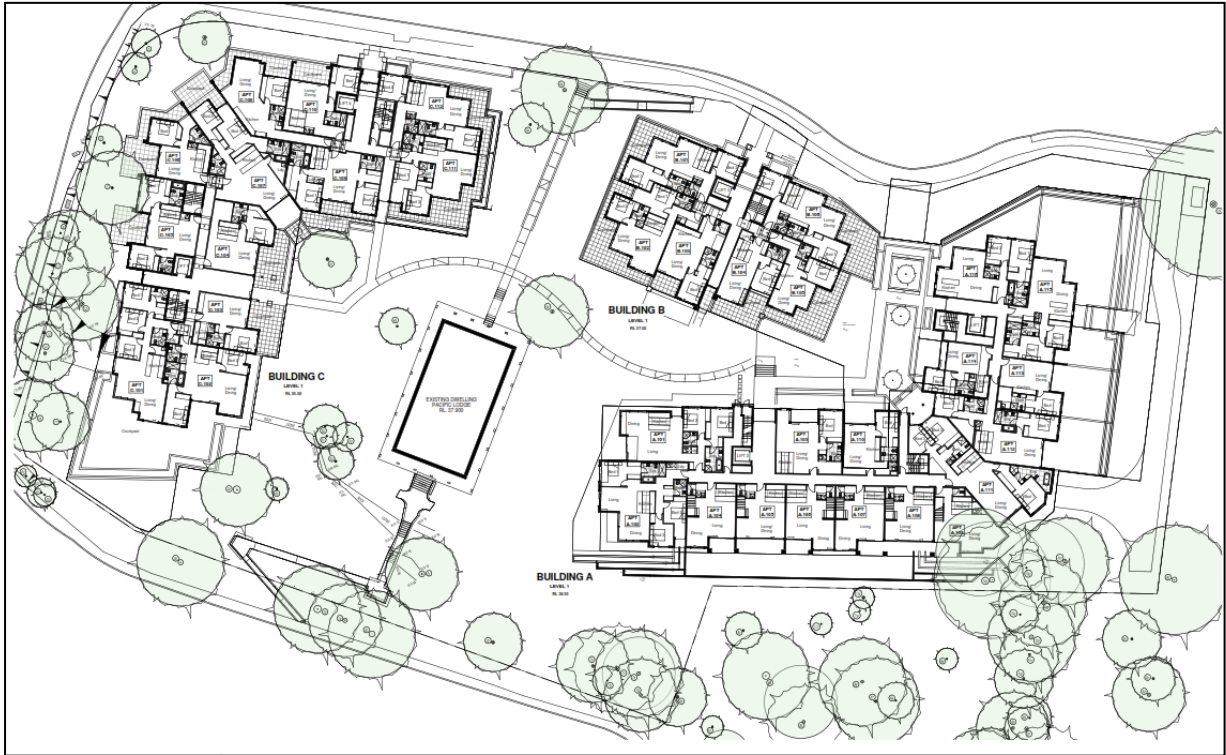


Pacific Lodge
15-23 Fisher Road, Dee Why
Proposed Mixed Use Development
Heritage Assessment



prepared for
Rosegroup

August 2018
REF: 1816: HA
Issue 01

Tropman & Tropman Architects

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Report Register

The following table is a report register tracking the issues of the *Pacific Lodge Proposed Mixed Use Development Heritage Assessment* prepared by Tropman & Tropman Architects. Tropman & Tropman Architects operate under a quality management system, and this register is in compliance with this system.

| Project Ref No. | Issue No. | Description | Prepared by | Reviewed by | Issued To | Issue Date |
|-----------------|-----------|--|--------------|-------------|--|------------|
| 1816:HA | 01 | <i>Pacific Lodge 15-23 Fisher Road, Dee Why Proposed Mixed Use Development Heritage Assessment</i> | Scott Murray | | Rose Group Nick Jackman Via Email njackman@rosegroup.com.au | 27.08.18 |

1.0 INTRODUCTION

1.1 Brief

This Heritage Assessment has been prepared for Rosegroup. The aim of this document is to briefly review the Proposed Mixed Use Development and assess in regard to the 1892 Admin building, the adjoining Local Heritage Precinct and the Development Guidelines contained in 'Salvation Army Pacific Lodge 15-23 Fisher Road Preliminary Conservation Management Plan', by Tropman & Tropman Architects, August 2018. The following Architectural Drawings provided by Rose Architectural Design were reviewed for this assessment:

| | |
|--|----------------|
| Basement Parking Plan 1 | 18041-DA.2.01A |
| Basement Parking Plan 2 | 18041-DA.2.02A |
| Level 1 Plan | 18041-DA.2.03A |
| Level 2 Plan | 18041-DA.2.04A |
| Level 3 Plan | 18041-DA.2.05A |
| - | - |
| Level 5 Plan | 18041-DA.2.07A |
| Level 6 Plan | 18041-DA.2.08A |
| West Elevation (Fisher Rd.) & South Elevation (St David Ave) | 18041-DA.3.01A |
| East Elevation (Civic Drv) & North Elevation | 18041-DA.3.02A |
| Section A-A & B-B | 18041-DA.3.03A |
| Section C-C & D-D | 18041-DA.3.04A |

1.2 Study Area

The subject site is located at 15-23 Fisher Road, Dee Why. The subject site is irregularly shaped and is bound on the north by an apartment complex and a large car park, on the east by Civic Parade, on the south by St David Avenue, and on the west by Fisher Road. Refer to Figures 1.

