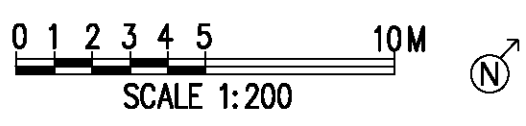


THIS PLAN TO BE READ IN
CONJUNCTION WITH
MOD2017/0351
NORTHERN BEACHES COUNCIL

01 SITE PLAN
1:200



25 KEVIN AVENUE, AVALON		
TOTAL AREA	1393m ²	LOT 10
REQUIREMENTS	EXISTING	PROPOSED
LANDSCAPED AREA	848.55m ² = 60.9%	764m ² = 54.84%

SEDIMENT CONTROL FENCE DETAILS

SEDIMENT CONTROL

- I. INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON DRAWINGS AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION.
- II. CONTROL STRUCTURES TO BE AS DETAILED OR OTHERWISE REQUIRED.
- III. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.
- IV. IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO 'URBAN EROSION AND SEDIMENT CONTROL' GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.

COLOUR SCHEDULE:

- ROOF & GUTTERS - GREY
- WALLS - GREY
- WINDOWS & DOORS - PEARL WHITE
- RWT - GREY

NOTES:

1. ALL GLAZING TO WINDOWS AND DOORS SHALL BE IN ACCORDANCE WITH THE BASIX REPORT.
2. EXTERNAL WALL CLADDING SHALL BE PAINTED WITH A SELECTED COLOUR.
3. AN APPROVAL RATED INSULATION TO ALL EXTERNAL STEEL FRAMED WALLS, AND INSULATION MATERIAL TO BE PLACED IN CEILING SPACE WITHIN THE PERIMETER TO ALL EXTERNAL WALLS TO BE IN COMPLIANCE WITH THE BASIX REPORT.
4. ROOF FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
5. ALL WORK CARRIED OUT TO BE IN ACCORDANCE WITH THE BCA.
6. ALL TIMBER FRAMING TO CODE AS1684.
7. ALL WINDOWS & DOORS AS NOTED ON PLAN WITH SELECTED COLOUR FINISH.
8. ALL GLAZING TO CODE AS1288.
9. ALL WATERPROOFING TO WET AREAS TO CODE AS3740.
10. ALL POWER OUTLETS & SWITCHES TO OWNERS REQUIREMENTS.
11. ALL PEST TREATMENT TO CODE AS3660.1-2000.
12. SMOKE DETECTOR DENOTED SD ON PLAN TO BCA/39.

