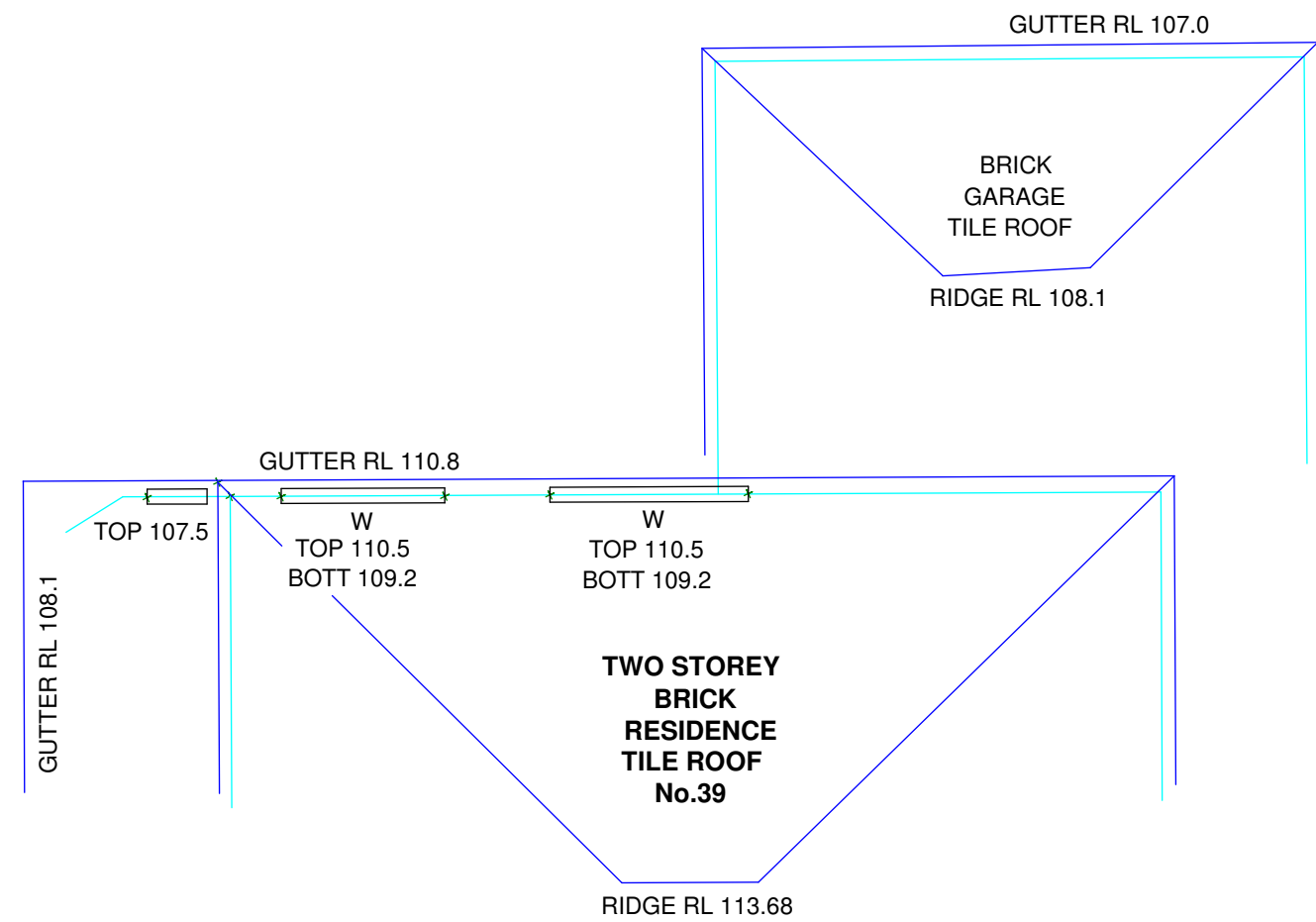
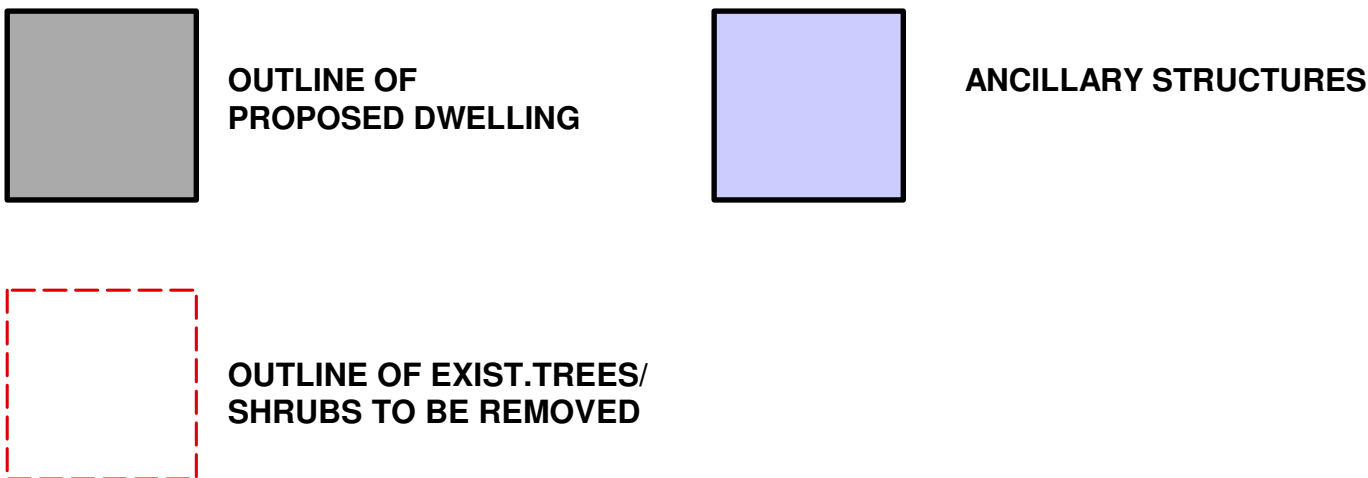


