

73 TELOPEA STREET, COLLAROY PLATEAU NSW 2097

LOT: 1 D.P: 23695 LAND SIZE: 416m²



NOTES FOR CONSTRUCTION:

1. NOTE: All plans are to be read in conjunction and comply with the BASIX Certificate (incl. BASIX cert number), Bushfire and Geotech Reports
2. IMPORTANT NOTE: Any proposed design and or product changes after approval of the CC are to be immediately notified to the Private Certifying Authority for review and comment.
3. Structural Engineer's inspection reports for all concrete elements, steel and timber framing and Certification of completed works.
4. Civil / Hydraulic Engineers inspection reports and or Certification of completed works.
5. Geotechnical Engineers inspection reports and or Certification.
6. Sydney Water Sewer – Water Services Coordinator to provide certification as required.
7. Provide Asbestos clearance certificate should Asbestos have been removed.
8. Termite management installation of Perimeter & Collars to NCC 2022 - ABCB Housing Provisions Part 3.4 & AS 3660.1 Termite Management - New Building Work.
9. All external timber framed walls to be wrapped in a breathable vapour permeable membrane that complies, installed with AS/NZS 4200.1 & AS/NZS 4200.2.
10. Metal Roof Design and Installation shall be in accordance with NCC 2022 – ABCB Housing Provisions Part 7, AS 1562.
11. All external wall Claddings must be compliant with the requirements of NCC 2022 – ABCB Housing Provisions Part 7, AS1684 and all relevant CodeMark Certificates.
12. All Balustrades to comply with NCC 2022 – ABCB Housing Provisions Part 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208
13. All stairs providing access to comply with NCC 2022 – ABCB Housing Provisions Part 11, AS 4586 including slip resistance P3 / R10 for Dry or P4 / R11 for Wet.
14. All windows are to be restricted in accordance with NCC 2022 – ABCB Housing Provisions Part 11.3.7 & Part 11.3.8 Protection of openable windows where surface below is more than 2m.
15. Allow for separate taps for the washing machine and keep them separate from those of the laundry tub. A dedicated laundry space comprising of one washtub and a space for a washing machine must be provided in accordance with NCC 2022 – ABCB Housing Provisions Part 10.4.
16. Provide Plasterboard Lining installed to Manufacturers Specifications & AS 2589.
17. All waterproofing to NCC 2022 – ABCB Housing Provisions Part 10.2 or AS3740 and provide a Guaranteed Flexible Waterproof Membrane to all Wet Area Floors & Shower walls to manufactured specifications and installation instructions, or AS4654 external.
18. Provide lift-off hinges where the toilet pan is within 1.2 metres of the hinged side of the door in accordance with NCC 2022 – ABCB Housing Provisions Part 10.4.
19. Provide hardwired & interconnected smoke alarm devices. Smoke alarms to be installed to NCC 2022 – ABCB Housing Provisions Part 9.5, NSW 9.5.1 & AS 3786.
20. Condensation Management must be adhered to in accordance with NCC 2022 – Housing Provisions Part 10.8.
21. A final survey report indicating that the ridge heights, floor levels, wall to boundary and set out of the building are in accordance with the referenced stamped approved plans. The certificate must be prepared by a registered surveyor.
22. Fire separating wall, a wall within 900mm of boundary installation certificate (FRL60/60/60) incl Acoustic Sound (Rw) + Ctr50 to NCC 2022 - ABCB Housing Provisions Part 9 & Part 10.7, AS 1530 all parts.
23. Bushfire-prone areas certificate for building - NCC 2022 - Vol. 2 Part NSW H7D4 Construction in bushfire prone areas - AS 3959 Construction of building in bushfire-prone areas & Planning for Bushfire Protection 2019.

24. Residential slabs, footings and concrete structures to NCC 2022 – ABCB Housing Provisions Part 3 & 4, AS 2870 Residential slabs and footing & AS 3600 Concrete structures.
25. Damp proof course and flashings to NCC 2022 - ABCB Housing Provisions Part 5, 7 & 12 & AS/NZS 2904 Damp-proof courses and flashings.
26. Timber framing installation to NCC 2022 - ABCB Housing Provisions Part 6, AS 1684 Residential timber framed construction & AS/NZS 1170 Structural design actions.
27. Masonry structures to NCC 2022 - ABCB Housing Provisions Part 5 & AS 3700 Masonry structures.
28. Window and door glazing supply and installation - with Basix Certificate Number and commitments confirmed. to NCC 2022 - ABCB Housing Provisions Part 8, AS 1288 Glass in buildings, AS/NZS 2208 Safety glazing materials in buildings & AS 2047 Windows and external doors in buildings.
29. Roof and Wall cladding installation to NCC 2022 - ABCB Housing Provisions Part 7 & AS 1562 Design and installation of sheet roof and wall cladding.
30. Waterproof installation NCC (2022): AS 3740 Waterproofing of domestic wet areas (internal) or Housing Provisions Part 10.2 & AS 4654 Part 1 & 2 Waterproof for external use.
31. Tiling installation certificate to AS 3958.1 and AS 3958.2
32. Shower screen/mirrors / wardrobe glass installation to NCC 2022 - Housing Provisions Part 8, AS 1288 & AS/NZS 2208.
33. Plumber to provide NSW Fair Trading Plumbing and Drainage Certificate to AS 3500 Plumbing and Drainage - Stormwater drainage to be included as required.
34. Electrical Certificate of Compliance by Licenced Electrician - AS/NZS 3000 Wiring Rules
35. Air conditioning installation by a licenced contractor to NCC 2022 - ABCB Housing Provisions Part 10 & 13 & AS 4254 Ductwork for air handling systems in buildings.
36. Glass balustrade installation to NCC 2022 - Housing Provisions Part 11, AS 1288 Glass in buildings, AS/NZS 2208 Safety glazing materials in buildings & AS 1170 Structural design actions.
37. Timber balustrade/privacy screen certificate NCC 2022 - ABCB Housing Provisions Part 11, AS 1684 & AS 1170.
38. Steel structures installation certificate to NCC 2022 - ABCB Housing Provisions Part 4, 5 & 6 & AS 4100 Steel structures.
39. Steel framing to NCC 2022 - ABCB Housing Provisions Part 6, AS 4100 Steel Structures, AS/NZS 4600 Cold-formed steel structures & NASH Standard.
40. Gas Fire Supply and Installation to comply with NCC 2022 - ABCB Housing Provisions Part 12.4, AS/NZS 5601 Gas Installations.
41. Pool plumbing/circulation to comply with NCC 2022 H7D2, AS 1926.3 Swimming pool safety - Water recirculation systems
42. Glass Pool Fencing to be installed to:
- o AS 1926.1 – 2012 - Safety barriers for swimming pools

o AS 1926.2 – 20007 – Location of safety barriers for swimming pools

o AS 1288 – 2021 Glass in buildings

o AS/NZS 2208 – Safety Glass

o AS 1170 Structural Design actions
43. Concrete structures to - AS 3600 Concrete structures or AS 2783 Use of reinforced concrete for small swimming pools
44. Swimming pool barrier to be compliant with Australian Standard AS 1926.1 - 2012 - Safety barriers for swimming pools & AS 1926.2-2007 Location of safety barriers for swimming pools

SHEET NUMBER	SHEET NAME
DA01	COVER PAGE
DA02	EXTERNAL MOOD BOARD
DA03	SITE ANALYSIS
DA04	EXISTING GROUND FLOOR PLAN
DA05	PROPOSED GROUND FLOOR PLAN
DA06	PROPOSED FIRST FLOOR PLAN
DA07	PROPOSED ROOF PLAN
DA08	SECTIONS
DA09	POOL SECTION
DA10	NORTH + SOUTH ELEVATION
DA11	EAST + WEST ELEVATION
DA12	WINDOW/DOOR SCHEDULE
DA13	SHADOW DIAGRAMS