NOTES - REV A

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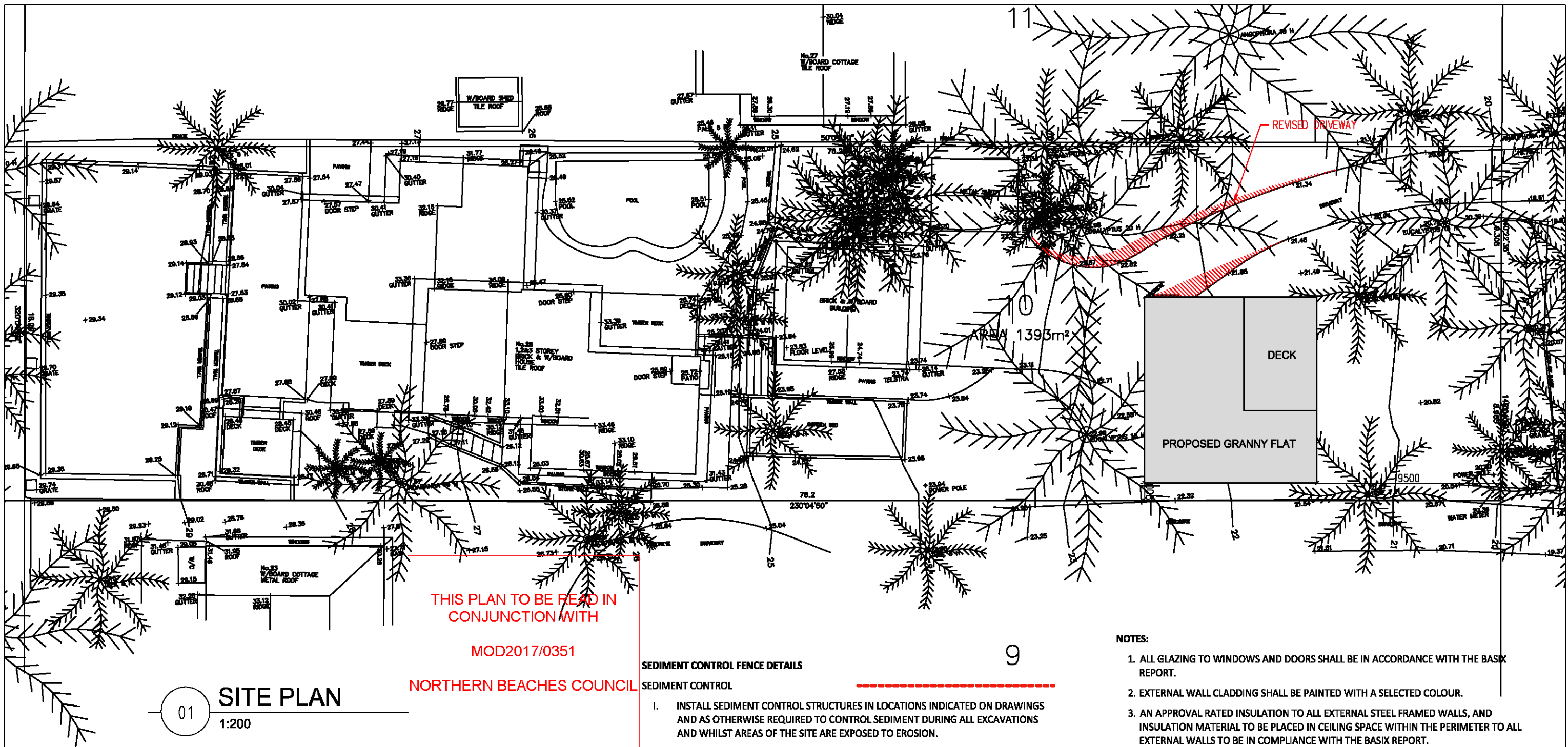
CLIENT'S NAME:
THE HANCOCKS

ADDRESS:
25 KEVIN AVENUE
AVALON

PROJECT NUMBER	0XX
DATE:	28.11.16
DRAWN BY:	AS
CHECKED BY:	PM
SCALE (A3):	1:200

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SITE PLAN 001



01 SITE PLAN
1:200

0 1 2 3 4 5 10M
SCALE 1:200

THIS PLAN TO BE READ IN
CONJUNCTION WITH
MOD2017/0351
NORTHERN BEACHES COUNCIL

SEDIMENT CONTROL FENCE DETAILS

SEDIMENT CONTROL

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- WALLS - GREY
- WINDOWS & DOORS - PEARL WHITE
- RWT - GREY

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25 KEVIN AVENUE, AVALON		
TOTAL AREA	1393m ²	LOT 10
REQUIREMENTS	EXISTING	PROPOSED
LANDSCAPED AREA	848.55m ² = 60.9%	764m ² = 54.84%

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CLIENT'S NAME:
THE HANCOCKS

ADDRESS:
25 KEVIN AVENUE
AVALON

PROJECT NUMBER	0XX
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SITE PLAN - SERVICES 002

GENERAL NOTES

ALL PLUMBING WITHIN THE SITE MUST BE CARRIED OUT IN ACCORDANCE WITH RELEVANT PROVISIONS OF AUSTRALIAN STANDARD AS/NZS 3500.3-2003 PLUMBING AND DRAINAGE – STORMWATER DRAINAGE.

THE COLLECTION SYSTEM AND ALL NEW PLUMBING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE RELEVANT CLAUSES OF THE FOLLOWING:
WATER MANAGEMENT TECHNICAL GUIDELINES DECEMBER 2007

ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM. (AHD)

DO NOT SCALE FROM THE DRAWINGS.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS, REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT OR DESIGN ENGINEER.

ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS AND SPECIFICATION.

READ THESE PLANS IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATION.

WHERE NEW WORK ABUTS EXISTING, THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES, IS OBTAINED.