SITE ANALYSIS PLAN
Scale: 1:100



DATE	REV	AMENDMENTS
04/12/24	A	DA ISSUE

- DO NOT SCALE FROM DRAWING. USE WRITTEN DIMENSIONS ONLY
- BUILDER TO CHECK AND VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT
- THE DESIGNER'S DETAILS CONTAINED ON THIS DRAWING ARE SUPPLIED IN CONFIDENCE & ARE NOT TO BE USED FOR ANY OTHER PURPOSE EXCEPT THAT AUTHORIZED BY

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B.D.T. BUILDING DESIGN & TECHNOLOGY Pty Ltd
APPLICATION PREPARED BY: MARK MAKHOUL
Shop 2, 15 Bransgrove St Wentworthville 2145,
PO Box 705 Kings Langley NSW 2147
Ph: 02 9667 0614 Mob: 0412 100 750
E-mail: mark@build-design.com.au

SITE CALCULATIONS	
SITE AREA:	708sqm
LANDSCAPED AREAS:	
FRONT LANDSCAPED AREA:	112sqm
SECONDARY LANDSCAPED AREA:	62sqm
REAR LANDSCAPED AREA:	119sqm
POOL AREAS:	
	12sqm
TOTAL LANDSCAPED AREA:	305sqm (43% x SITE AREA)
REQUIRED LANDSCAPED AREA:	283.28sqm(40% x SITE AREA)
PRIVATE OPEN SPACE:	
UNIT 1:	66sqm MIN 5M
UNIT 2:	80sqm MIN 5M
REQUIRED AREA:	MIN 60sqm + MIN 5M

PROJECT : **PROPOSED DUPLEX LOCATED AT 41 FERGUSON ST FORESTVILLE**

TITLE: **SITE ANALYSIS PLAN**

SCALE: 1:100 @ A1

DRAWN: MM

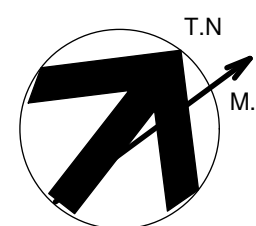
PROJECT DATE : OCT 2024

CHECKED:

REV: A

PROJECT No. 202426

DWG No. DA 0.01



ASHTON

13
DP 25368
708.2m BY DP
714.1m BY CALCULATION

AVENUE

FERGUSON
STREET

TWO STOREY
BRICK & CLAD
RESIDENCE
TILE ROOF
No.2

OUTLINE OF PROPOSED
DEVELOPMENT

EXISTING STRUCTURES
TO BE DEMOLISHED

GROUND FLOOR DEMOLITION PLAN

Scale: 1:100

NOTE:

ALL DEMOLITION WORK TO BE DONE IN ACCORDANCE WITH AS 2601-2001.

DEMOLITION MUST BE CARRIED OUT BY A LICENSED DEMOLITION CONTRACTOR.

ALL DEMOLITION WORKS ARE TO BE DONE UNDER THE ENGINEERS SUPERVISION.

SITE VERIFY ALL MEASUREMENTS.

EXISTING WORKS TO BE DEMOLISHED SHOWN DOTTED.

ANY ASBESTOS FOUND IS TO BE REMOVED BY LICENSED & QUALIFIED TRADESPERSON.

TREES TO BE REMOVED SHOWN DOTTED.

A SINGLE ENTRANCE IS TO BE PROVIDED FOR ACCESS INTO THE SITE. THE FOOTPATH & VERGE/CROSSOVER IS TO BE PLANKED OUT WITH CLOSE BOARDED HARDWOOD PROTECTION PADS TO COVER THE ENTIRE WIDTH OF THE FOOTPATH OPENING & FENCE.

ANY DEMOLITION MATERIALS ARE TO BE RECYCLED/RE USED WHERE POSSIBLE.

ALL BUILDING WASTE IS TO BE STORED ON SITE & COVERED TO PREVENT AIR POLLUTION OR RUNOFF TO NEIGHBOURING SITES. WATER COURSES OR PUBLIC AREAS.

BUILDING OPERATIONS SUCH AS BRICK CUTTING, TOOL WASHING, MIXING MORTAR SHALL BE CONTAINED WITHIN THE SITE & ENSURE NO DISCHARGE ENTERS THE PUBLIC AREA OR STORMWATER DRAINAGE SYSTEM.

PUBLIC FOOTPATHS & ROADWAYS ADJACENT TO THE SITE MUST BE FULLY MAINTAINED & CLEANED DAILY DURING CONSTRUCTION.

14
DP25368

TWO STOREY
BRICK
RESIDENCE
TILE ROOF
No.39

DATE	REV	AMENDMENTS
04/12/24	A	DA ISSUE
14/11/24	-	CONSULTANT ISSUE

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BDT

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PO Box 705 Kings Langley NSW 2147
Ph: 02 9667 0614 Mob: 0412 100 750
E-mail: mark@build-design.com.au

PROJECT: PROPOSED DUPLEX LOCATED AT
41 FERGUSON ST FORESTVILLE

TITLE: DEMOLITION PLAN

SCALE: 1:100 @ A1

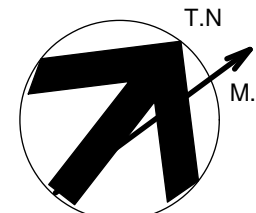
DRAWN: MM

PROJECT DATE: OCT 2024

CHECKED: REV: A

PROJECT No. 202426

DWG No. DA 0.02



BASIX INCLUSIONS SUMMARY CERT- 1776049M:
NatHERS CERT: U1- 0011596459 & U2- 0011596491

HOT WATER UNIT
ELECTRIC BOOSTED SOLAR HOT WATER UNIT TO BEST LOCATION BY OTHERS WITH 15 STCs CREDITS.

