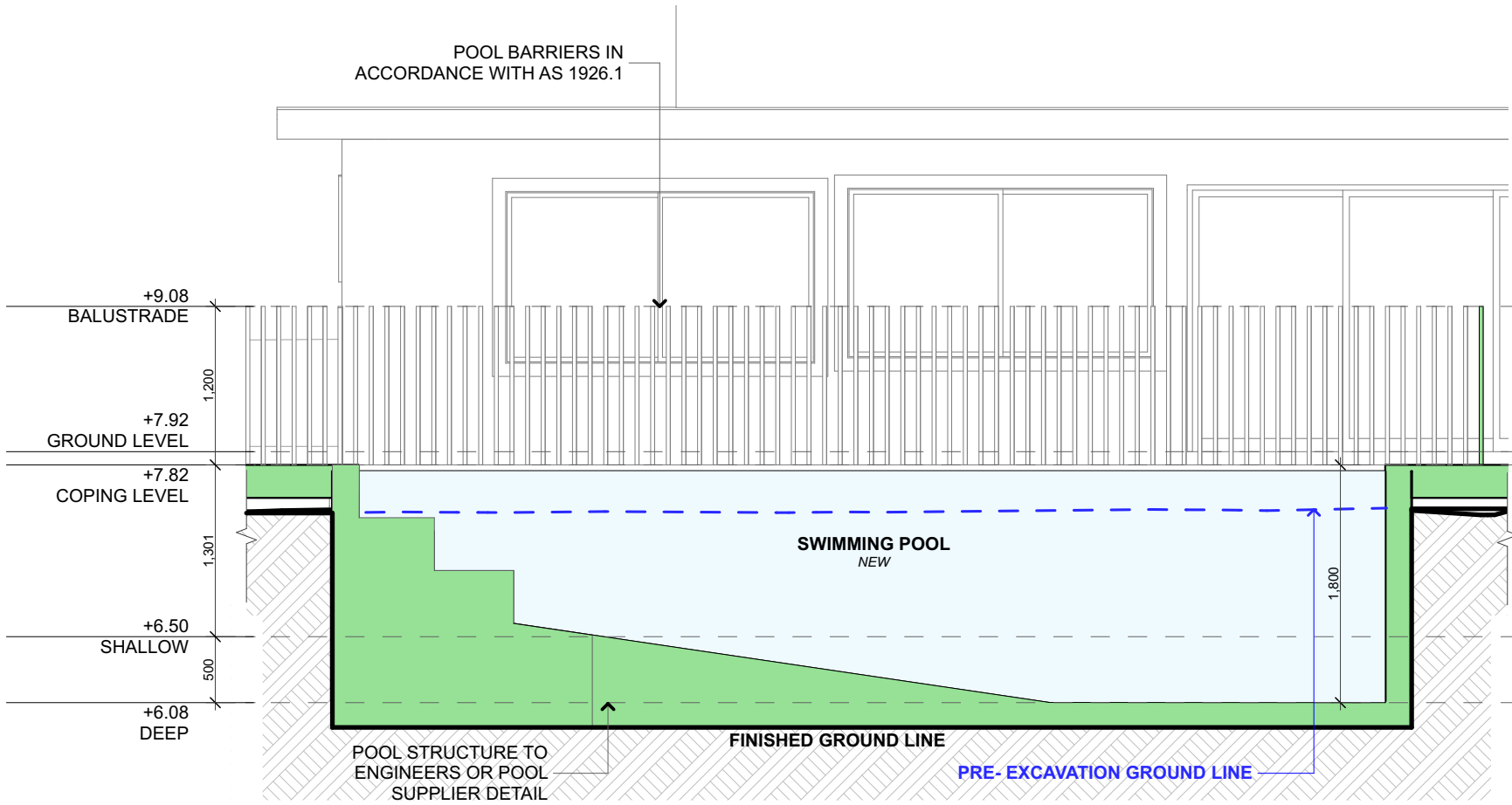
ABBREVIATIONS
CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL
SA: SMOKE ALARM