DESIGN LEVELS GIVEN ARE TO FINISHED SURFACE LEVEL AND INCLUSIVE OF TOPSOIL. (TOPSOIL DEPTH VARIES).

THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.

CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES.

NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.

ALL BUILDING SURROUND SHOULD BE GRADED TO ENSURE OVERLAND FLOW FROM UPSTREAM AREAS CAN DRAIN AROUND THE FOUNDATIONS, WALLS OF BUILDING.

ALL EXCAVATION SHORING OF EXCAVATION AND STABILITY OF ADJACENT STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER-STRESSED.

WORKMANSHIP AND MATERIALS SHALL CONFORM WITH THE REQUIREMENTS OF THE RELEVANT SAA CODES, BCA REQUIREMENTS AND THE SPECIFICATION, BY-LAWS AND ORDINANCIES OF THE RELEVANT AUTHORITIES.

PROPRIETARY PRODUCTS USED SHALL BE INSTALLED TO MANUFACTURERS SPECIFICATION AND TO THE SATISFACTION OF THE SUPERINTENDENT.

EXTERNAL WORKS

ALL ACTIVITIES AND WORKS EXTERNAL TO THE SITE, OR THAT AFFECT PUBLIC ROADS, ARE TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S CODES AND STANDARDS.

PUBLIC FOOTPATHS SHALL BE RECONSTRUCTED TO THE SATISFACTION OF COUNCIL'S DIRECTOR OF ENGINEERING SERVICES. A ROAD OPENING PERMIT SHALL BE OBTAINED FOR ALL WORKS CARRIED OUT IN A PUBLIC OR COUNCIL CONTROLLED LAND. RESTORATION OF LANDSCAPING, ROADS AND PATHS SHALL BE TO COUNCIL'S REQUIREMENTS. ALL OTHER RESTORATION SHALL BE TO THE SATISFACTION OF THE AFFECTED PARTIES.

WHERE WORKS ARE UNDERTAKEN ON PUBLIC ROADS, ADEQUATE TRAFFIC CONTROL AND DIRECTIONS TO MOTORISTS SHALL BE PROVIDED.

DRAINAGE PITS

PITS DEEPER THAN 1200mm TO BE FITTED WITH STEP IRONS AT 300mm CENTRES AND STAGGERED.

APPROVED PRECAST PITS MAY BE USED.

DIAMETER 100mm HOLE FOR SUBSOIL DRAINAGE OUTLET TO BE LOCATED 100mm ABOVE INVERT OF ALL INLET PIPES. DIAMETER 100mm SUBSOIL DRAINAGE TO EXTEND FOR A DISTANCE OF 3.0m UPSTREAM OF PIT (AT EACH INLET PIT) WITH THE UPSTREAM END SEALED.

ALL CONNECTIONS TO THE EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.

PIT GRATES AND SOLID COVERS SHALL BE CLASS 'B' IN NON TRAFFIC AREAS AND CLASS 'D' IN TRAFFIC AREAS IN ACCORDANCE WITH AS 3996.

DRAINAGE PIPES

EXISTING PIPES WHICH FORM NO PART OF THE DRAINAGE SYSTEM SHALL BE REMOVED OR SANDFILLED AS INDICATED ON THE PLANS.

PIPE LENGTHS MEASURED ARE BETWEEN PIT CENTRES.

ALL DRAINAGE PIPES LESS THAN 300mm DIAMETER SHALL BE SEWER GRADE uPVC WITH SOLVENT WELDED JOINTS (U.N.O.). ALL PIPE JUNCTIONS AND TAPERS SHALL BE VIA. PURPOSE MADE FITTINGS.

MINIMUM GRADE TO DRAINAGE PIPES TO BE 1.5% U.N.O.

MINIMUM PIPE SIZE TO BE 100mm DIAMETER U.N.O.

THE CONTRACTOR IS TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.

RAINWATER RE-USE NOTES AND SPECIFICATIONS

ROOF WATER ONLY TO BE DRAINED TO THE RAINWATER STORAGE TANKS.

THE RAINWATER STORAGE TANKS ARE TO BE CONNECTED FOR RE-USE TO A TOILET.

RAINWATER STORAGE TANKS TO BE CONFIGURED IN ACCORDANCE WITH SYDNEY WATER SPECIFICATIONS 'GUIDELINES FOR RAINWATER TANKS ON RESIDENTIAL PROPERTIES'.