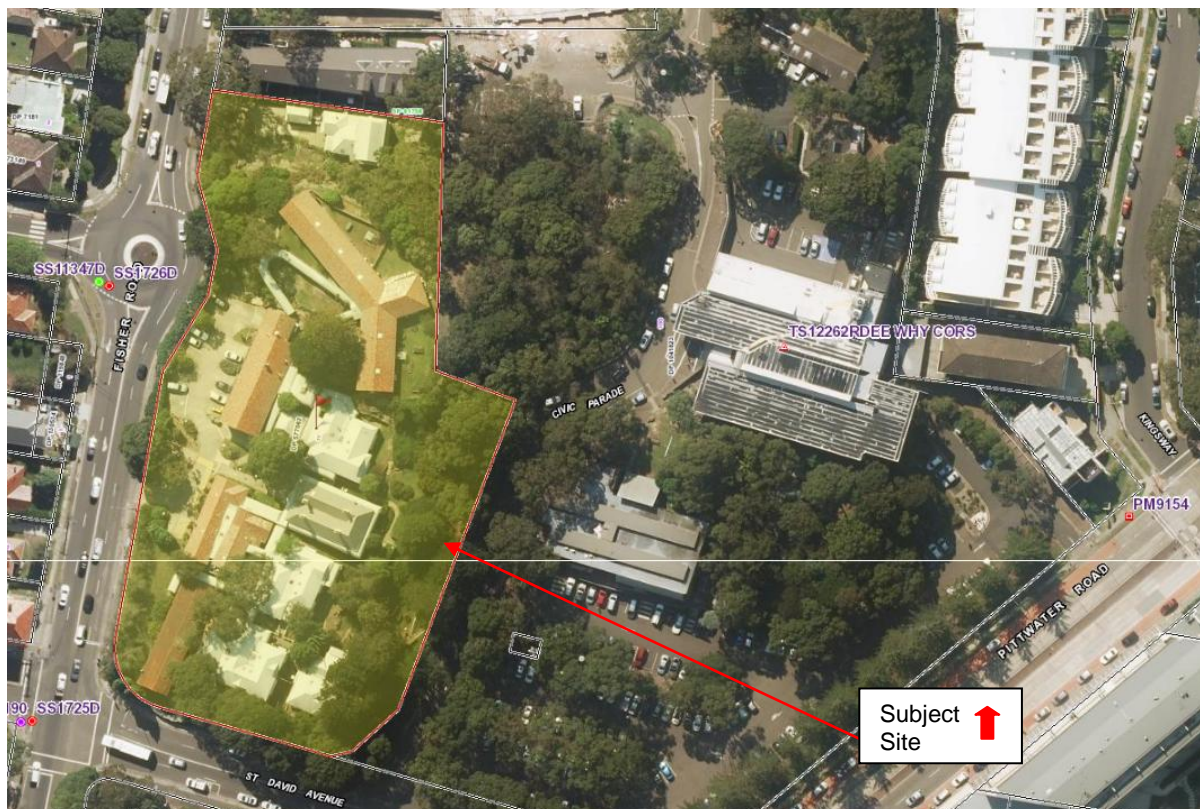


Figure 1 Pacific Lodge context, aerial image. Source SIX Maps

1.3 Author Identification

TROPMAN & TROPMAN ARCHITECTS:

John Tropman Director, Heritage Conservation Architect
Scott Murray Senior Project Architect, Urban Design

1.4 Previous reports, available information and background material

This report has been prepared with the use of the following references:

- *Pacific Lodge 15-23 Fisher Road, Dee Why Preliminary Conservation Management Plan* by Tropman & Tropman Architects, August 2018.

2.0 PHYSICAL EVIDENCE

2.1 Site Setting & Streetscape

The subject site is located at 15-23 Fisher Road, Dee Why. Fisher Road is a busy, multi-laned roadway which connects with Pittwater Road to the south. The streetscape in the immediate vicinity of the subject site is varied. Along the western side of Fisher Road, the streetscape is characterised by single storey residential properties. An apartment complex and a large ground level public carpark are located to the north of the site. The former Warringah Council offices, Dee Why Library and another large ground level carpark are located along Civic Road adjacent to the east of the site.

The subject site is listed as a local heritage item and is also located within a heritage conservation area. Other heritage items within the vicinity of the site include the Warringah Library to the east on Civic Parade, and the Fire Station on Fisher Road to the west.

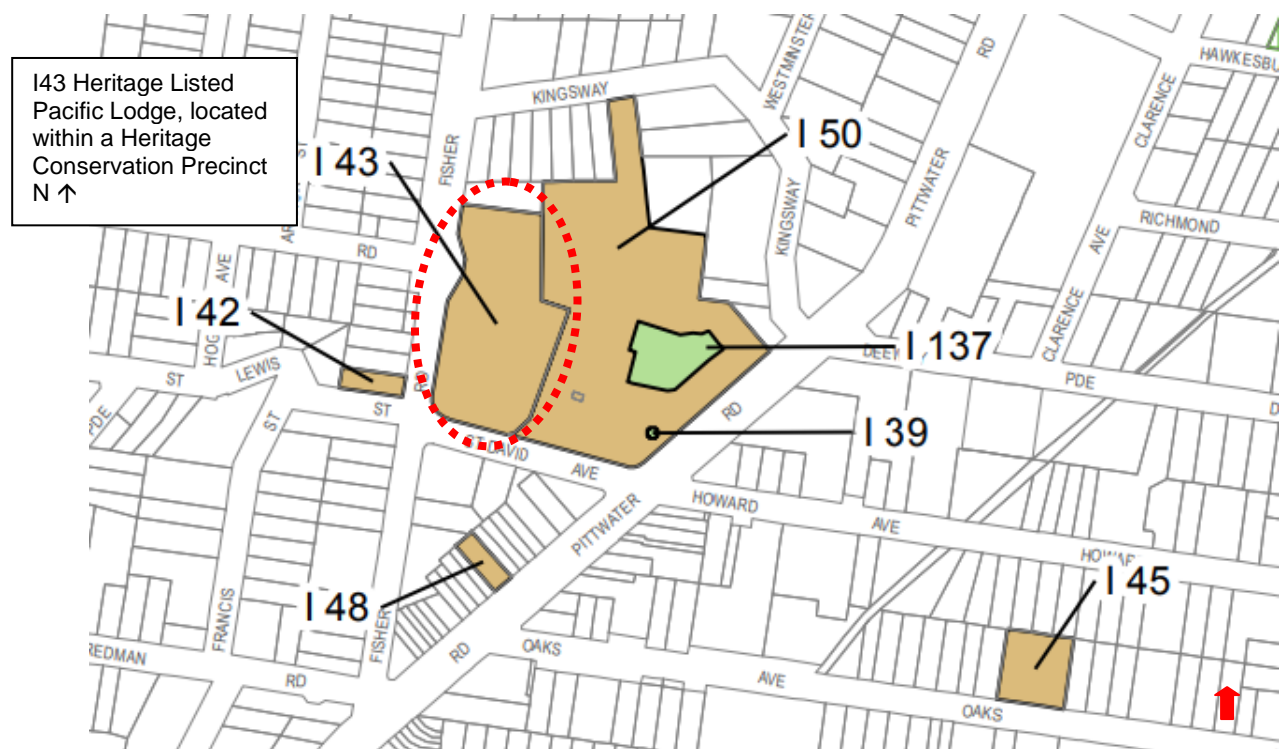


Figure 2: Warringah Council LEP 2011 (updated 30 June 2017) Map – Heritage Conservation showing heritage items and heritage conservation areas. Map id. no.: 1800_COM_HOB_010AA_005_20160407

2.2 Subject Site

The subject site is located on top of a knoll with the site falling steeply away to the north cliff edge, and falling away steeply to the east, south and west effectively isolating the site from the boundary street footpaths. Numerous sandstone outcrops are exposed around the perimeter of the site and the landscaping and topography of the site obscures views into the site and outwards from the site to the north, east and south.

The site was owned by the Salvation Army up until 2016 and was known as The Salvation Army Pacific Lodge Aged Care Facility. The site was used as a low care residential aged care facility with a total of 59 beds. The site contained eleven individual buildings constructed over time in the 1890s, 1960s and 1990s (refer to Figures 44 and 55 for the current site plan). Vehicle access to the site and limited on-site parking is located off Fisher Road. The 1892 Pacific Lodge building is orientated to the east with views and vistas to the ocean. Landscaping to the site obscures many views outwards to the north, east and south.