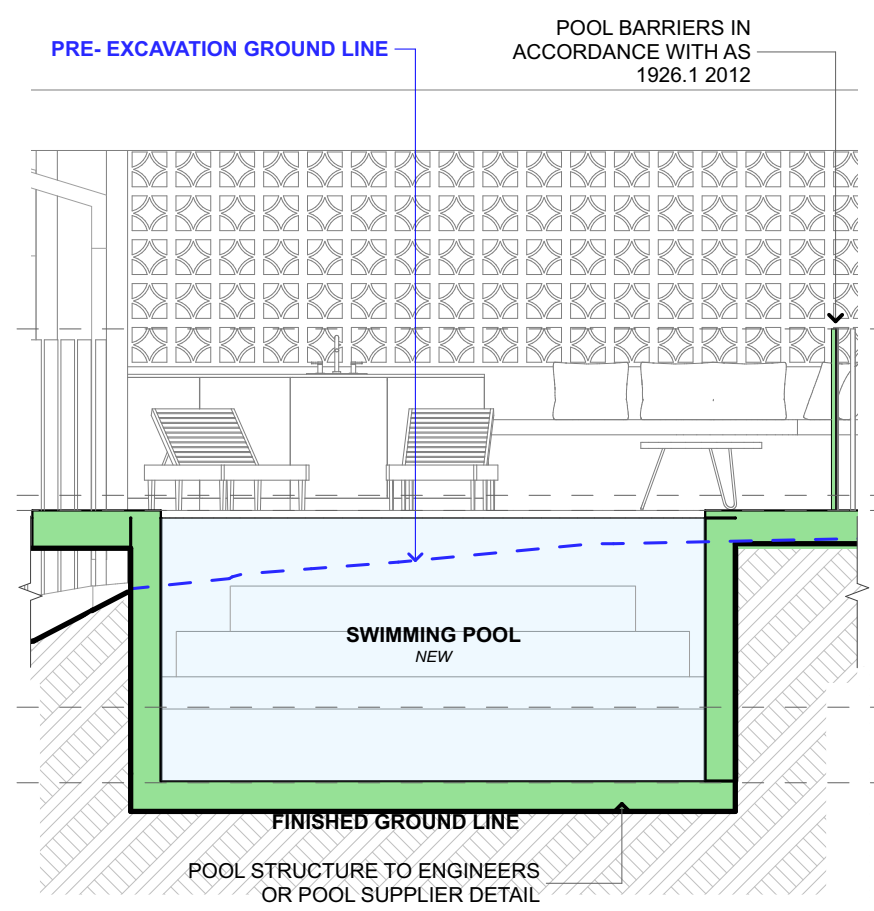
CLIENTS:
ALLISON & ANDREW O'NEILL

SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106


DRAWING TITLE:	
POOL PLAN	
SCALE: 1:50 @A3	DATE: 19/6/2024
PROJECT NO: 1010	DRAWING NO: DA14



1 SECTION C 1:50



2 SECTION D 1:50



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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24