PROVIDE MAINS 'TOP-UP' SUPPLY TO RAINWATER TANKS. MAINS TOP-UP ZONE TO BE BASED ON THE DAILY NON-POTABLE USAGE THAT MAY BE EXPECTED FROM THE TANK.

PROVIDE A MECHANICAL PUMPING ARRANGEMENT (IN SOUND-PROOF HOUSING) TO PUMP SUPPLIERS SPECIFICATION TO SUIT INTENDED USAGE OF RAINWATER STORAGE. PUMPING ARRANGEMENTS MUST COMPLY WITH EPA GUIDELINES AND BASIX.

INLETS TO RAINWATER TANKS MUST BE SCREENED TO PREVENT THE ENTRY OF FOREIGN MATTER, ANIMALS OR INSECTS.

A SIGN MUST BE AFFIXED TO THE RAINWATER TANKS CLEARLY STATING THAT THE WATER IN THE TANK IS RAINWATER AND IS NOT TO BE USED FOR HUMAN CONSUMPTION.

'FIRST SINGLE FLUSH' DEVICE TO BE PROVIDED ON THE UPSTREAM SIDE OF THE STORAGE TANK FOR EACH PIPED INLET TO RETENTION TANK.

RAINWATER TANKS TO BE PLACED ON A STRUCTURALLY ADEQUATE BASE IN ACCORDANCE WITH THE MANUFACTURER'S OR STRUCTURAL ENGINEER'S DETAILS.

THE TANK MUST NOT BE INSTALLED OVER ANY MAINTENANCE STRUCTURE OR FITTINGS USED BY A PUBLIC AUTHORITY.

RAINWATER TANKS AND ASSOCIATED PLUMBING WORKS TO BE INSTALLED AND CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN.

THIS PLAN TO BE READ IN CONJUNCTION WITH MOD2017/0351 NORTHERN BEACHES COUNCIL



BASIX[™] Certificate
Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 7101205_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 18/09/2014 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 7101205 lodged with the consent authority or certifier on 04 April 2016 with application ND115/16.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000.

Secretary
Date of Issue: Friday, 02 June 2017
To be valid, this certificate must be lodged within 3 months of the date of Issue.



Project summary		
Project name	0132 HANCOCK_03	
Street address	25 Kevin Avenue Avalon Beach 2107	
Local Government Area	Pittwater Council	
Plan type and plan number	deposited 12435	
Lot no.	10	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	2	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 47	Target 40

Certificate Prepared by	
Name / Company Name: arclab pty ltd	
ABN (if applicable): 143472752	

BASIX Planning & Environment www.basix.nsw.gov.au
Version: 2.1 / CABUARMA_2_35_5
Certificate No. 7101205_03
Friday, 02 June 2017
Page 1/9

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B	ISSUED FOR APPROVAL	06.06.17
A	ISSUED FOR APPROVAL	04.04.17
No:	AMENDMENT	DATE