BUILDING

R&R

DESIGN

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DRAWING TITLE :
COVER PAGE

DRAWING NO:
DA 1

CLIENT:
MR+ MRS BERKHOUT

PROJECT NAME :
PROPOSED ALTERATIONS +
ADDITIONS TO
73 TELOPEA STREET COLLAROY
PLATEAU NSW 2097 AUSTRALIA
LOT 1 DP 23695

CHECKED BY: Arianna Rosnell
PLOT DATE: 19/5/2025
PROJECT NO: 250114/DA
PROJECT STATUS: DESIGN DEVELOPMENT

DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTE
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All boundaries and contours are subject to survey drawing **W-01**. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

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DRAWING TITLE :
EXTERNAL MOOD BOARD

DRAWING NO:
DA 2

CLIENT:
MR+ MRS BERKHOUT
PROJECT NAME :
PROPOSED ALTERATIONS +
ADDITIONS TO
73 TELOPEA STREET COLLAROY
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LOT 1 DP 23695

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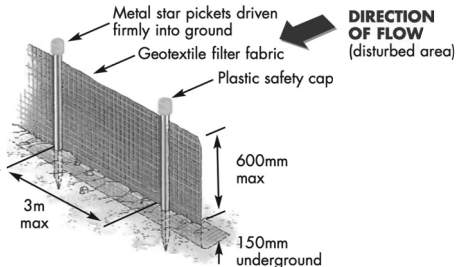
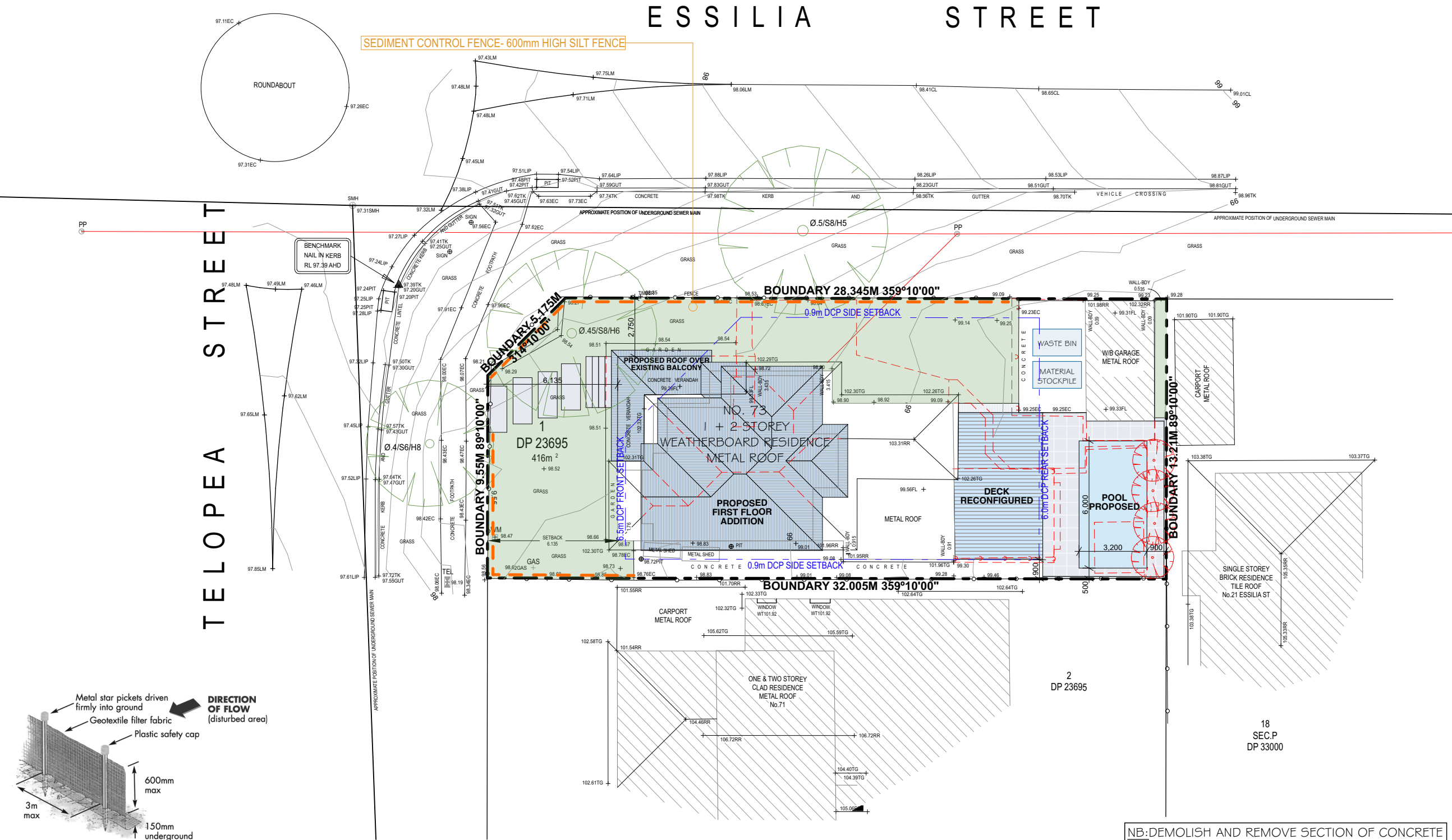
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SITE RATIO'S - EXISTING:		SITE RATIO'S -PROPOSED:	
SITE AREA	416.0m ²	SITE AREA	416.0m ²
BUILDING FOOTPRINT	110.37m ²	BUILDING FOOTPRINT	112.08m ²
GARAGE	21.53m ²	GARAGE	18.69m ²
DECK	49.42m ²	DECK	70.12m ²
PAVED AREAS AND DRIVEWAY	70.19m ²	PAVED AREAS AND DRIVEWAY	42.18m ²
AREAS UNDER 2m WIDE	2.96m ²	AREAS UNDER 2m WIDE	2.96m ²
SUM TOTAL	254.47m ²	SUM TOTAL	246.03m ²
EXISTING LANDSCAPED AREA	161.53m ²	PROPOSED LANDSCAPED AREA	169.97m ²
	38.83%		40.86%

IMAGE	SCHEDULE	LINEA JAMES HARDIE WEATHERBOARD	CORRUGATED COLORBOND ROOF SHEETING- SURFMIST TO MATCH EXISTING (LIGHT- MID RANGE)	DULUX PAINT OR EQUIVALENT- DUNE QUARTER TINT- OR EQUIVALENT	ALUMINIUM FRAMED WINDOWS WHITE	ENTRY PORCH/REAR TERRACE TILES- LIMESTONE or equivalent	GLASS POOL FENCING
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SEDIMENT AND EROSION CONTROL FENCE

1 & SITE ANALYSIS/ ENVIRONMENTAL SITE MANAGMENT

SITE PLAN 1:200

NB:DEMOLISH AND REMOVE SECTION OF CONCRETE AND HARD LANDSCAPING SHOWN RED HATCHED TO ALLOW FOR ADDITIONAL LEVEL LAWN TO REAR YARD

NB: CONNECT ALL NEW STORMWATER PIPEWORK TO EXISTING SYSTEM WHICH DRAINS TO STREET KERB. PROPOSED WORKS- DEVELOPMENT UNDER 50M² OF ADDITIONAL IMPERVIOUS AREA.