WATER SAVING FITTINGS
4 STAR (4.5-6L/M) SHOWER HEAD & WATER SAVING FITTINGS ARE TO BE INSTALLED
TO ALL KITCHEN & BASIN TAPS. DUAL FLUSH 4 STAR TOILETS ARE ALSO TO BE INSTALLED.

INSULATION- WALLS
R2.5 XPS FOIL BOARD TO EXTERNAL LOWER GROUND CONC WALLS.
10mm FOILBOARD INSULATION TO EXTERNAL CAVITY BRICK WALLS TO GROUND FLOOR.
R2.5 BULK INSULATION TO STUD WALL WITH FC CLADDING WITH FOIL SARKING.
R2.5 TO STUD WALL WITH TIMBER CLADDING WITH FOIL SARKING.
R2.5 XPS FOIL BOARD TO INTERNAL WALLS TO GARAGE FOYER.

INSULATION- FLOORS
R3.0 XPS FOIL BOARD TO EXPOSED OUTDOOR SLAB WITH AIR BELOW.

INSULATION- ROOF/CEILINGS
R1.5 ANTICON FOIL BACKET BLANKET TO UNDER METAL ROOFING.
R3.0 BATT INSULATION TO CEILINGS BELOW COLORBOND ROOF.
R3.0 XPS FOIL BOARD TO CONC ROOF AREA.

EXTERNAL WALLS/ROOFING- SOLAR ABSORPTANCE
LOWER GROUND FLOOR CONC WALLS- SOLAR ABSORPTANCE MEDIUM 0.475-0.7
GROUND FLOOR WALLS- SOLAR ABSORPTANCE LIGHT 0.475
FIRST FLOOR FC CLADDING WALLS- SOLAR ABSORPTANCE DARK 0.70

COLORBOND ROOFING & CONC SLAB - SOLAR ABSORPTANCE LIGHT <0.475-0.70

HEATING & COOLING
1 PHASE DUCTED A/C WITH A 4 STAR RATING FOR COOLING & HEATING WITH
ZONING TO LIVING & BEDROOM AREAS.

RAINWATER TANK
NEW 1,500L RAINWATER TANK TO EACH UNIT IS TO BE INSTALLED & CONNECTED TO LAUNDRY TAPS,
LANDSCAPED AREA & ONE OUTDOOR TAP WITHIN 10M OF POOL FOR BOTH UNITS.
A MIN 68sqm OF EACH ROOF AREA IS TO BE COLLECTED.

OVERFLOW IS TO BE CONNECTED TO DRAINAGE SYSTEM.

POOL
MAX 9 KL OUTDOOR POOL WITH A TIMER INSTALLED TO THE 4 STAR POOL PUMP. THE POOL MUST
HAVE A COVER & LOCATED OUTDOORS. ELECTRIC HEAT PUMP HEATING IS TO BE INSTALLED TO EACH POOL.

KITCHEN APPLIANCES
INDUCTION COOKTOP WITH ELECTRIC OVEN TO BE INSTALLED IN KITCHEN.

VENTILATION
ALL BATHROOMS, ENSUITES, LAUNDRY & KITCHEN ARE TO HAVE INDIVIDUAL DUCTED MECHANICAL
VENTILATION WITH MANUAL ON/OFF SWITCH DUCTED TO ROOF OR FACADE.

ALL FRIDGE SPACES TO BE WELL VENTILATED.

ARTIFICIAL LIGHTING
THE PRIMARY TYPE OF LIGHTING TO BE LED OR FLUORESCENT TO ALL ALL AREAS.

WINDOWS & SKYLIGHTS
WINDOWS TO BE ALUMINIUM FRAMED WITH A Uw VALUE 3.6/5.4 & SHGw 0.47/0.58.
IN ACCORDANCE WITH BASIX/NatHERS CERTIFICATE.

NATURAL LIGHTING OR SKYLIGHTS TO AT LEAST 4 BATHROOMS.