CLIENT'S NAME:	OXX
THE HANCOCKS	28.11.16
ADDRESS:	AS
25 KEVIN AVENUE	PM
AVALON	-

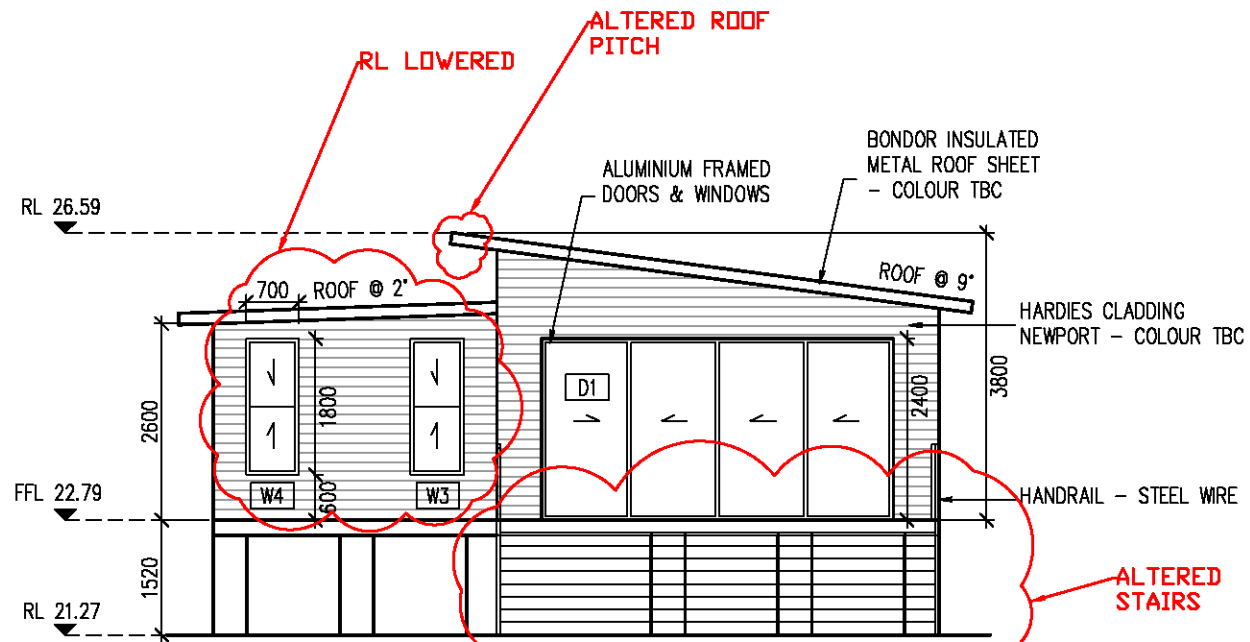
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DRAWN BY:	AS
CHECKED BY:	PM
SCALE (A3):	-



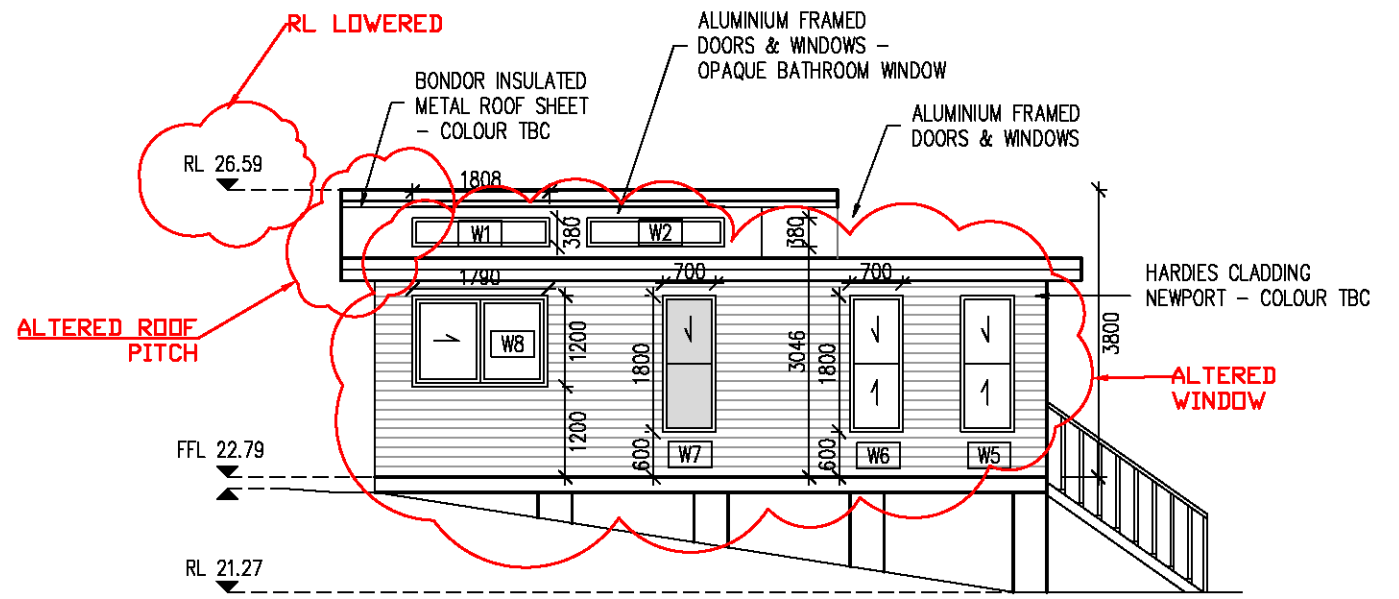
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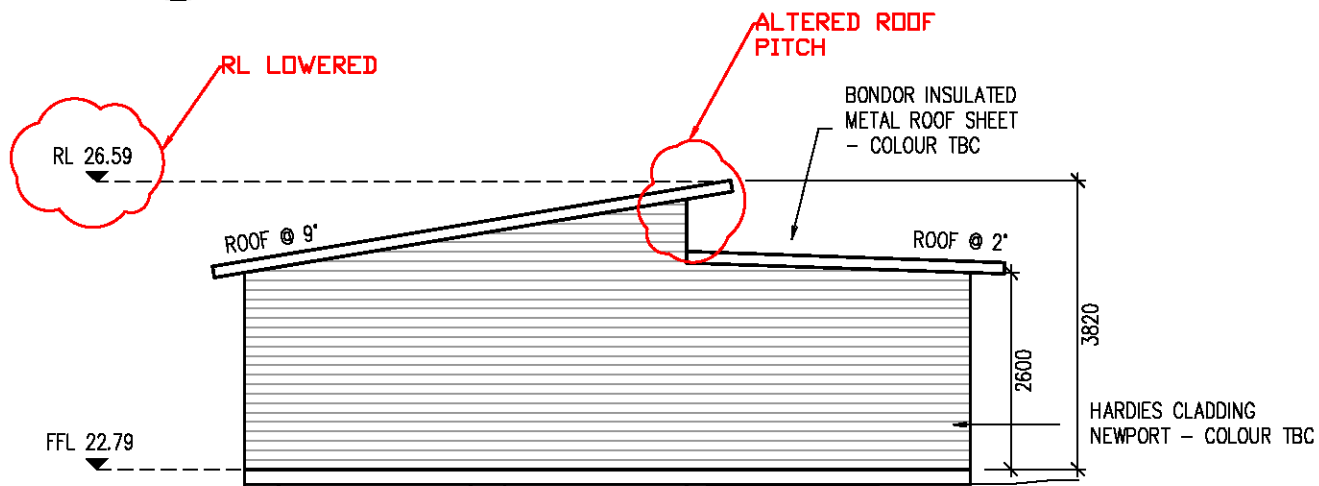
SITE PLAN - NOTES
003