LEGEND

EXISTING

DEMOLISHED

PROPOSED

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
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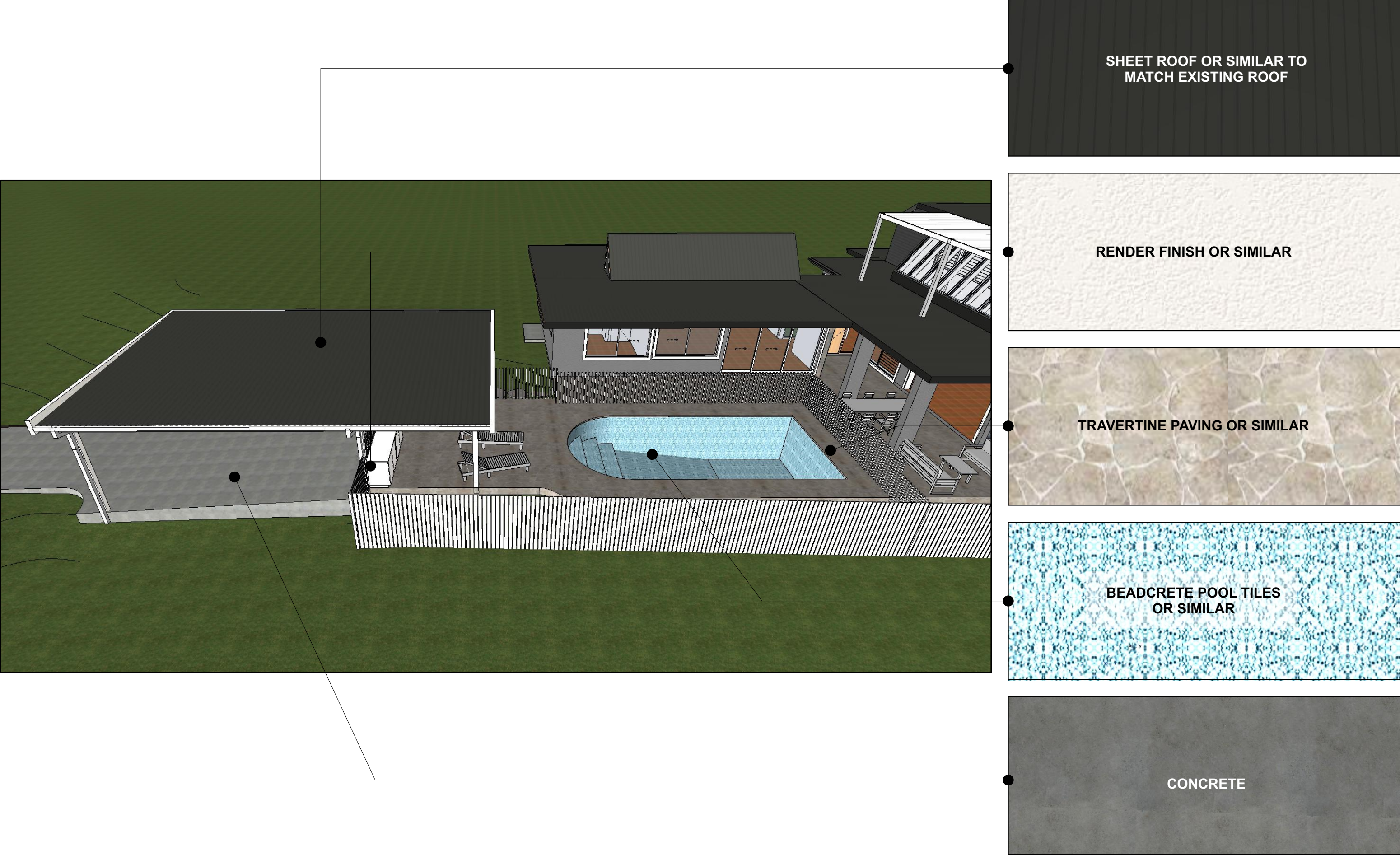
CLIENTS:

ALLISON & ANDREW O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:	
POOL SECTION	
SCALE:	DATE:
1:50 @A3	19/6/2024
PROJECT NO:	DRAWING NO:
1010	DA15