DRAWING TITLE :
SITE ANALYSIS
DRAWING NO:
DA 3



CLIENT:
MR+ MRS BERKHOUT
PROJECT NAME :
PROPOSED ALTERATIONS +
ADDITIONS TO
73 TELOPEA STREET COLLAROY
PLATEAU NSW 2097 AUSTRALIA
LOT 1 DP 23695

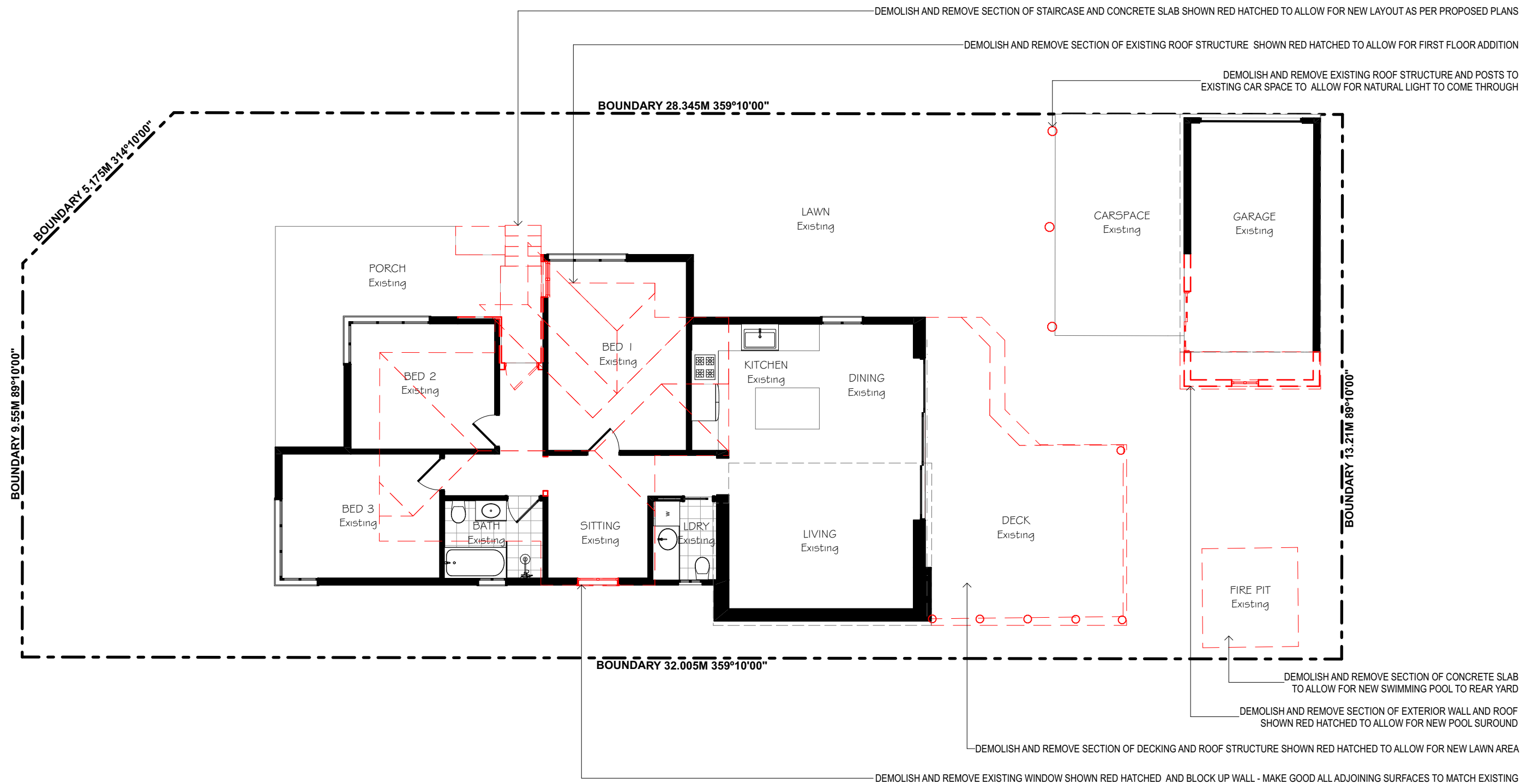
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PLOT DATE: 19/5/2025
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EXISTING GROUND FLOOR PLAN 1 : 100



- REINFORCED CONCRETE
- TIMBER FRAME CONSTRUCTION
- STEEL CONSTRUCTION/ROOF SHEETING
- INSULATED TIMBER FRAME CONSTRUCTION
- BRICKWORK/MASONRY CONSTRUCTION

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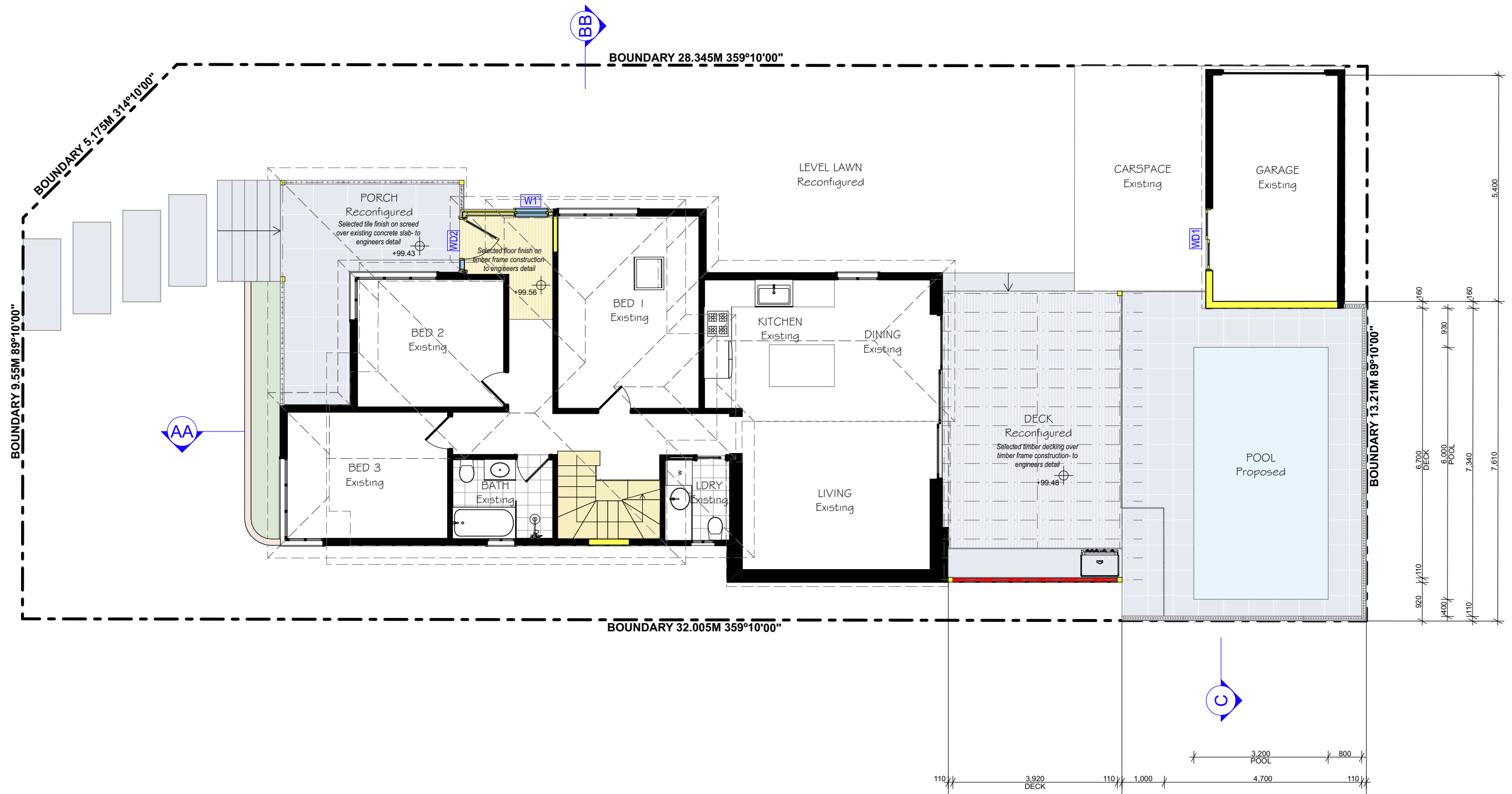
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Project North:	
DRAWN/ CHECKED:	ARIANNA ROSNELL
PLOT DATE:	19/5/2025
PROJECT NO.	250114/DA
PROJECT STATUS:	DEVELOPMENT APPLICATION
CLIENT:	MR + MRS BERKHOUT
SITE:	73 TELOPEA STREET COLLARBY PLATEAU NSW 2097 AUSTRALIA LOT 1 DP 23695