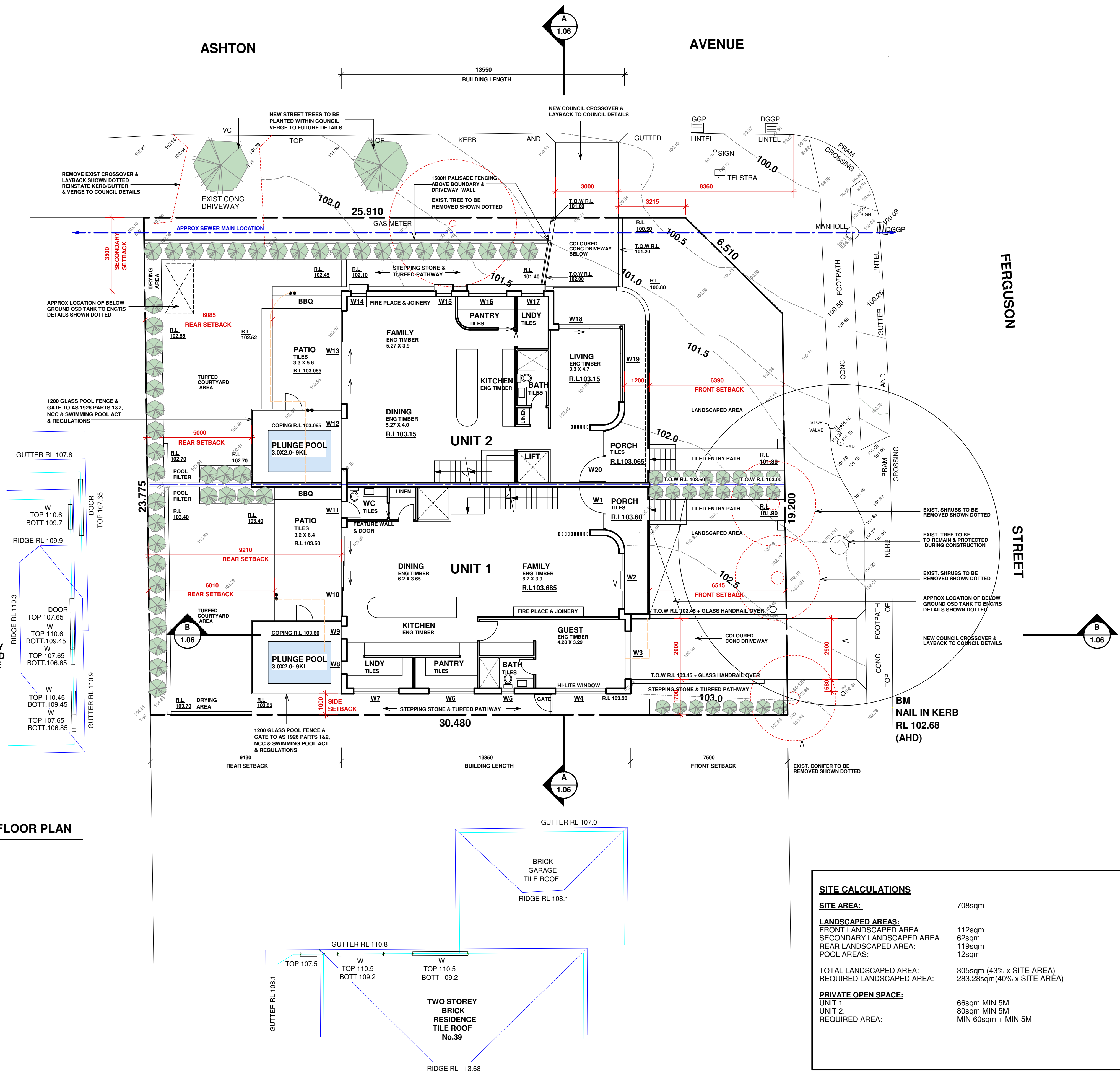
SKYLIGHTS IF REQUIRED TO BE ALUMINIUM FRAMED DOUBLE GLAZED LOW E ARGON FILLED
WITH A Uw VALUE 2.7 & SHGw 0.24 IN ACCORDANCE WITH BASIX/NatHERS CERTIFICATE

ALTERNATIVE ENERGY
DEVELOPMENT MUST INCLUDE A PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO
GENERATE 1.0KW OF ELECTRICITY INSTALLED AT AN ANGLE OF BETWEEN 0-10 DEG
FACING NORTH EAST.

CLOTHES DRYING AREA
TOUT DOOR CLOTHES DRYING AREA TO BE INSTALLED TO TO LOCATION AS DIRECTED
ON SITE.

GROUND FLOOR PLAN

Scale: 1:100



SITE CALCULATIONS

SITE AREA:	708sqm
LANDSCAPED AREAS:	
FRONT LANDSCAPED AREA:	112sqm
SECONDARY LANDSCAPED AREA:	62sqm
REAR LANDSCAPED AREA:	119sqm
POOL AREAS:	12sqm
TOTAL LANDSCAPED AREA:	305sqm (43% x SITE AREA)
REQUIRED LANDSCAPED AREA:	283.28sqm(40% x SITE AREA)
PRIVATE OPEN SPACE:	
UNIT 1:	66sqm MIN 5M
UNIT 2:	80sqm MIN 5M
REQUIRED AREA:	MIN 60sqm + MIN 5M

04/12/24	A	DA ISSUE
14/11/24	-	CONSULTANT ISSUE
DATE	REV	AMENDMENTS

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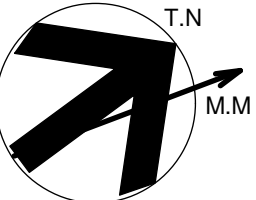
BUILDING DESIGN & TECHNOLOGY Pty Ltd
APPLICATION PREPARED BY: MARK MAKHOUL
BDT
Shop 2, 15 Bransgrove St Wentworthville 2145,
PO Box 705 Kings Langley NSW 2147
Ph: 02 9667 0614 Mob: 0412 100 750
E-mail: mark@build-design.com.au