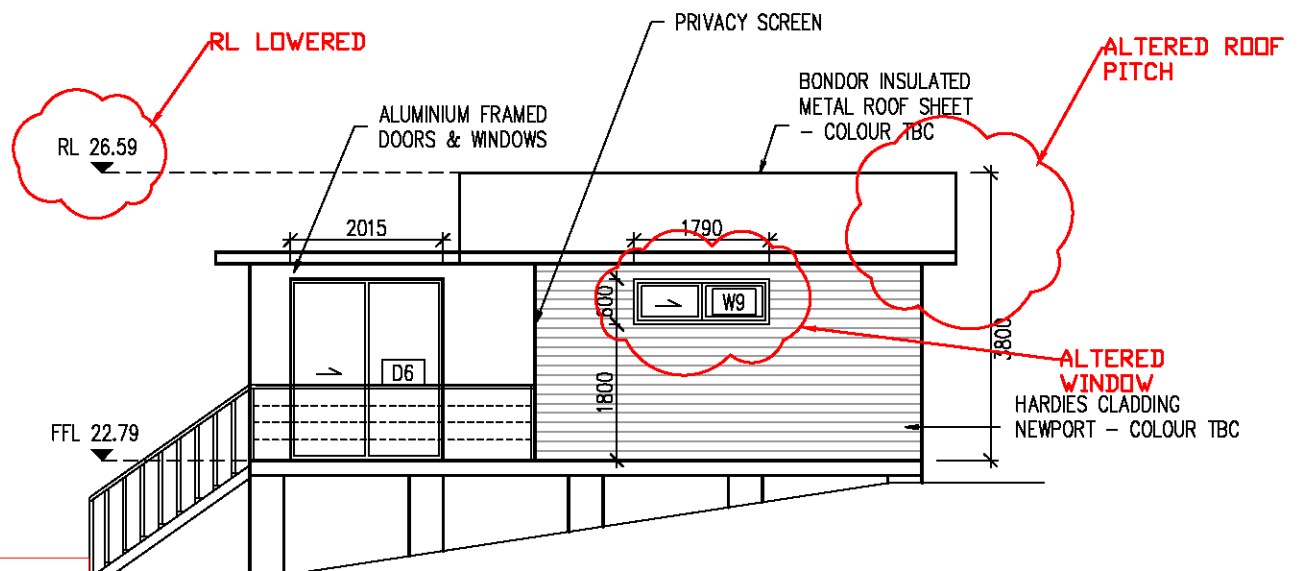
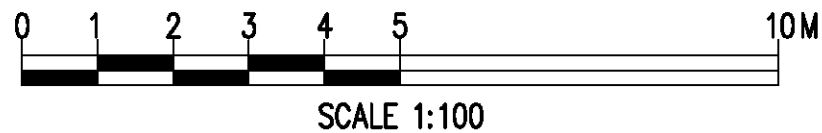
0
1
PROPOSED EAST ELEVATION
1:100