2.3 Site Development Summary

The drawing below is a graphic summary of the ages of construction of the existing built features. The summary was prepared from documentary sources and not on-site physical inspection.

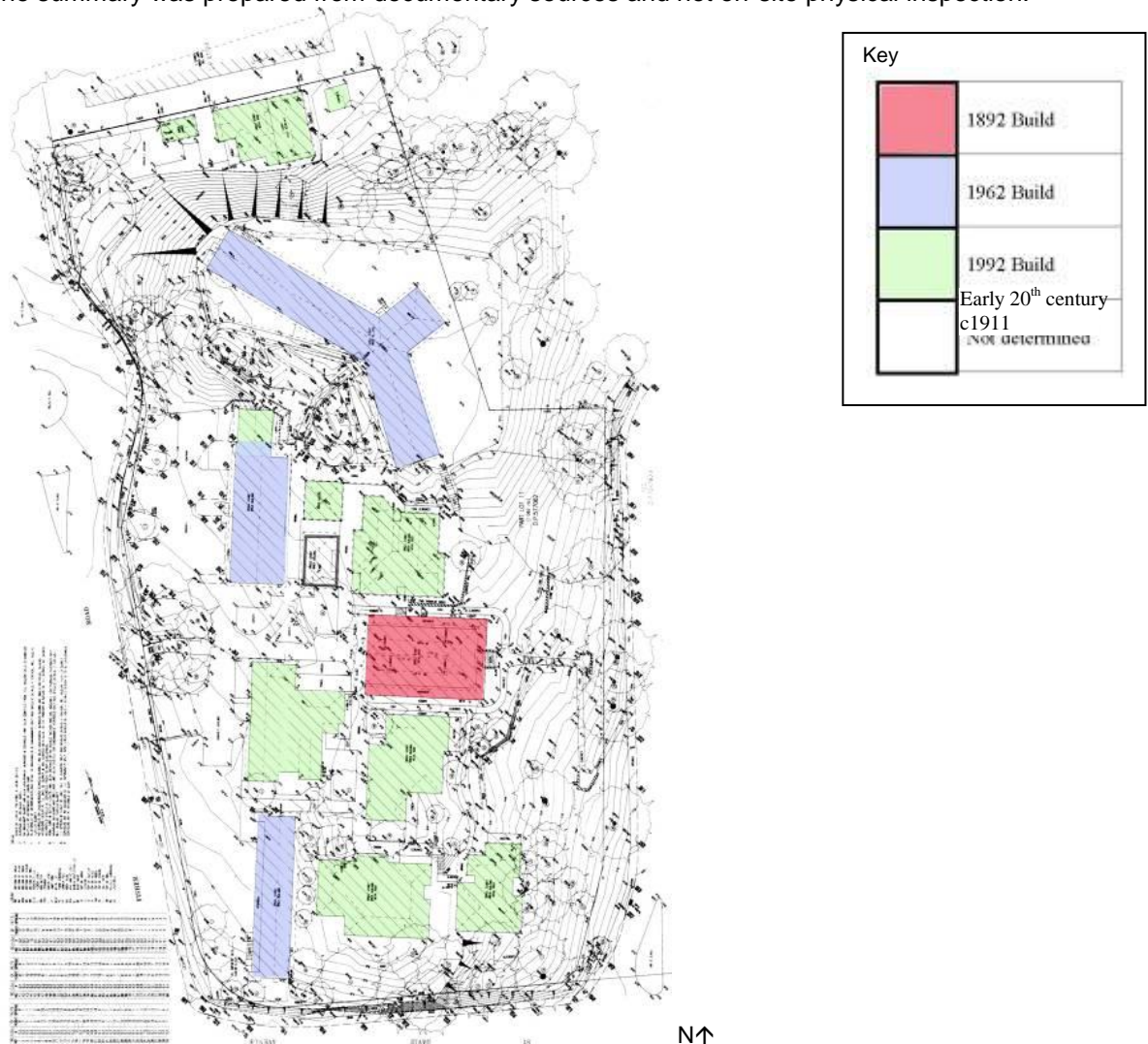


Figure 3: Site development summary. Source: Salvation Army (Denny Linker & Co.)