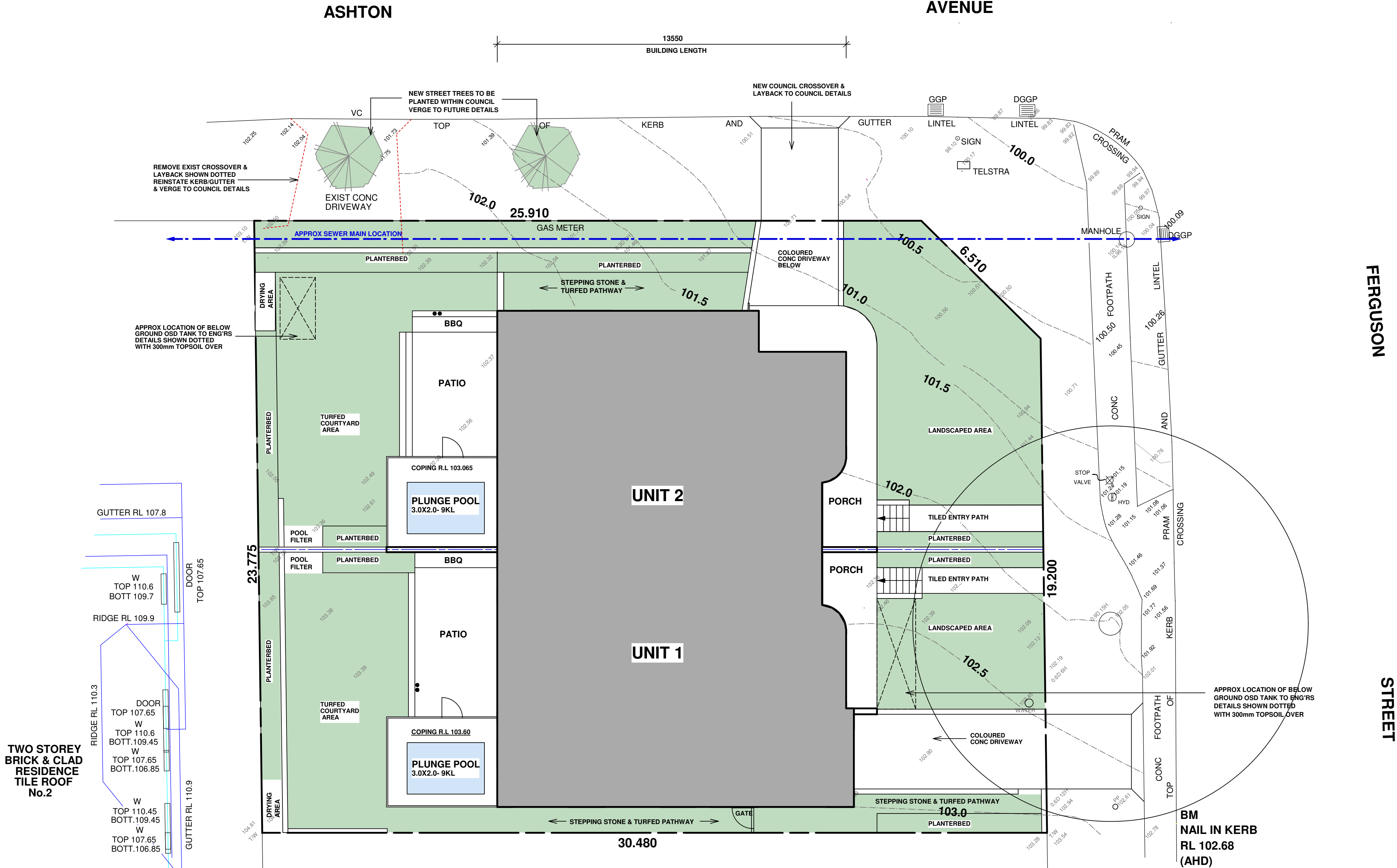
PROJECT: PROPOSED DUPLEX LOCATED AT
41 FERGUSON ST FORESTVILLE

TITLE: GROUND FLOOR PLAN

SCALE: 1:100 @ A1
PROJECT DATE: OCT 2024
PROJECT No. 202426

DRAWN: MM
CHECKED: REV: A
DWG No. DA 1.02

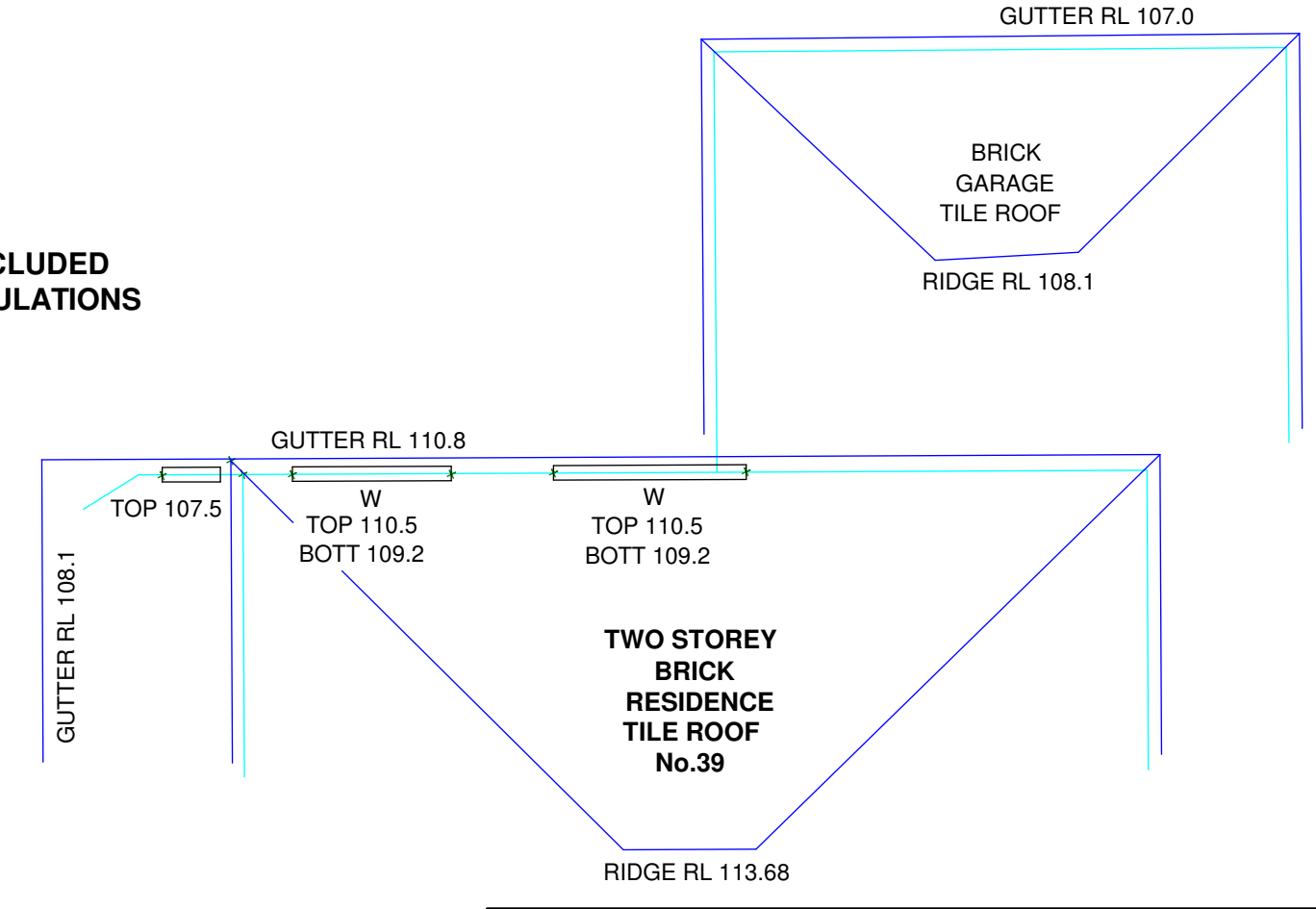




LANDSCAPE AREA PLAN
Scale: 1:100

OUTLINE OF PROPOSED DWELLING

PROPOSED AREA INCLUDED IN LANDSCAPE CALCULATIONS



SITE CALCULATIONS	
SITE AREA:	708sqm
LANDSCAPED AREAS:	
FRONT LANDSCAPED AREA:	112sqm
SECONDARY LANDSCAPED AREA:	62sqm
REAR LANDSCAPED AREA:	119sqm
POOL AREAS:	12sqm
TOTAL LANDSCAPED AREA:	305sqm (43% x SITE AREA)
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PRIVATE OPEN SPACE:	
UNIT 1:	66sqm MIN 5M
UNIT 2:	80sqm MIN 5M
REQUIRED AREA:	MIN 60sqm + MIN 5M

04/12/24	A	DA ISSUE
14/11/24	-	CONSULTANT ISSUE
DATE	REV	AMENDMENTS

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APPLICATION PREPARED BY: MARK MAKHOUL
Shop 2, 15 Bransgrove St Wentworthville 2145,
PO Box 705 Kings Langley NSW 2147
Ph: 02 9667 0614 Mob: 0412 100 750
E-mail: mark@build-design.com.au