DRAWING TITLE :	EXISTING GROUND FLOOR PLAN
PROJECT NAME :	73 TELOPEA STREET
SCALE:	1:100@A3
DRAWING NO.	DA 4
Plot Date:	19/5/2025



1 PROPOSED GROUND FLOOR PLAN 1:100



REINFORCED CONCRETE
TIMBER FRAME CONSTRUCTION
STEEL CONSTRUCTION/ROOF SHEETING
INSULATED TIMBER FRAME CONSTRUCTION
BRICKWORK/MASONRY CONSTRUCTION

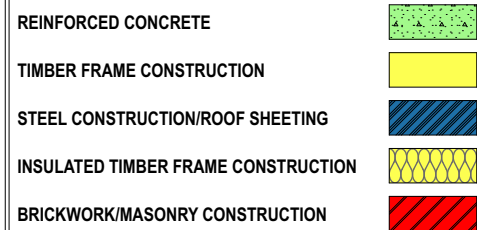


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Project North:
DRAWN/ CHECKED: ARIANNA ROSNELL
PLOT DATE: 19/5/2025
PROJECT NO. 250114/DA
PROJECT STATUS: DEVELOPMENT APPLICATION
CLIENT: MR + MRS BERKHOUT
SITE: 73 TELEPEA STREET COLLAROE PLATEAU NSW 2097 AUSTRALIA LOT 1 DP 23695

DRAWING TITLE :
PROPOSED GROUND FLOOR PLAN
PROJECT NAME :
73 TELEPEA STREET
SCALE:
1:100@A3
DRAWING NO.
DA 5
Plot Date: 19/5/2025



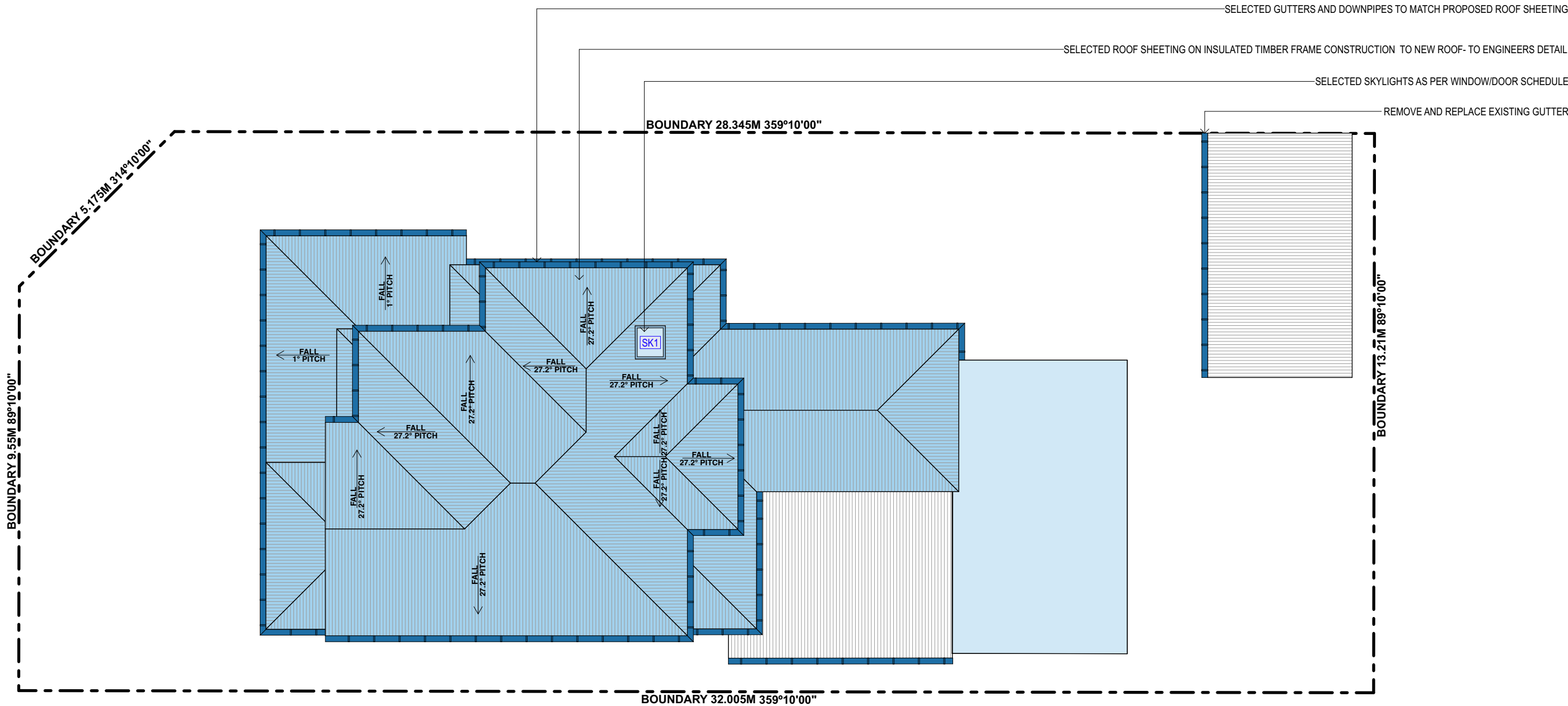
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DRAWING TITLE :	
PROPOSED FIRST FLOOR PLAN	
PROJECT NAME :	
73 TELOPEA STREET	
SCALE:	1:100@A3
DRAWING NO.	DA 6
Plot Date:	19/5/2025



PROPOSED ROOF PLAN 1:100



REINFORCED CONCRETE

TIMBER FRAME CONSTRUCTION

STEEL CONSTRUCTION/ROOF SHEETING

INSULATED TIMBER FRAME CONSTRUCTION

BRICKWORK/MASONRY CONSTRUCTION



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PLOT DATE: 19/5/2025
PROJECT NO. 250114/DA
PROJECT STATUS: DEVELOPMENT APPLICATION