0
2
PROPOSED SOUTH ELEVATION
1:100



0
3
PROPOSED WEST ELEVATION
1:100



0
4
PROPOSED NORTH ELEVATION
1:100

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REV D
- W9 ADDED
- BI-FOLD ADJUSTED
- SKYLIGHT ADDED

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D	ISSUED FOR APPROVAL	22.05.17
C	ISSUED FOR APPROVAL	04.04.17
B	ISSUED FOR APPROVAL	28.02.17
A	ISSUED FOR APPROVAL	28.02.17
No:	AMENDMENT	DATE

CLIENT'S NAME:
THE HANCOCKS

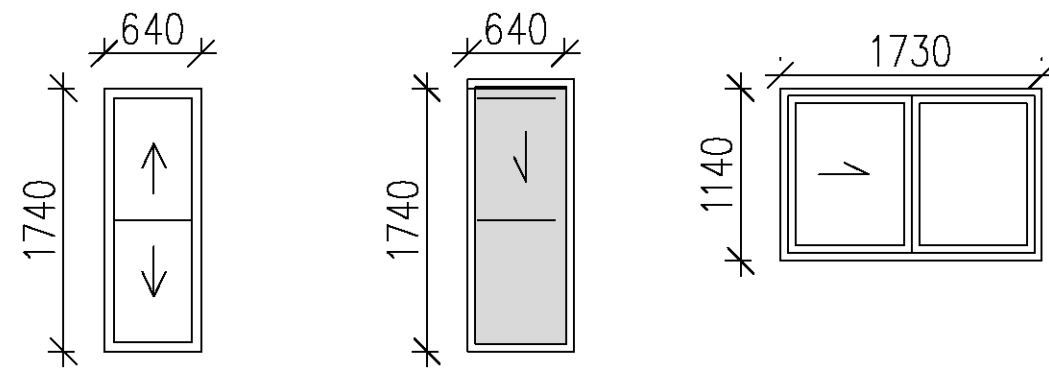
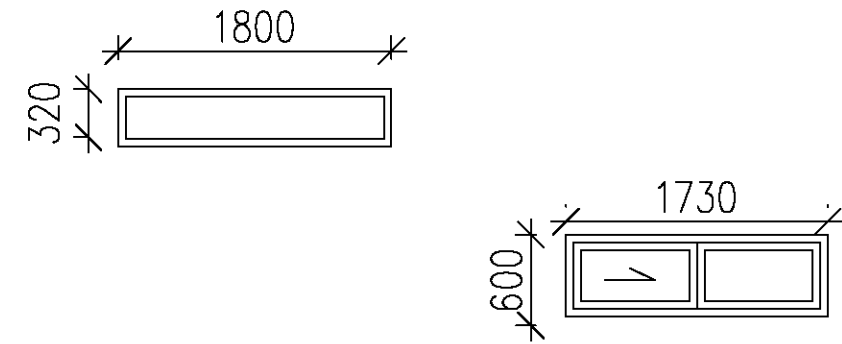
ADDRESS:
25 KEVIN AVENUE
AVALON

PROJECT NUMBER	XX
DATE:	28.11.16
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SCALE (A3):	1:100