SHEET ROOF OR SIMILAR TO
MATCH EXISTING ROOF

RENDER FINISH OR SIMILAR

TRAVERTINE PAVING OR SIMILAR

BEADCRETE POOL TILES
OR SIMILAR

CONCRETE



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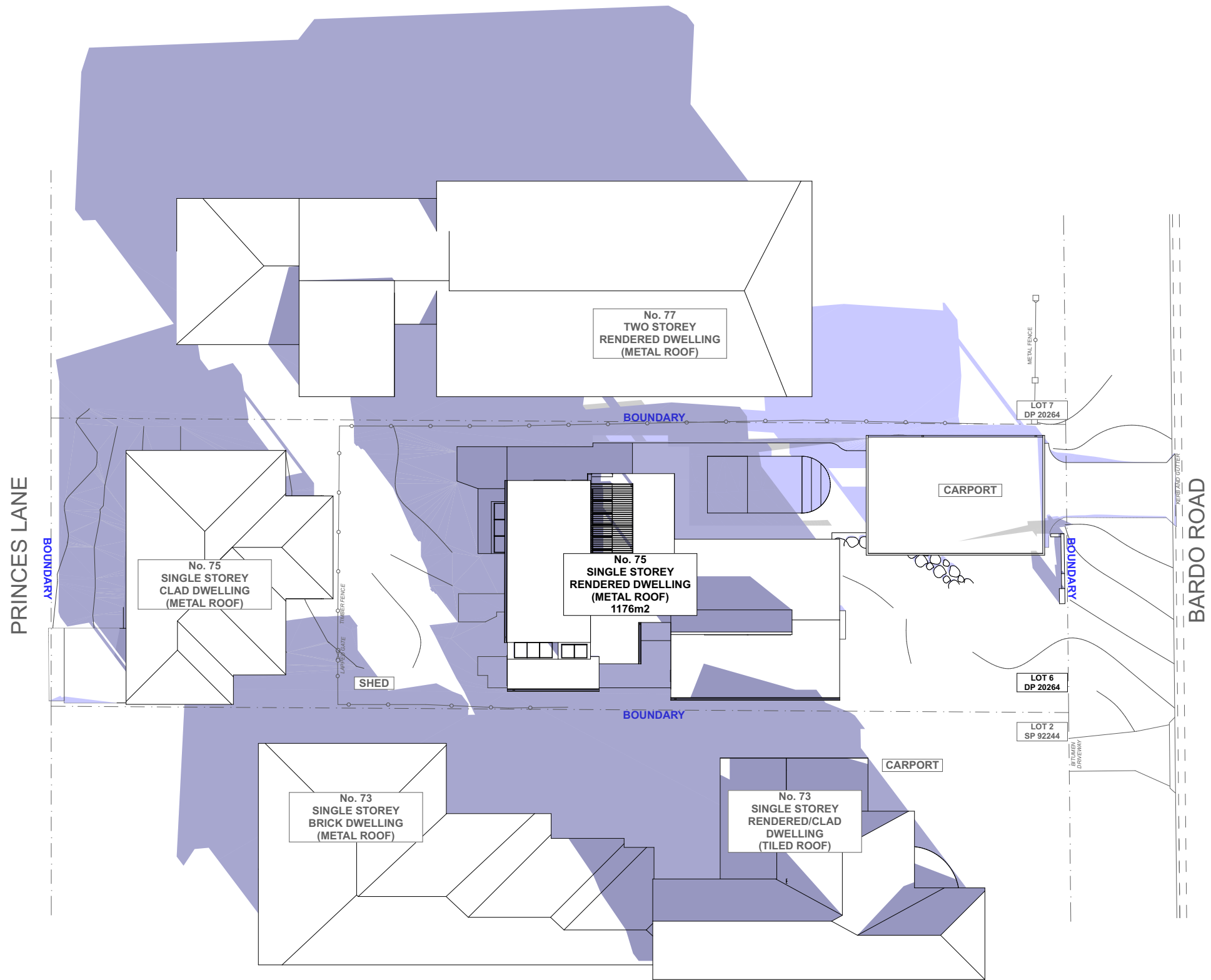
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COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24