CLIENT: MR + MRS BERKHOUT
SITE: 73 TELOPEA STREET COLLAROY
PLATEAU NSW 2097 AUSTRALIA
LOT 1 DP 23695

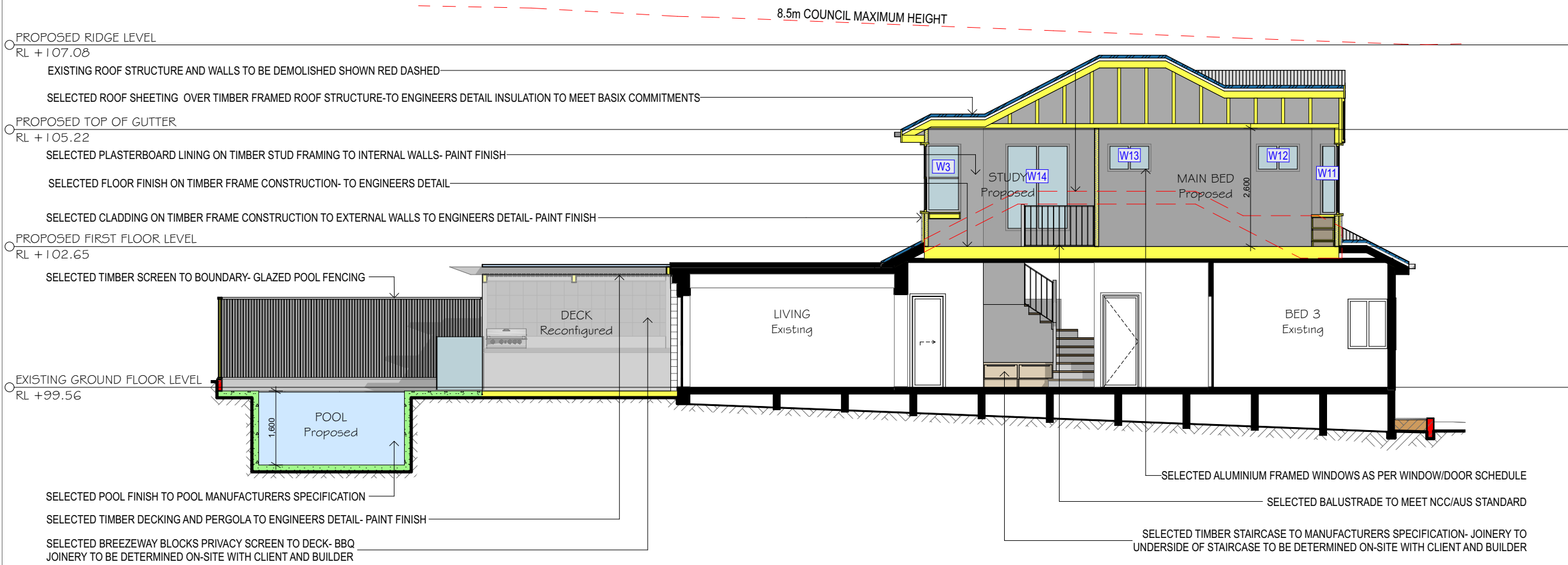
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PROPOSED ROOF PLAN