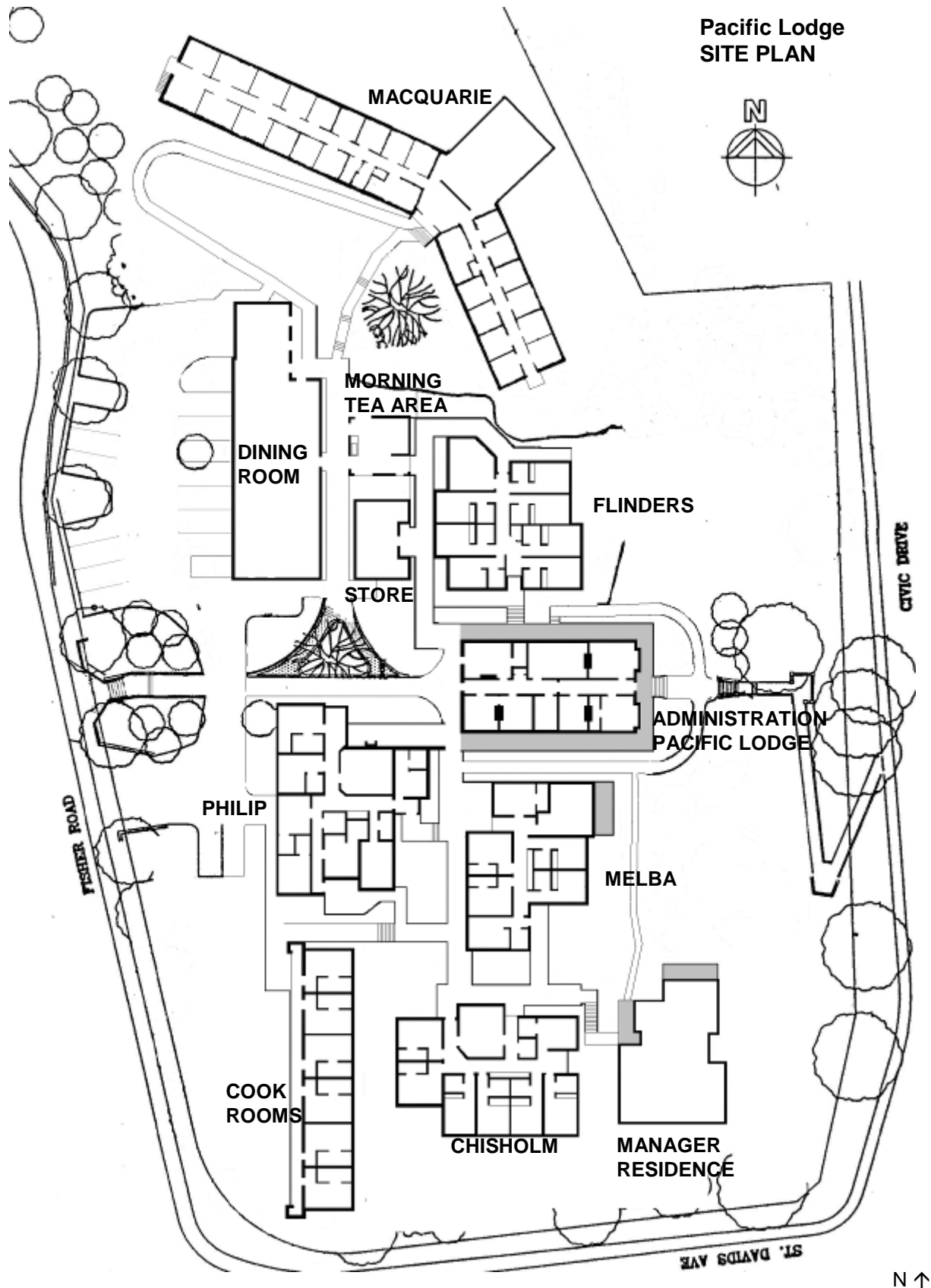


Figure 4: Site plan, Pacific Lodge.

2.3 1892 Pacific Lodge Administration Building

The 1892 Pacific Lodge Administration is a single storey, substantial, elevated rendered masonry Victorian Filigree building. The front (east) façade presents with a steep hipped corrugated metal roof. The rear (west) elevation presents with a double hipped corrugated metal roof. The building has tall rendered decorative chimneys and a wrap around verandah with a corrugated metal bullnosed roof, and decorative iron lace work and balustrading with a Salvation Army Home of Rest insignia design. The front (east) elevation also has decorative quoins.



Figure 5: 1892 Pacific Lodge Administration & adjacent c1911 Store / Amenities building

3.0 ASSESSMENT OF HERITAGE SIGNIFICANCE

3.1 Statement of Heritage Significance

The subject site, and in particular the 1892 Pacific Lodge building, had been in continual use by the Salvation Army for a period of over 120 years. The staged development and change of use of the site and building throughout this period demonstrates the evolving charitable community service of the Salvation Army and reflects the most pressing community needs of the time. The 1892 Pacific Lodge building is a rare example of a purpose-built Salvation Army Home of Rest and is indicated as being the oldest surviving, and possibly the earliest substantial building in the suburb of Dee Why.

3.2 Heritage Curtilage

A preliminary heritage curtilage for the heritage significant building only has been defined to assist the design of potential future development opportunities. The curtilage takes into consideration landscape, both natural and cultural, vistas to and from the site, adjacent council heritage conservation zones. Refer to Figure 12.

3.3 Immediate Heritage Curtilage

The preliminary Immediate Curtilage identified in Figure 12, defines a zone which allows for a cultural landscape proportional to the scale of the subject building form. The original 1892 heritage significant Administration Building was a residential structure situated in the landscape with terraced gardens including an adjacent level lawn recreational area to the north that was possibly a croquet lawn, Figure 5a. Acknowledging that this cannot be recreated, and given the existing context, this curtilage is proposed as the most acceptable zone. This immediate curtilage is largely defined by the remaining original period garden which slopes down to Civic Parade and includes mature European trees and shrubs, terraces, garden walls, rock outcrops, a pathway and steps – identified in Figure 12.

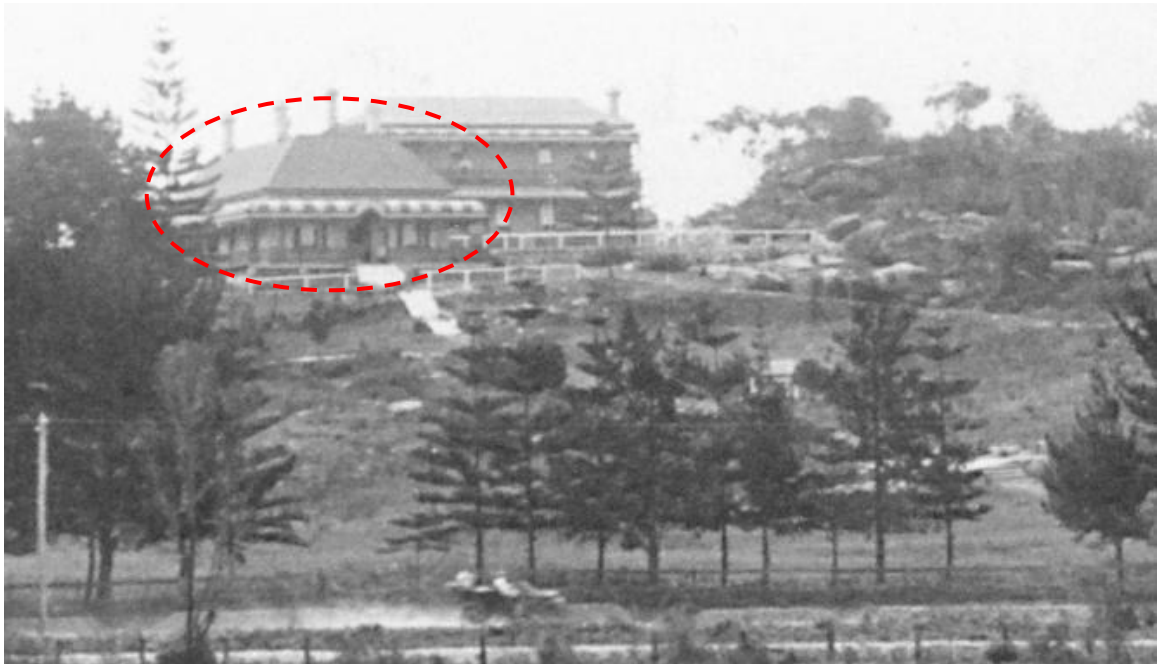


Figure 5a: Enlargement of 1912 Image of subject property *Source: Warringah Library*

4.0 PROPOSED APARTMENT DEVELOPMENT

The proposed development on Architectural Drawings provided by Rose on the subject site consists of the following:

- Retention of 1892 Pacific Lodge Administration Building, including front and rear entry steps/ramp accessed off Civic Parade and off Fisher Road. Refer to Figures 6a, 6b and 6c;
- Demolition of all existing remaining buildings on the subject site;
- Construction of 130 No. apartments, Blocks A, B & C
- Construction of 191 No. of underground car parks over two levels – accessed off Fisher Rd. Refer to Figures 6d.
- Construction of Commercial space -addressing Civic Parade. Refer to Figures 6d.