CLIENTS:
ALLISON & ANDREW
O'NEILL
SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:
FINISHES BOARD

SCALE: NTS	DATE: 19/6/2024
PROJECT NO: 1010	DRAWING NO: DA16



1 SHADOW DIAGRAM - JUNE 21 - 9AM 1:300



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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24

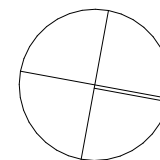
LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN
SP: STRATA PLAN

NORTH POINT



CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

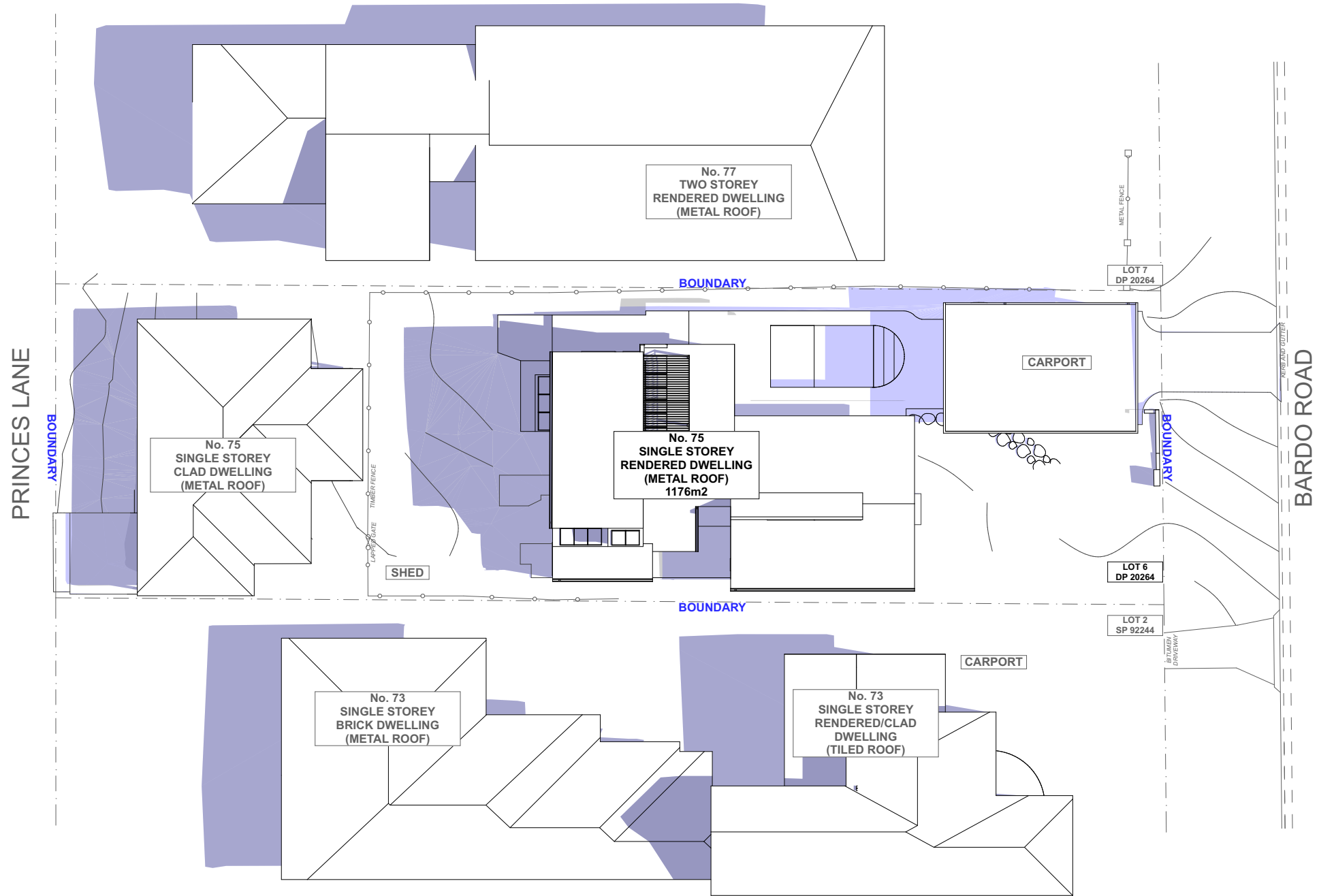
SHADOW DIAGRAM - JUNE 21ST - 9AM

SCALE:
1:300 @A3

DATE:
19/6/2024

PROJECT NO:
1010

DRAWING NO:
DA17



1 **SHADOW DIAGRAM - JUNE 21 - 12PM** 1:300



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REV.

NOTES.

INITIAL

DATE

A	DA SET	SB	24.04.24

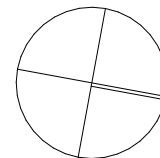
LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN
SP: STRATA PLAN

NORTH POINT



CLIENTS:

ALLISON & ANDREW O'NEILL

SITE ADDRESS:

**75 BARDO ROAD
NEWPORT, NSW, 2106**

DRAWING TITLE:

SHADOW DIAGRAM - JUNE 21ST - 12PM

SCALE:

1:300 @A3

PROJECT NO:

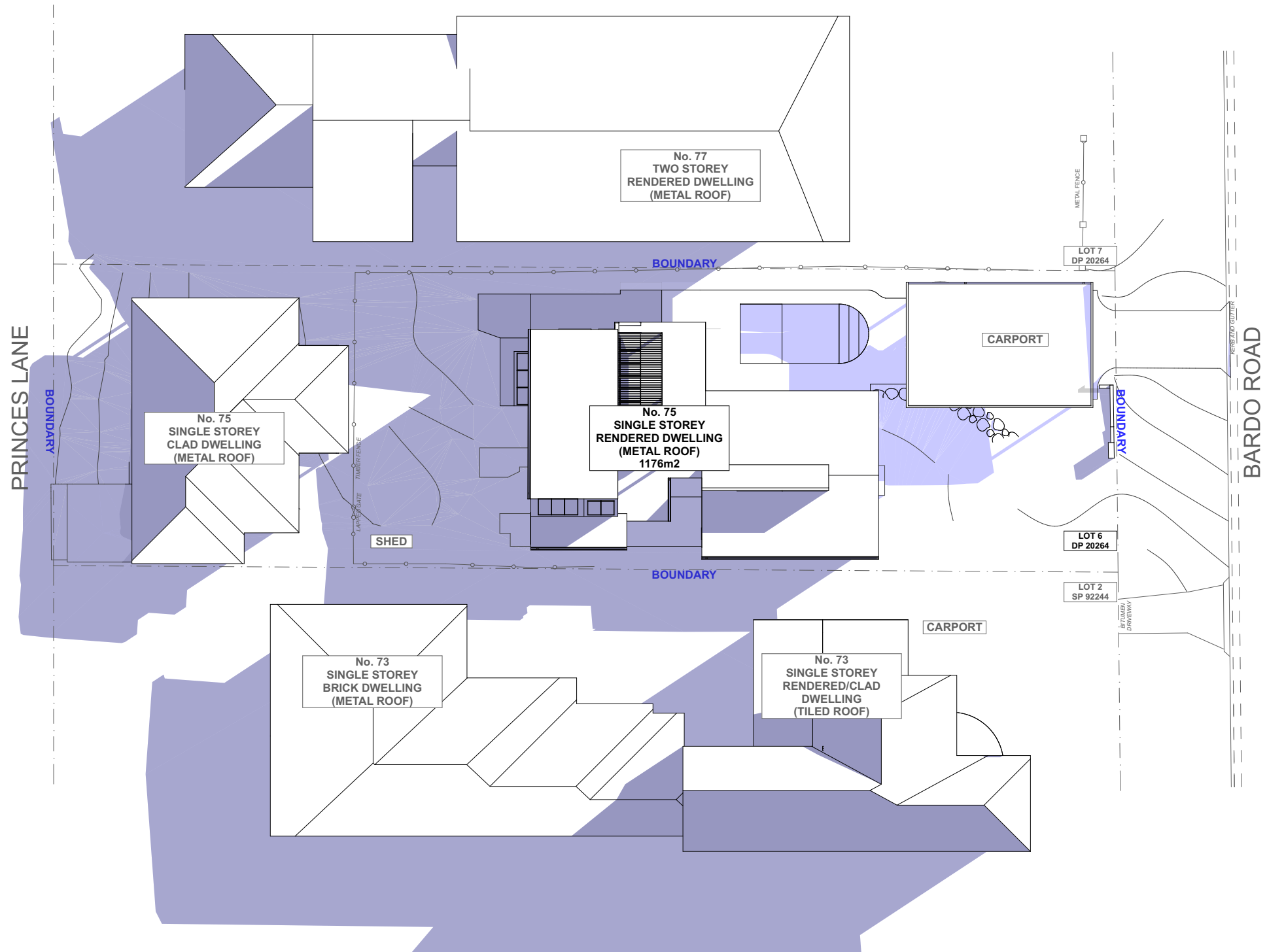
1010

DATE:

19/6/2024

DRAWING NO:

DA18



1

SHADOW DIAGRAM - JUNE 21 - 3PM

1:300



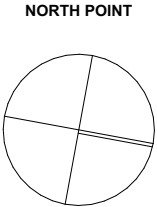
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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24

- LEGEND**
- EXISTING SHADOWS
 - PROPOSED SHADOW REDUCTIONS
 - PROPOSED SHADOW ADDITIONS

ABBREVIATIONS
DP: DEPOSIT PLAN
SP: STRATA PLAN



CLIENTS:
ALLISON & ANDREW O'NEILL
SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE: SHADOW DIAGRAM - JUNE 21ST - 3PM	
SCALE: 1:300 @A3	DATE: 19/6/2024
PROJECT NO: 1010	DRAWING NO: DA19

Alterations and Additions

Certificate number: A1744915

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 24 April 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 2100 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rainwater runoff from at least 81.1 square metres of roof area.		✔	✔
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✔	✔
Outdoor swimming pool			
The swimming pool must be outdoors.	✔	✔	✔
The swimming pool must not have a capacity greater than 50.54 kilolitres.	✔	✔	✔
The applicant must install a pool pump timer for the swimming pool.		✔	✔
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✔	✔

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✔	✔	✔
Construction	Additional insulation required (R-value)	Other specifications	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)		

Project address	
Project name	NEWPORT - 75 Bardo Road
Street address	75 BARDO Road NEWPORT 2106
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP20264
Lot number	6
Section number	N/A
Project type	
Dwelling type	Dwelling house (attached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and includes a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Progressive Building Design	
ABN (if applicable): 59879808402	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:		✔	✔
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✔	✔	✔
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✔	✔
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✔	✔

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
D01	N	7.26	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	W	4.62	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D03	W	7.16	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W01	N	4.88	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24

NOTES

- DOORS, WINDOWS & SKYLIGHTS TO MEET BASIX/NATHERS REQUIREMENTS
- DOORS, WINDOWS & SKYLIGHTS TO BE ORDERED TO MEASURE BY BUILDER/SUPPLIER
- NEW WINDOWS TO BEDROOMS IN ACCORDANCE WITH PART 3.9.2.6 OF NCC
- NEW WINDOWS TO ROOMS OTHER THAN BEDROOMS IN ACCORDANCE WITH PART 3.9.2.7 OF NCC

CLIENTS:

ALLISON & ANDREW O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

BASIX REQUIREMENTS

SCALE:

DATE:

19/6/2024

PROJECT NO:

1010

DRAWING NO:

DA20