PROJECT NAME :
73 TELOPEA STREET

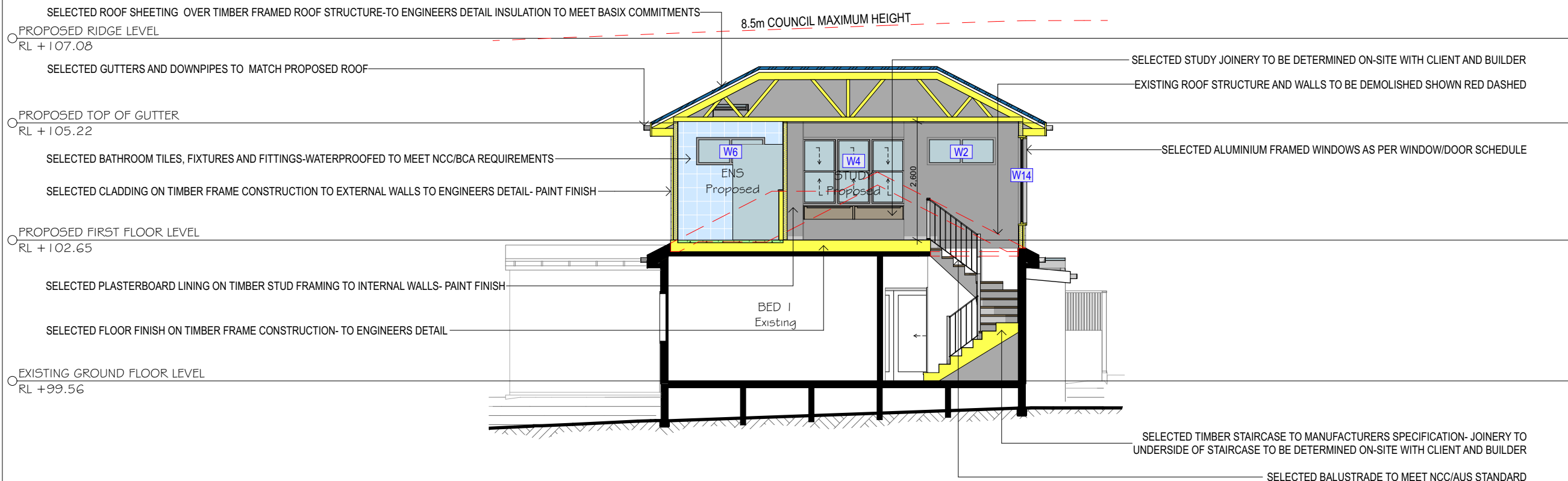
SCALE:
1:100@A3

DRAWING NO.
DA 7

Plot Date: 19/5/2025



1 SECTION-AA 1:100



2 SECTION-BB 1:100

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DRAWING TITLE :
SECTIONS

DRAWING NO:
DA 8

CLIENT:
MR+ MRS BERKHOUT

PROJECT NAME :
PROPOSED ALTERATIONS +
ADDITIONS TO
73 TELOPEA STREET COLLAROY
PLATEAU NSW 2097 AUSTRALIA
LOT 1 DP 23695

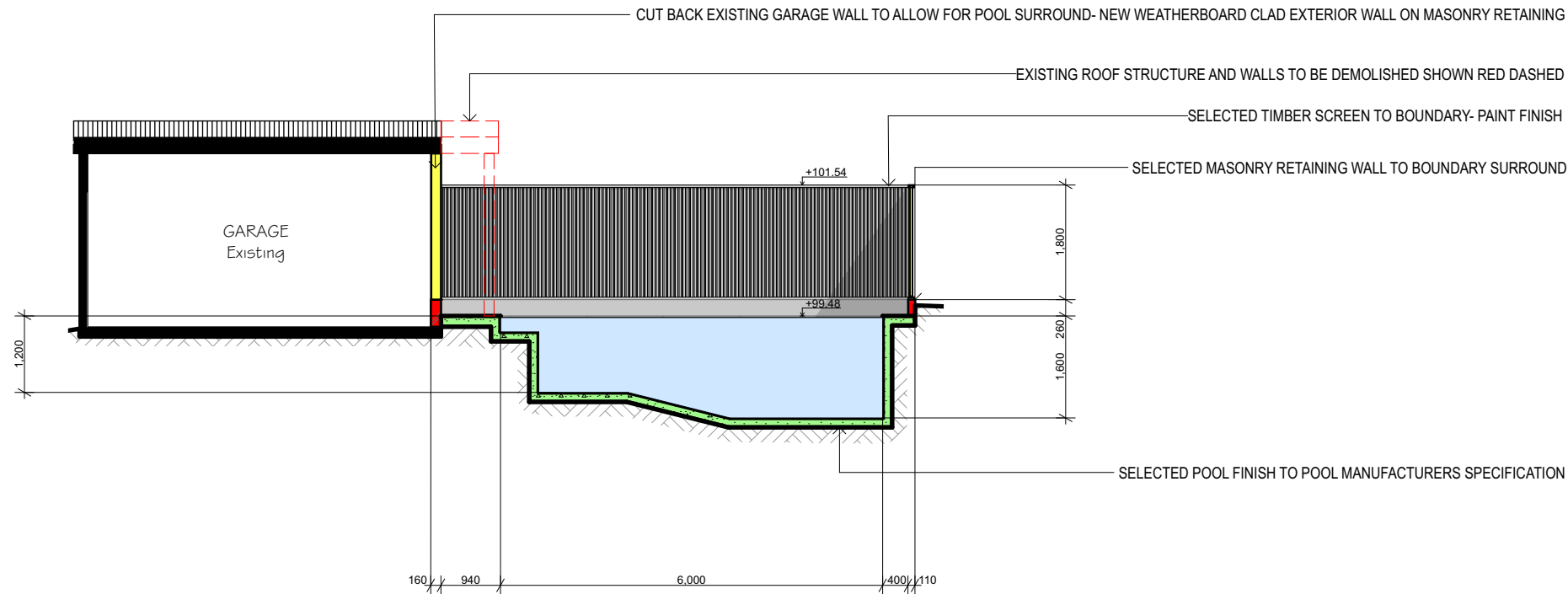
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PROJECT STATUS: DESIGN DEVELOPMENT
SCALE: 1:100@A3

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3 SECTION-CC 1:100



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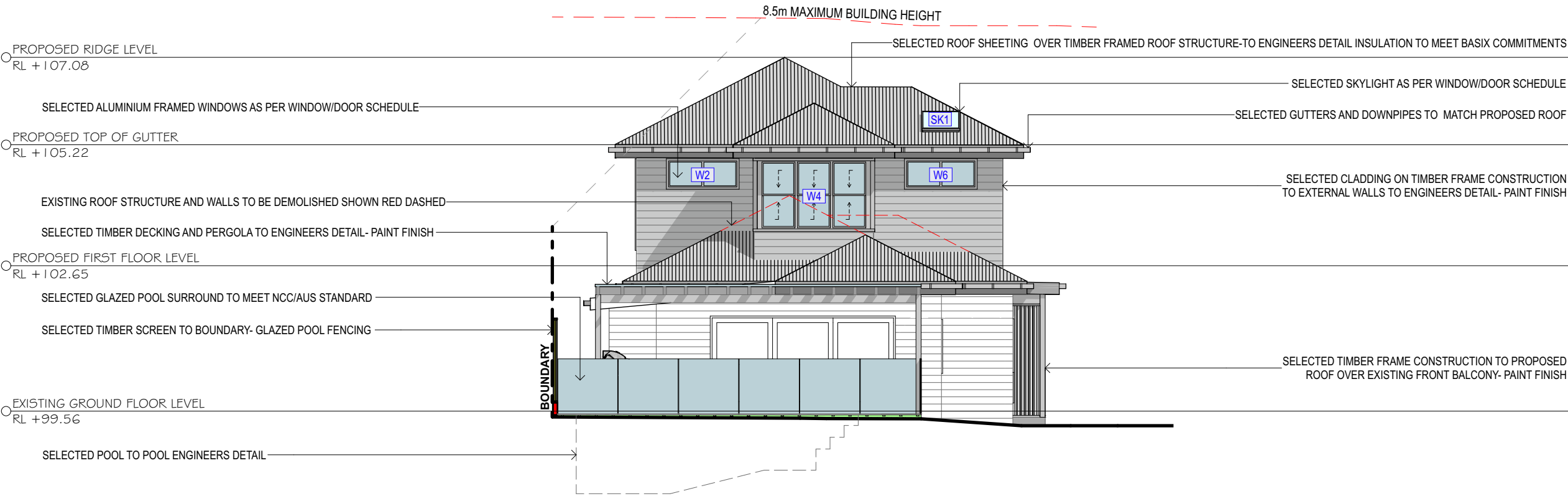
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POOL SECTION	
DRAWING NO:	
DA 9	
CLIENT:	
MR+ MRS BERKHOUT	
PROJECT NAME :	
PROPOSED ALTERATIONS +	
ADDITIONS TO	
73 TELOPEA STREET COLLAROY	
PLATEAU NSW 2097 AUSTRALIA	
LOT 1 DP 23695	
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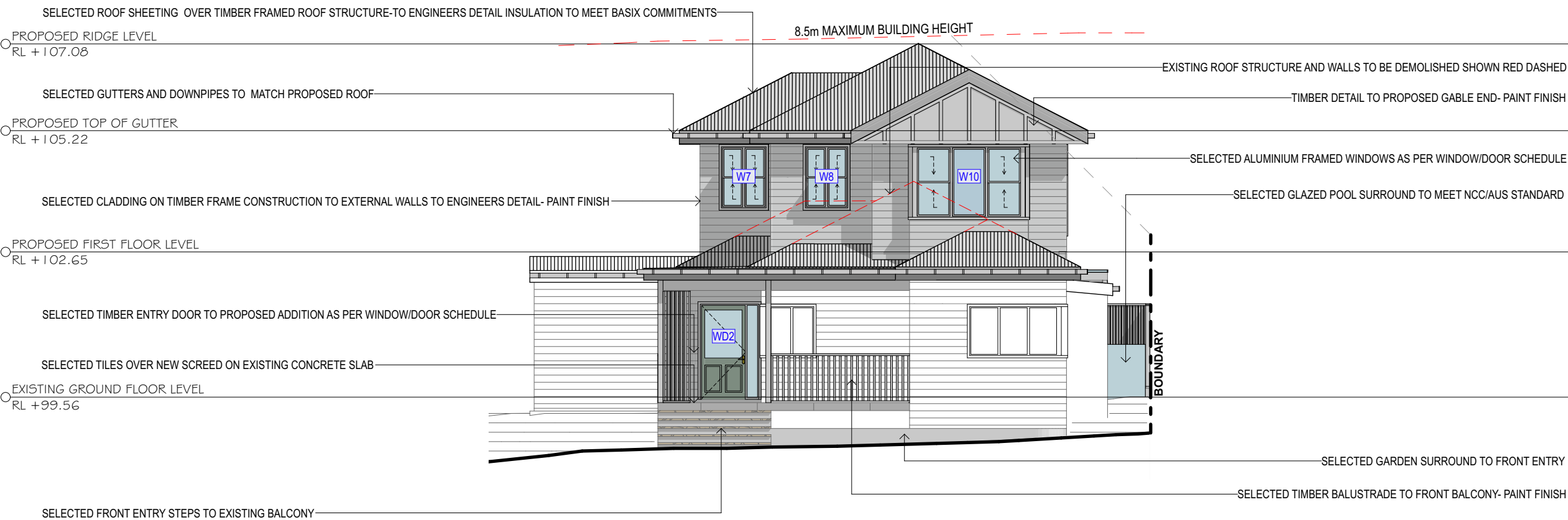
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1 NORTH ELEVATION 1:100