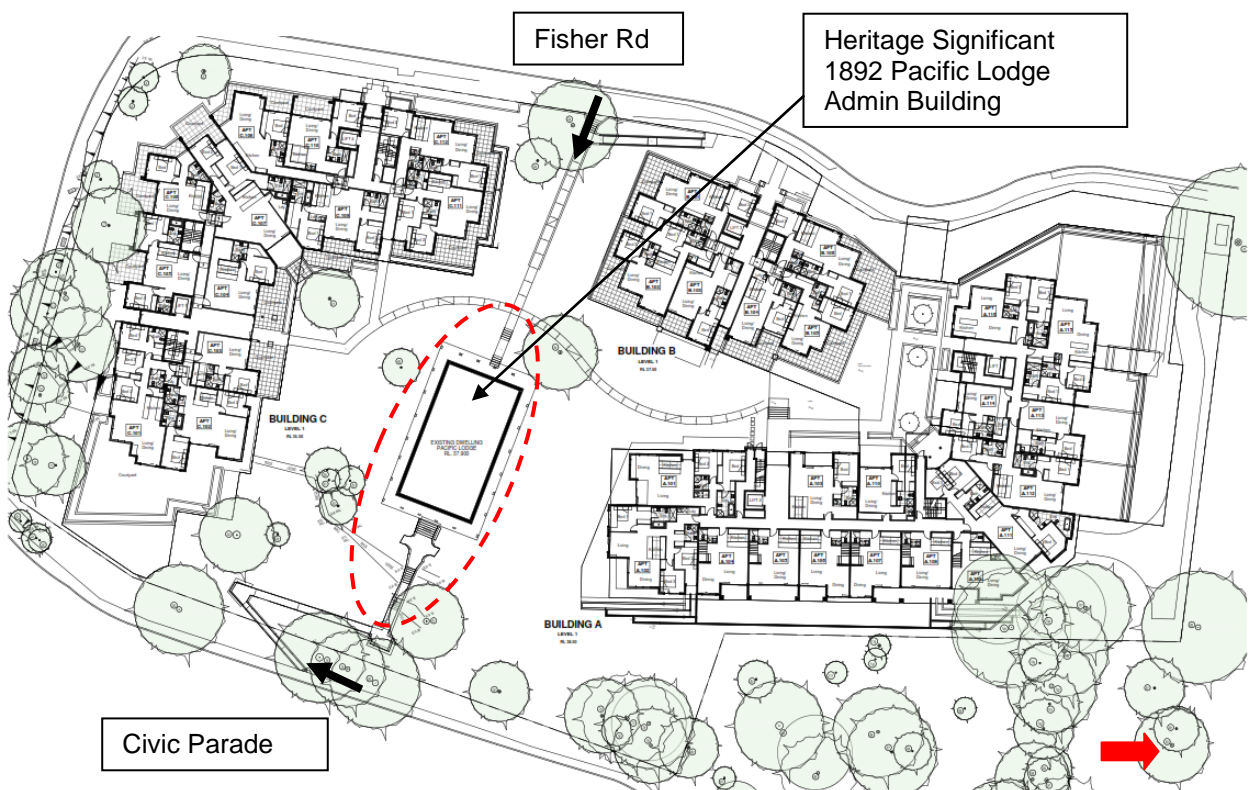


Figure 6a: Typical Floor Plan & Landscape

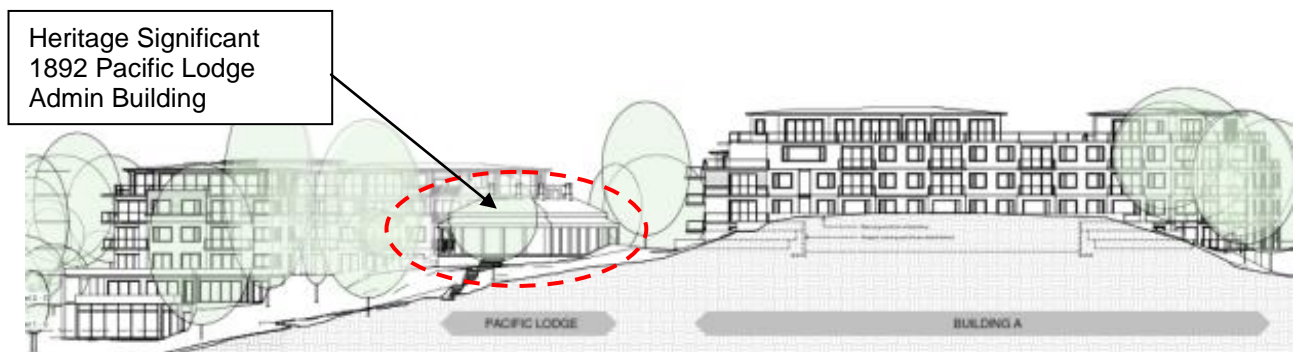


Figure 6b: Civic Parade Elevation

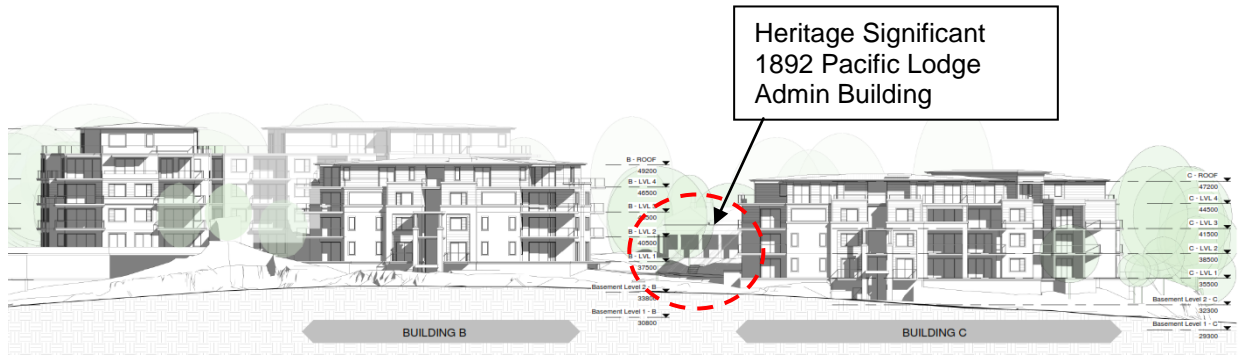


Figure 6c: Fisher Road Elevation

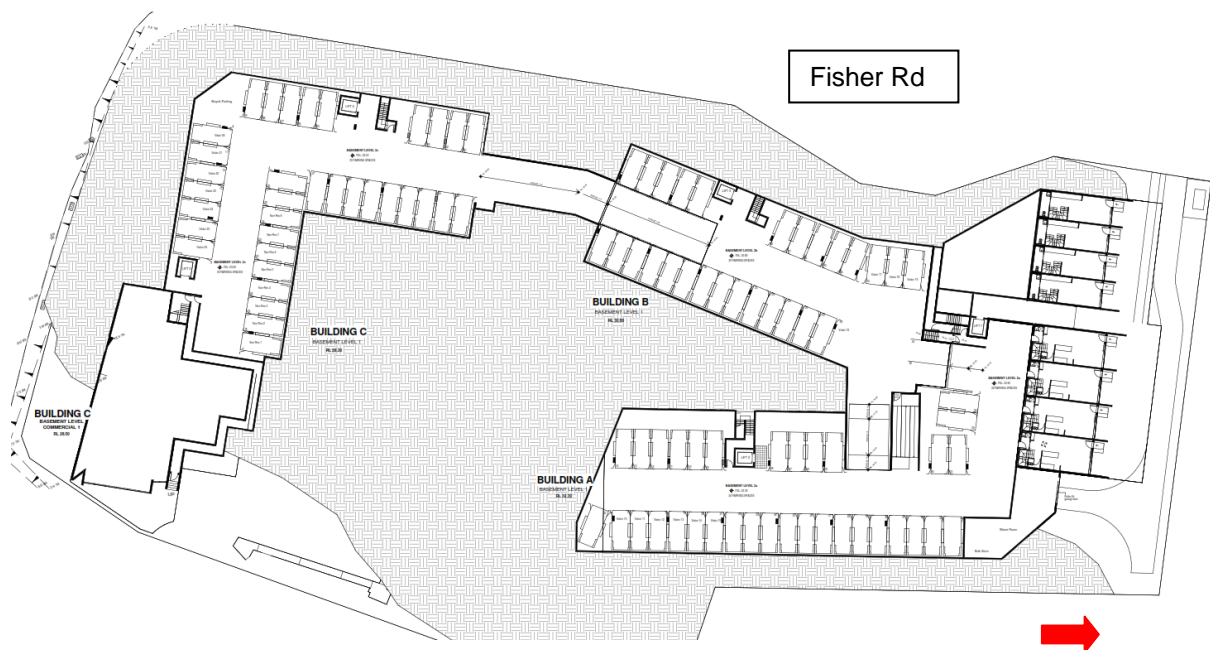


Figure 6d: Typical Basement Car parking Plan

5.0 HERITAGE ASSESSMENT OF PROPOSED APARTMENT DEVELOPMENT

The Impact of the proposed development on the adjoining heritage precinct and mitigation measures of adverse impacts upon Heritage Listed Item I43 and 1892 Administration Building are assessed below.

A preliminary Compliance Assessment of the proposed development, assessed against the Development Guidelines provided in the *Salvation Army Pacific Lodge Preliminary Conservation Management Plan* by Tropman & Tropman Architects, August 2018 - refer to Appendix A.

5.1 Impact of the Proposed Development on the adjoining Heritage Precinct

The heights of proposed development building forms respect the adjoining Heritage Precinct. The impact of proposed development has minimal impact upon building setbacks and forms associated with the Warringah Council Heritage Conservation Zone which includes Items **I 50 & I 137** as they are located below grade, well away from the subject site and screened by landscaping, refer to Figures 7, 8 and 9.;

Similarly, Item **I 42** is located below grade, opposite the subject site and potentially screened by landscaping, refer to Figures 10 and 11.

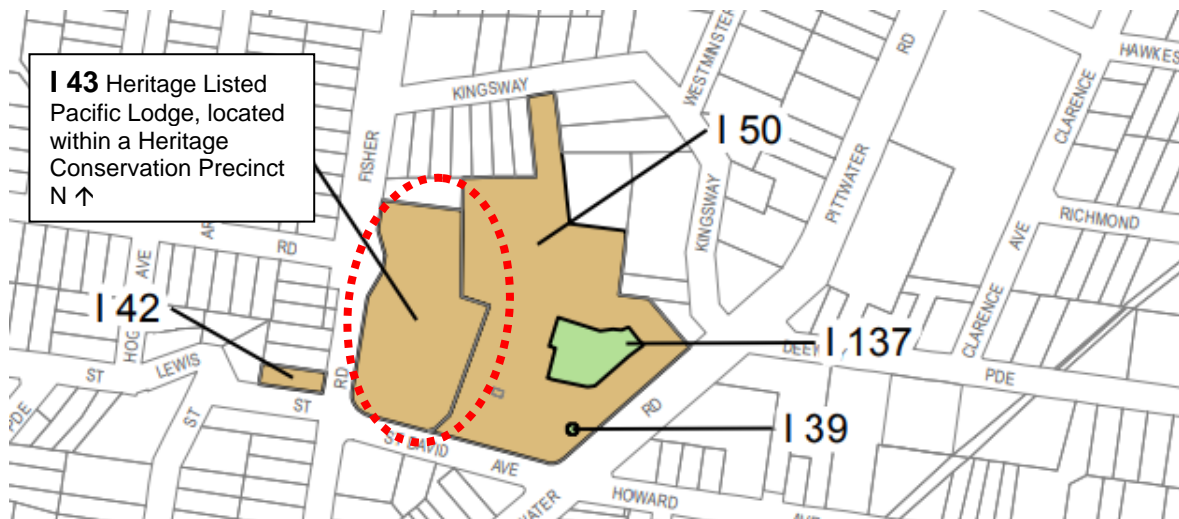


Figure 7: Warringah Council LEP 2011 (updated 30 June 2017)



Figure 8: Civic Parade view indicating subject site on left and **I 50** (Dee Why Public Library) and **I 137** (Civic Centre Landscaping) on right.