PROJECT : PROPOSED DUPLEX LOCATED AT 41 FERGUSON ST FORESTVILLE

TITLE: GROUND FLOOR LANDSCAPE AREA PLAN

SCALE: 1:100 @ A1

PROJECT DATE : OCT 2024

PROJECT No. 202426

DRAWN : MM

CHECKED : REV : A

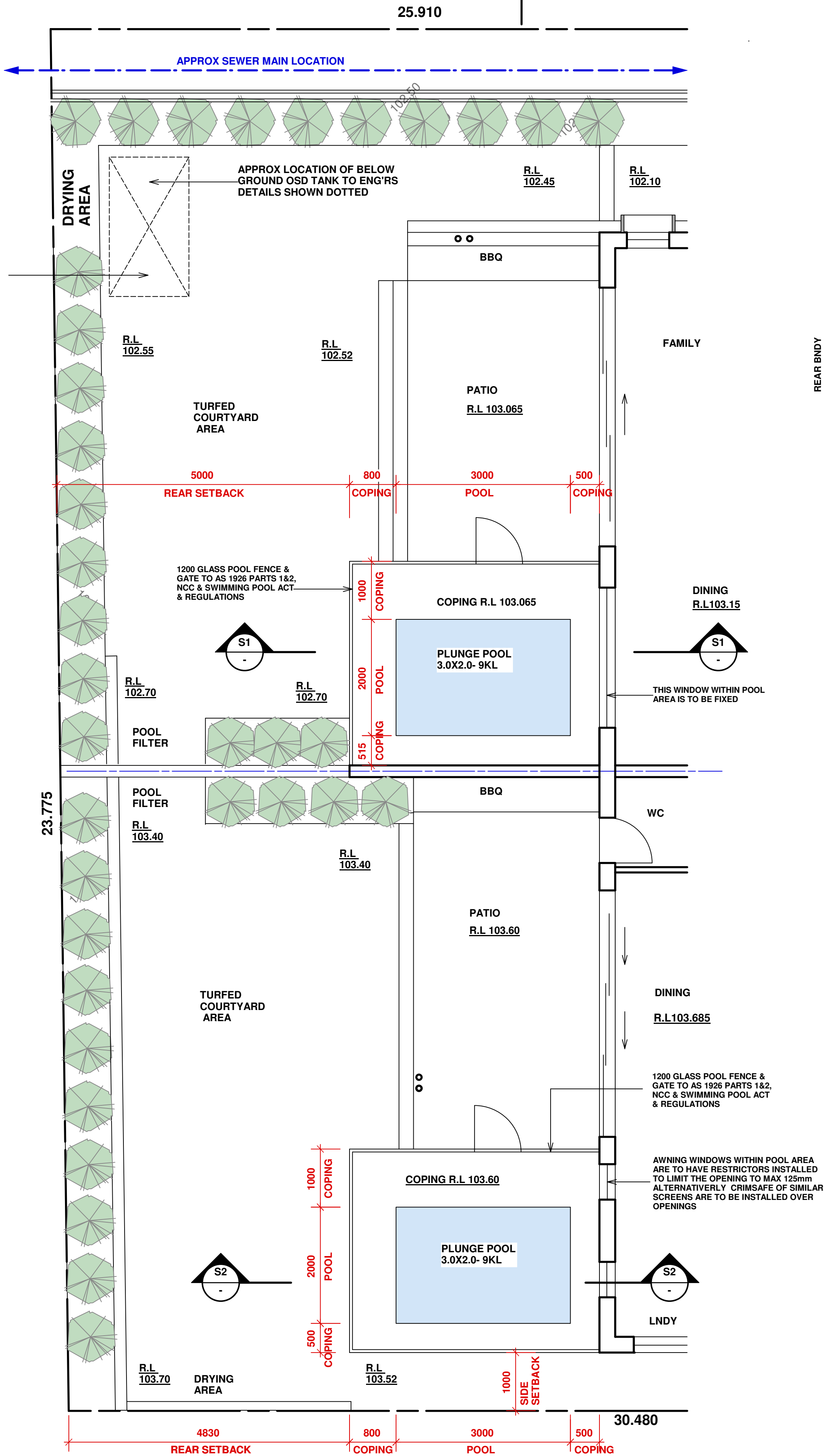
DWG No. DA 1.02A

T.N

M.M

ASHTON

AVENUE

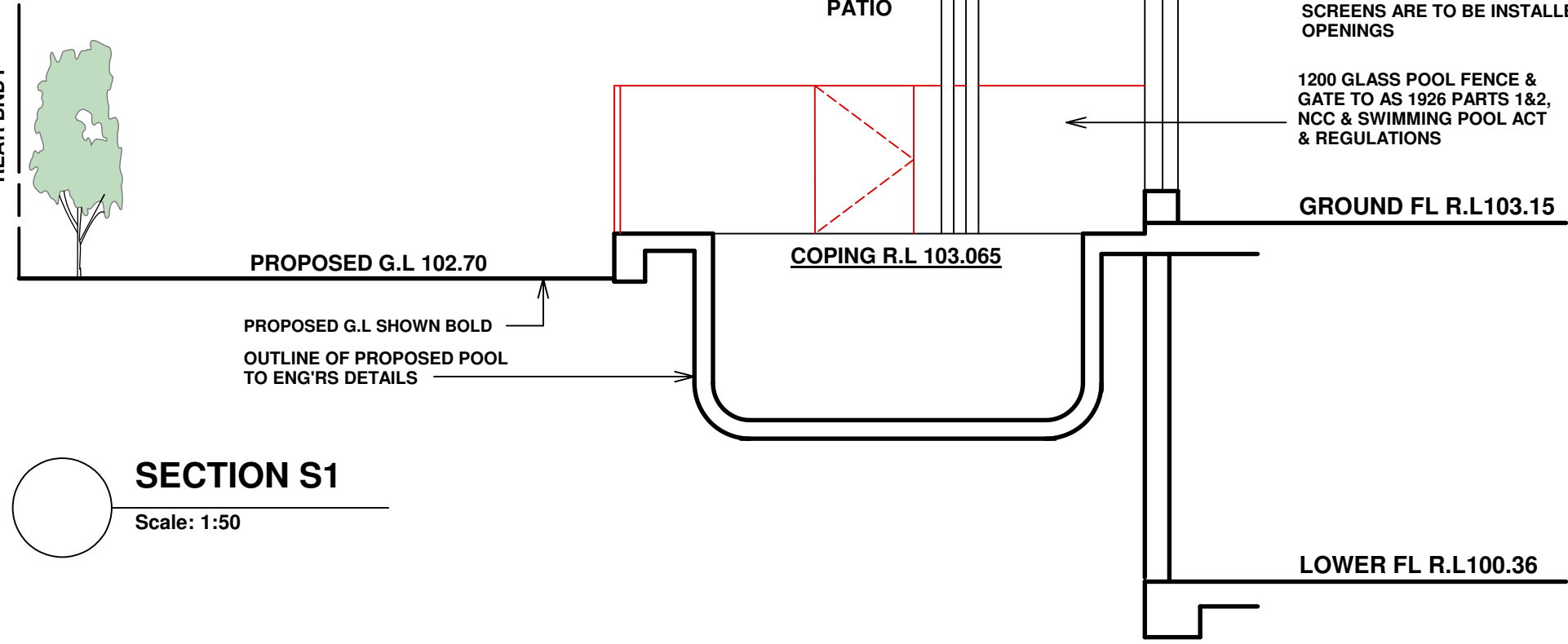


GROUND FLOOR PLAN

Scale: 1:50

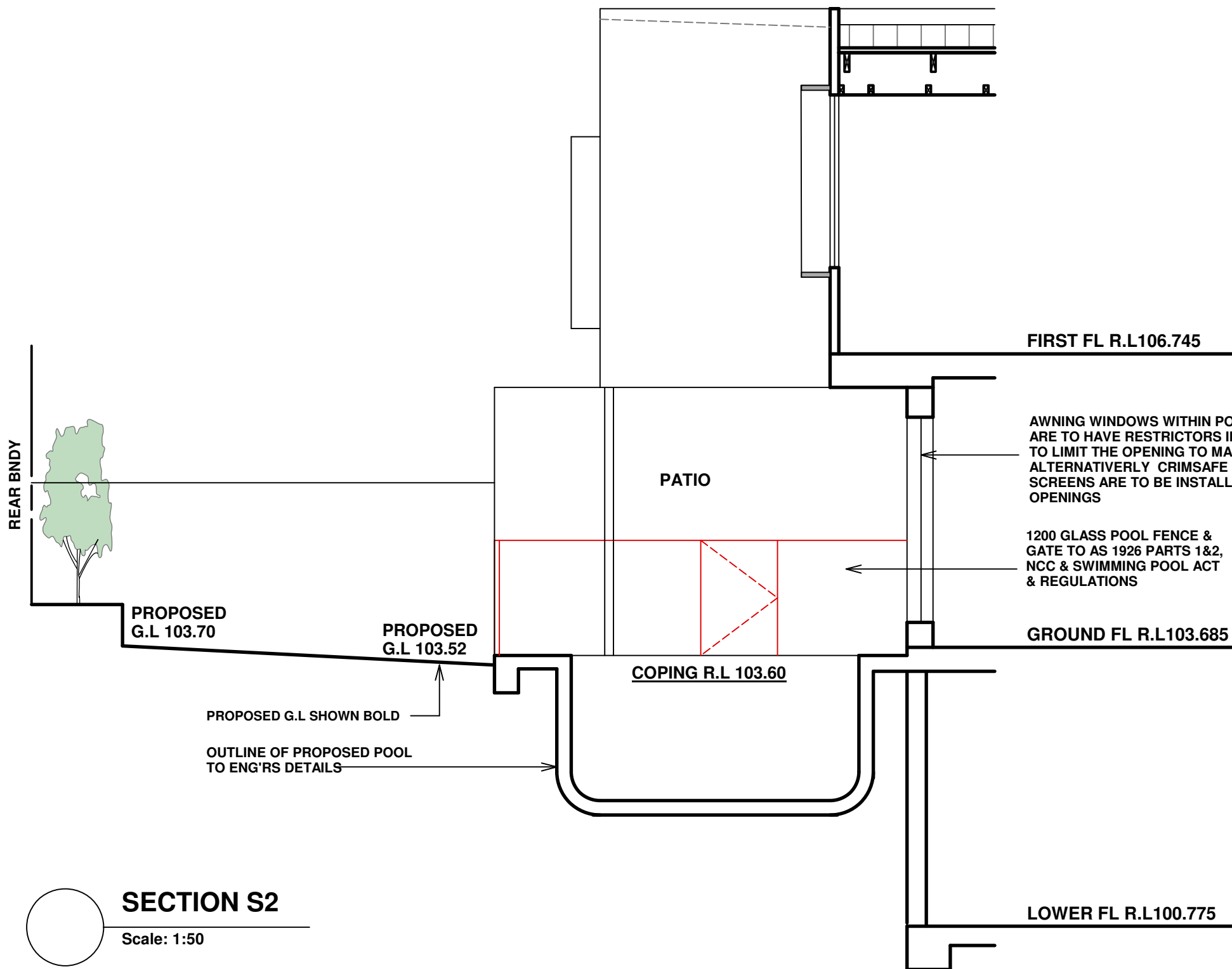
SECTION S1

Scale: 1:50



SECTION S2

Scale: 1:50



BASIX INCLUSIONS SUMMARY CERT- 1776049M:
NatHERS CERT: U1- 0011596459 & U2- 0011596491

HOT WATER UNIT
ELECTRIC BOOSTED SOLAR HOT WATER UNIT TO BEST LOCATION BY OTHERS WITH 15 STCs CREDITS.

WATER SAVING FITTINGS
4 STAR (4.5-6L/M) SHOWER HEAD & WATER SAVING FITTINGS ARE TO BE INSTALLED TO ALL KITCHEN & BASIN TAPS. DUAL FLUSH 4 STAR TOILETS ARE ALSO TO BE INSTALLED.

INSULATION- WALLS
R2.5 XPS FOIL BOARD TO EXTERNAL LOWER GROUND CONC WALLS.
10mm FOILBOARD INSULATION TO EXTERNAL CAVITY BRICK WALLS TO GROUND FLOOR.
R2.5 BULK INSULATION TO STUD WALL WITH FC CLADDING WITH FOIL SARKING.