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EXTERNAL ELEVATIONS 005

SCHEDULE FOR MANUFACTURE



NOTE:

REFER TO BASIX CERTIFICATE FOR WINDOWS AND GLAZING REQUIREMENTS
FG: FIXED GLASS

NOTE: TIMBER TRIM TO ALL EXTERNAL WINDOWS / DOORS

RL 22.79

0
1 **WINDOW SCHEDULE**
1:50

W3, W4, W5 & W6

SLOT WINDOW
STUD OPENING: 700 X 1800
FRAME COLOUR: PEARL WHITE
101.6mm WIDTH
FLYSCREEN
QUANTITY X 4

W7

SLOT WINDOW
STUD OPENING: 700 X 1800
TOP OPENING - GLAZING SUPPLIER CONFIRM
OBSCURE
FRAME COLOUR: PEARL WHITE
101.6mm WIDTH
FLYSCREEN
QUANTITY X 1

W8

WINDOW
STUD OPENING: 1790 X 1200
FRAME COLOUR: PEARL WHITE
101.6mm WIDTH
FLYSCREEN
QUANTITY X 1

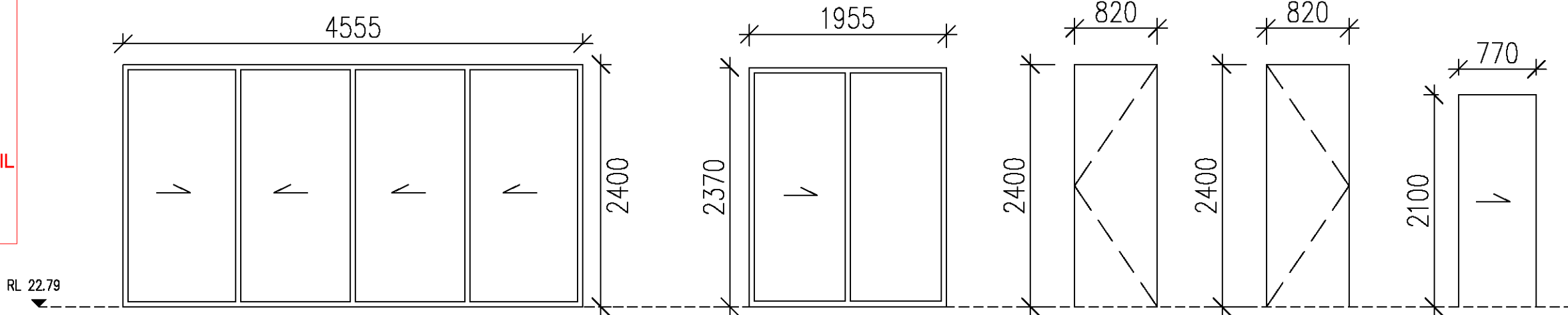
W1, W2

FIXED WINDOW
STUD OPENING: 1800 X 380
FRAME COLOUR: PEARL WHITE
101.6mm WIDTH
QUANTITY X 2

W9

WINDOW
STUD OPENING: 1790 X 600
FRAME COLOUR: PEARL WHITE
101.6mm WIDTH
FLYSCREEN
QUANTITY X 1

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RL 22.79

0
2 **DOOR SCHEDULE**
1:50

D1

BI-FOLD DOOR
STUD OPENING: 4555 X 2400
FRAME COLOUR - PEARL WHITE
FLYSCREEN
QUANTITY X 1

D6

STUD OPENING: 2015 X 2400
FRAME COLOUR - PEARL WHITE
FLYSCREEN
QUANTITY X 1

D2

820 X 2400
PAINT GRADE
QUANTITY X 1

D4

820 X 2400
PAINT GRADE
QUANTITY X 1

D3, D5

CAVITY SLIDER
770 X 2100
PAINT GRADE
QUANTITY X 1

REV B - W9 ADDED - BI-FOLD ADJUSTED
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B	ISSUED FOR APPROVAL	22.05.17
A	ISSUED FOR APPROVAL	04.04.17

CLIENT'S NAME: THE HANCOCKS
ADDRESS: 25 KEVIN AVENUE AVALON

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CHECKED BY:	PM
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WINDOW & DOOR SCHEDULE 007