Figure 9: Civic Parade view indicating subject site on right and I 50 (Dee Why Public Library) and I 137 (Civic Centre Landscaping) on left.



Figure 10: Fisher Road view indicating I 42 (fire station on left) and subject site (on right)



Figure 11: Fisher Road view indicating subject site entry steps (on left) and I 42 (fire station on right)

5.2 Mitigate of Adverse Impacts upon 1892 Administration Building

The following design measures have been implemented to minimise adverse impacts upon the Pacific Lodge 1892 Administration Building:

- i. Retains Exceptionally Significant Heritage 1892 Administration Building;
- ii. Generally retains significant views (to and from 1892 Administration Building);
- iii. Generally retains No Encroachment Curtilage and increases existing building setbacks associated with the 1892 Administration Building;
- iv. Height of proposed development building forms respectful of the 1892 Pacific Lodge Administration Building;

- v. Generally appears to retain significant landscape elements (both natural and cultural);
- vi. Allows for future development of appropriate heritage landscaping to enhance and provide buffer zone between Heritage Buildings and proposed development. Potential to incorporate any archaeology and interpretation of these elements within the landscape;

6.0 SUMMARY OF PROPOSED DEVELOPMENT RECOMMENDATIONS

Subject to additional detailed building and landscape information relating to the proposed apartment development, Tropman & Tropman believe the proposed development scheme will have minimal impact upon the significant heritage fabric of the 1892 Administration Building and will address the Conservation Policies and Development Guidelines identified in the *Pacific Lodge 15-23 Fisher Road, Dee Why Preliminary Conservation Management Plan* by Tropman & Tropman Architects, August 2018.