R2.5 TO STUD WALL WITH TIMBER CLADDING WITH FOIL SARKING.
R2.5 XPS FOIL BOARD TO INTERNAL WALLS TO GARAGE FOYER.

INSULATION- FLOORS
R3.0 XPS FOIL BOARD TO EXPOSED OUTDOOR SLAB WITH AIR BELOW.

INSULATION- ROOF/CEILINGS
R1.5 ANTICON FOIL BACKET BLANKET TO UNDER METAL ROOFING.
R3.0 BATT INSULATION TO CEILINGS BELOW COLORBOND ROOF.
R3.0 XPS FOIL BOARD TO CONC ROOF AREA.

EXTERNAL WALLS/ROOFING- SOLAR ABSORPTANCE
LOWER GROUND FLOOR CONC WALLS- SOLAR ABSORPTANCE MEDIUM 0.475-0.7
GROUND FLOOR WALLS- SOLAR ABSORPTANCE LIGHT 0.475
FIRST FLOOR FC CLADDING WALLS- SOLAR ABSORPTANCE DARK 0.70
COLORBOND ROOFING & CONC SLAB - SOLAR ABSORPTANCE LIGHT <0.475-0.70

HEATING & COOLING
1 PHASE DUCTED A/C WITH A 4 STAR RATING FOR COOLING & HEATING WITH ZONING TO LIVING & BEDROOM AREAS.

RAINWATER TANK
NEW 1,500L RAINWATER TANK TO EACH UNIT IS TO BE INSTALLED & CONNECTED TO LAUNDRY TAPS, LANDSCAPED AREA & ONE OUTDOOR TAP WITHIN 10M OF POOL FOR BOTH UNITS.
A MIN 68sqm OF EACH ROOF AREA IS TO BE COLLECTED.
OVERFLOW IS TO BE CONNECTED TO DRAINAGE SYSTEM.

POOL