2 SOUTH ELEVATION 1:100

DRAWING TITLE :
NORTH + SOUTH ELEVATION

DRAWING NO:
DA 10

CLIENT:
MR+ MRS BERKHOUT

PROJECT NAME :
PROPOSED ALTERATIONS +
ADDITIONS TO
73 TELOPEA STREET COLLAROY
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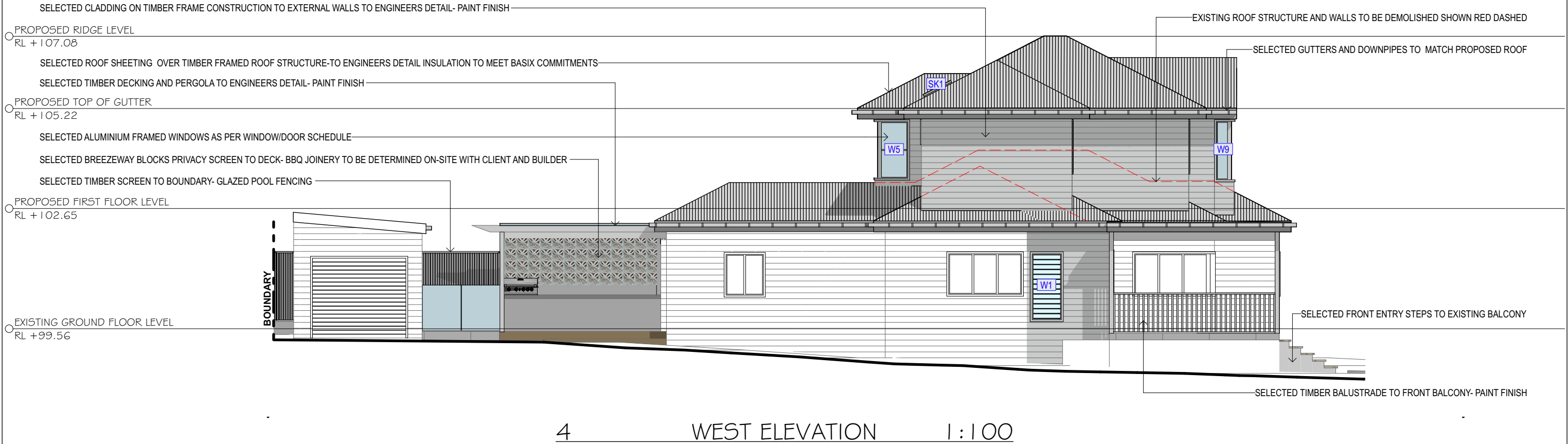
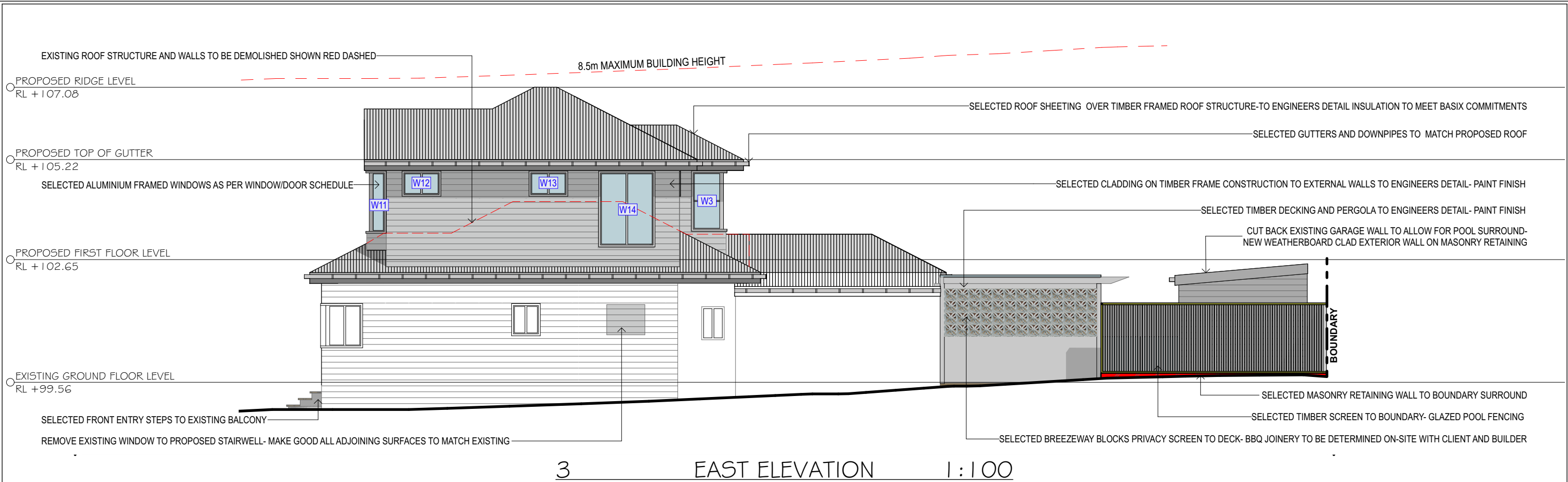
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DRAWN/ CHECKED: ARIANNA ROSNELL
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CLIENT: MR + MRS BERKHOUT
SITE: 73 TELOPEA STREET COLLAROY
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DRAWING TITLE :
EAST + WEST ELEVATION

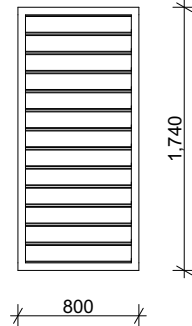
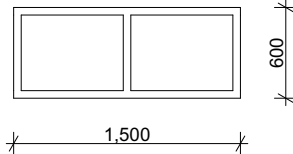
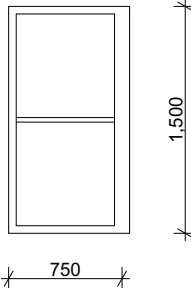
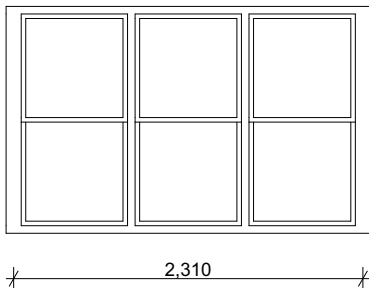
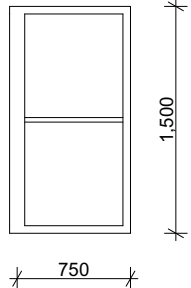
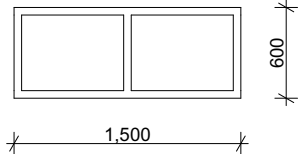
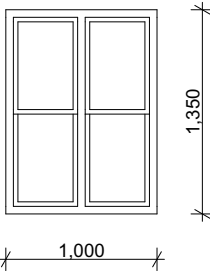
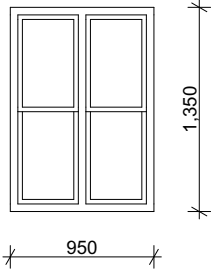
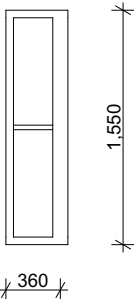
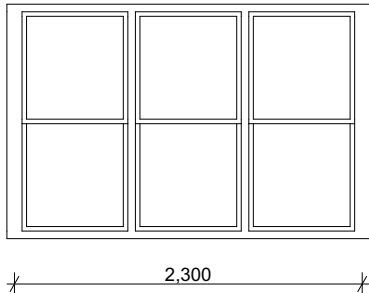
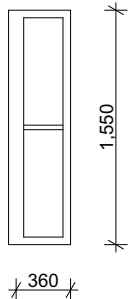
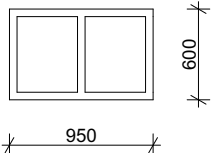
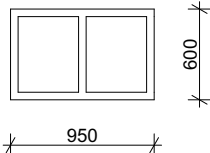
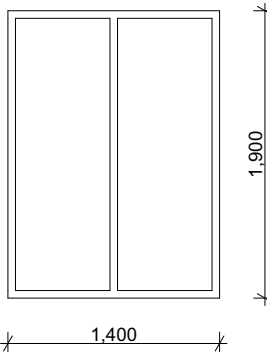
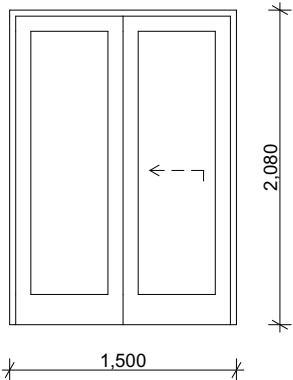
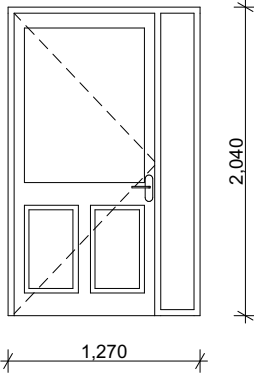
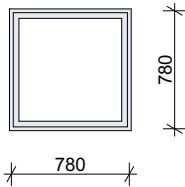
PROJECT NAME :
73 TELOPEA STREET