Appendix A

Preliminary Compliance Assessment Against Development Guidelines

Salvation Army Pacific Lodge Preliminary Conservation Management Plan by Tropman & Tropman Architects, August 2018.

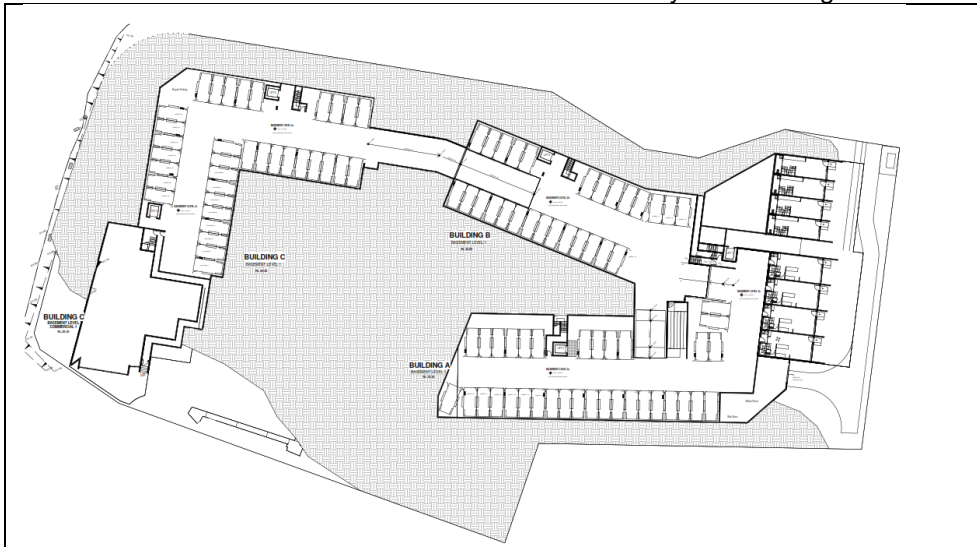


Figure 8: Typical Car Parking Plan



Figure 9: Typical Floor Plan & Landscape

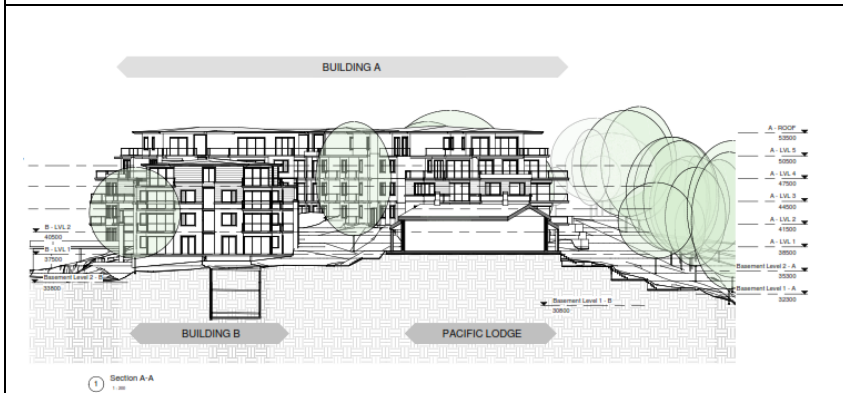


Figure 10: Typical Section / Elevation

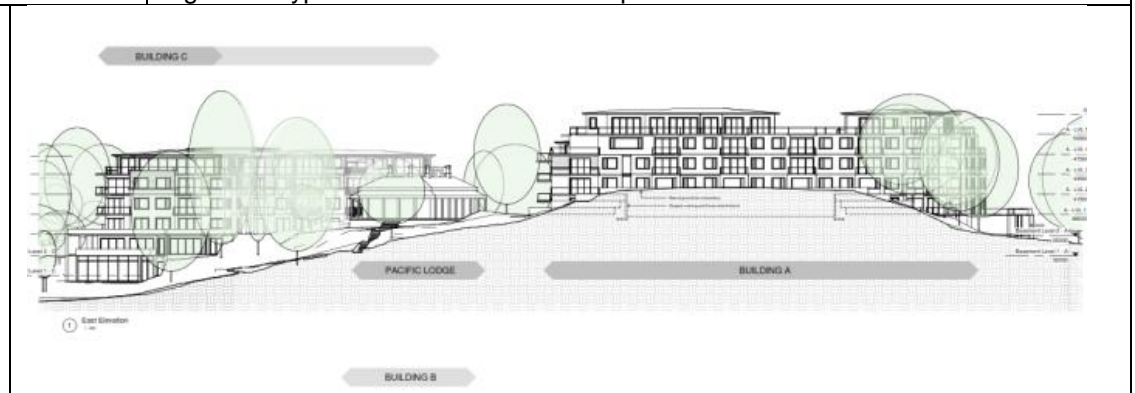


Figure 11: Typical Section / Elevation

| COMPLIANCE ASSESSMENT AGAINST Development Guidelines | | | | |
|---|---------------------------------------|---|---|--|
| | Design Element | Guidelines | Compliance of Proposal <ul style="list-style-type: none"> • Complies (C) • Capable of Complying (CC) • Not Complying (NC) | Tropman Architects Comment |
| 1. | Heritage Significant Buildings | a) Significant Heritage Buildings and Significant Cultural Landscapes to be retained. | C & NC | i. Exceptionally Significant 1892 Pacific Lodge building retained. Remnant wall to rear of the Pacific Lodge building and Moderately Significant adjacent amenities building not retained. ii. Landscape retention appears to comply. Detailed Landscape Plan not provided. |
| | | b) Significant Natural Landscapes identified in CMP to be retained. | C & NC | i. Landscape retention appears to comply. Detailed Landscape Plan not provided. ii. Front entry steps/ramp from Civic Parade & Fisher Road to 1892 Pacific Lodge Admin Building retained. |
| 2. | Setbacks: | a) 1892 Administration Building: Immediate Curtilage | C | Generally appears to comply |
| | | (i) Generally no building development permitted in Immediate Curtilage. Refer to Curtilage Definition – Fig.6 | | |
| | | (ii) Immediate Curtilage: Minimum setback 14.0m from edge of existing north & south verandahs. | | |
| | | (iii) Low-rise development is permitted in Immediate Curtilage if building function supports use of 1892 Administration Building. | C | Generally appears to comply |