SCALE:
1:100@A3

DRAWING NO.
DA 11

Plot Date: 19/5/2025

WINDOW/DOOR SCHEDULE

W1 800 1,740	W2 1,500 600	W3 750 1,500	W4 2,310 1,500	W5 750 1,500	W6 1,500 600	W7 1,000 1,350
						
SELECTED ALUMINIUM FRAMED LOUVRED WINDOW	SELECTED ALUMINIUM FRAMED SLIDING WINDOW	SELECTED ALUMINIUM FRAMED CORNER DOUBLE HUNG WINDOW	SELECTED ALUMINIUM FRAMED CORNER DOUBLE HUNG WINDOW	SELECTED ALUMINIUM FRAMED CORNER DOUBLE HUNG WINDOW	SELECTED ALUMINIUM FRAMED SLIDING WINDOW	SELECTED ALUMINIUM FRAMED DOUBLE HUNG WINDOW
W8 950 1,350	W9 360 1,550	W10 2,300 1,550	W11 360 1,550	W12 950 600	W13 950 600	W14 1,400 1,900
						
SELECTED ALUMINIUM FRAMED DOUBLE HUNG WINDOW	SELECTED ALUMINIUM FRAMED CORNER DOUBLE HUNG WINDOW	SELECTED ALUMINIUM FRAMED CORNER DOUBLE HUNG WINDOW	SELECTED ALUMINIUM FRAMED CORNER DOUBLE HUNG WINDOW	SELECTED ALUMINIUM FRAMED SLIDING WINDOW	SELECTED ALUMINIUM FRAMED SLIDING WINDOW	SELECTED ALUMINIUM FRAMED FIXED WINDOW
WD1 1,500 2,080	WD2 1,270 2,040	SK1				
						
SELECTED ALUMINIUM FRAMED SLIDING DOOR	SELECTED TIMBER FRAMED ENTRY DOOR	SELECTED ALUMINIUM FRAMED FIXED SKYLIGHT				



E: hello@rrbuildingdesign.com.au
M: 0400 598 382

Client
MR+ MRS BERKHOUT

Project Name:
73 TELOPEA STREET

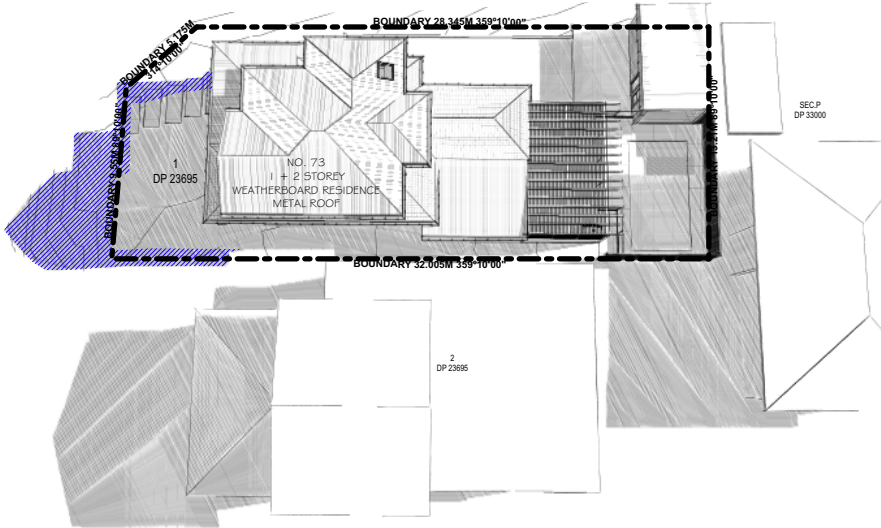
LEGEND

EXISTING SHADOW

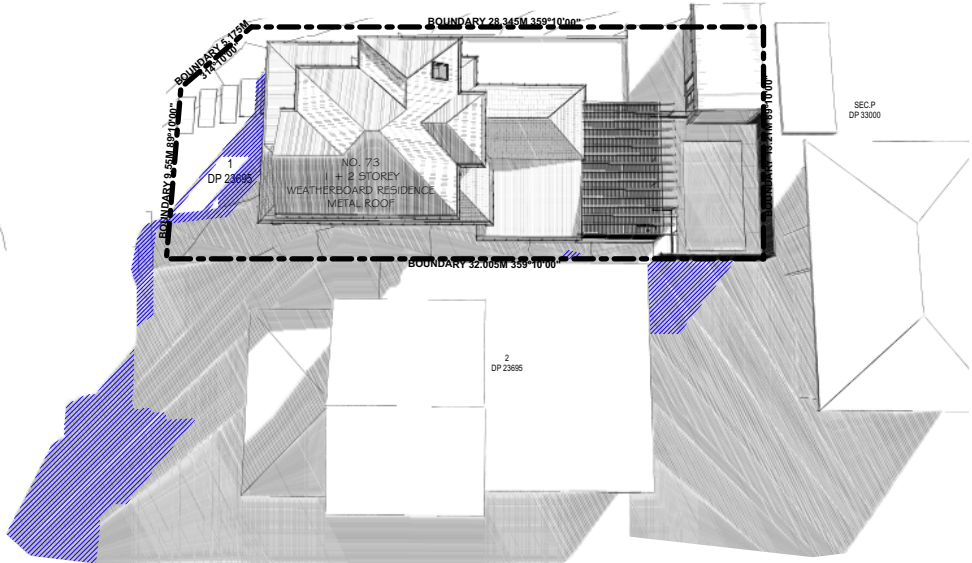
PROPOSED SHADOW



21nd JUNE-9am SHADOW DIAGRAMS



21nd JUNE-12pm SHADOW DIAGRAMS



21nd JUNE-3pm SHADOW DIAGRAMS



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
**DEVELOPMENT
APPLICATION ONLY**

NOT FOR CONSTRUCTION

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

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Project North:

Drawn | Checked
Plot Date: 19/5/2025
Project NO. 250114/DA
Project Status Design Development
Client MR + MRS BERKHOUT
Site: 73 TELOPEA STREET COLLAROY PLATEAU NSW 2097 AUSTRALIA

DRAWING TITLE :
SHADOW DIAGRAMS

PROJECT NAME :
73 TELOPEA STREET

DRAWING NO.
DA 13

Plot Date: 19/5/2025