| | | | | |
|-----------|---------------------------|--|--------------------|---|
| | | (iv) 1892 Administration Building to have minimum 2 hours acceptable access to winter sun between 9am & 3pm on June 21 st . | CC | Solar diagrams not provided |
| | | b) 1892 Administration Building: No Encroachment Curtilage: (i) No building development permitted in 'No Encroachment Curtilage'. Refer to Curtilage Definition - Fig. 6 and Conservation Policies. | C | Generally appears to comply |
| | | c) Street Boundaries: Appropriate setback from street boundary to ensure conservation of heritage building fabric. Building setbacks from street boundaries also restricted by existing topography and natural rock outcrops that are to be retained with minimal disturbance. | C | Generally appears to comply |
| | | d) Significant Natural Landscape: Appropriate setback from significant natural landscape to ensure conservation. | CC & NC | Appropriate setback from significant natural landscape retained. Detailed Landscape Plan not provided. |
| | | e) Significant Cultural Landscape: Appropriate setback from significant cultural landscape to ensure conservation. | CC & NC | Detailed Landscape plan not provided. |
| 3. | Development Zones: | New development generally restricted to existing built zones and restricted by natural and heritage curtilages – refer to Fig.6. | CC & NC | Generally appears to comply. Detailed Landscape plan not provided. |

| | | | | |
|----|--|--|--------------------|--|
| 4. | Building Footprints: | New Building Footprints generally restricted to existing built zones and bound by natural and heritage curtilages. Building footprints generally narrow in form. | C & CC | Generally appears to comply. Detailed Landscape plan not provided. |
| 5. | Architectural Style Guidelines: | Architectural style to be contemporary using contemporary architectural details and incorporating current sustainable design practices. | C & CC | Generally appears to comply. Finishes schedules not provided |
| 6. | Built Form (Scale & Height) Guidelines: | a) Built form to generally conform to Local Council requirements. | CC | Generally appears to comply. Requires further details & assessment |
| | | b) Potential to consolidate a portion of building form into a tower – this could potentially reduce building footprint and reduce pressure to build close to significant heritage buildings. | CC | Design option not explored |
| | | c) Ensure verandah of 1892 Administration Building has access to minimum acceptable winter sun. | CC | Generally appears to comply. Solar diagrams not provided |
| | | d) Ensure views to and from adjacent heritage listed buildings are maintained. | C & CC | Views to and from adjacent Items I 50 & I 137 and Item I 42 appear to generally comply |
| | | e) Ensure views to and from Fisher Road, Civic Parade & Pittwater Road. | C & CC | Appears to generally comply. |
| 7. | External Materials, Finishes & Colours: | a) New development to use contemporary detailing, materials, finishes and colours. | C & CC | Capable of complying. Finishes schedules not provided |
| | | b) Blend with natural environment. | CC & NC | Capable of complying. Finishes schedules not provided |

| | | | | |
|-----------|---------------------|--|--------------------|--|
| | | c) Generally subtle colours with occasional colour burst as a highlight. | CC & NC | Capable of complying. Finishes schedules not provided |
| 8. | Landscaping: | Retain existing significant cultural landscapes and significant natural landscapes identified in CMP. Future new landscape spaces adjacent to significant heritage buildings to incorporate appropriate formal design elements | CC & NC | Appears to generally comply. Detailed Landscape plan not provided. |
| | Soft : | Use contemporary plant materials and subtle colours, so any new landscape is subtly different to existing heritage soft landscaping. | CC | Capable of complying. Landscape plan not provided. |
| | Hard: | Use contemporary materials and subtle colours, so new work is subtly different to existing heritage hard landscaping. | CC | Capable of complying. Landscape plan not provided. |

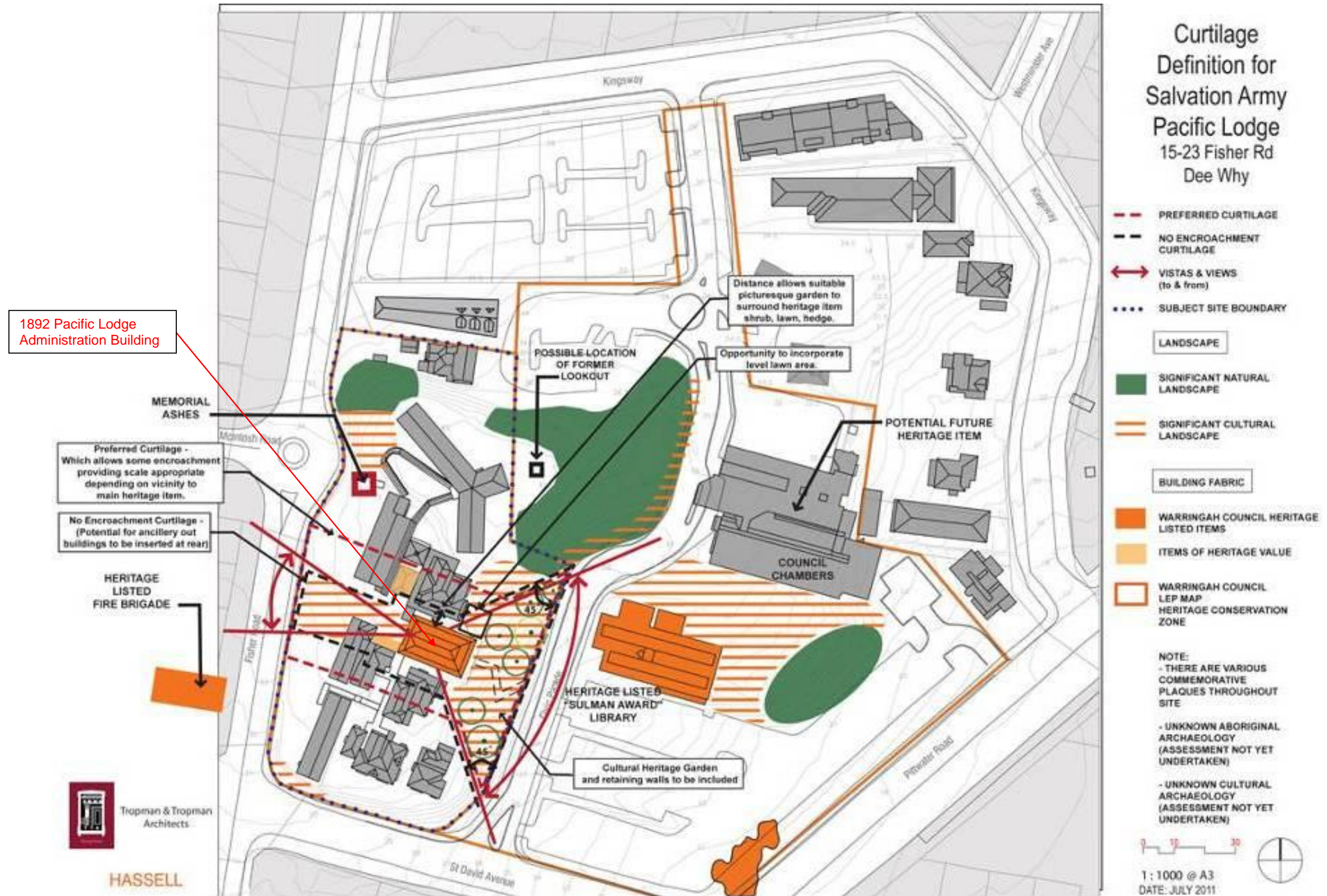


Figure 12: Curtilage definition of the subject site.