MAX 9 KL OUTDOOR POOL WITH A TIMER INSTALLED TO THE 4 STAR POOL PUMP. THE POOL MUST HAVE A COVER & LOCATED OUTDOORS. ELECTRIC HEAT PUMP HEATING IS TO BE INSTALLED TO EACH POOL.

KITCHEN APPLIANCES
INDUCTION COOKTOP WITH ELECTRIC OVEN TO BE INSTALLED IN KITCHEN.

VENTILATION
ALL BATHROOMS, ENSUITES, LAUNDRY & KITCHEN ARE TO HAVE INDIVIDUAL DUCTED MECHANICAL VENTILATION WITH MANUAL ON/OFF SWITCH DUCTED TO ROOF OR FACADE.

ALL FRIDGE SPACES TO BE WELL VENTILATED.

ARTIFICIAL LIGHTING
THE PRIMARY TYPE OF LIGHTING TO BE LED OR FLUORESCENT TO ALL ALL AREAS.

WINDOWS & SKYLIGHTS
WINDOWS TO BE ALUMINIUM FRAMED WITH A Uw VALUE 3.6/5.4 & SHGcw 0.47/0.58. IN ACCORDANCE WITH BASIX/NatHERS CERTIFICATE.

NATURAL LIGHTING OR SKYLIGHTS TO AT LEAST 4 BATHROOMS.

SKYLIGHTS IF REQUIRED TO BE ALUMINIUM FRAMED DOUBLE GLAZED LOW E ARGON FILLED WITH A Uw VALUE 2.7 & SHGcw 0.24 IN ACCORDANCE WITH BASIX/NatHERS CERTIFICATE

ALTERNATIVE ENERGY
DEVELOPMENT MUST INCLUDE A PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO GENERATE 1.0KW OF ELECTRICITY INSTALLED AT AN ANGLE OF BETWEEN 0-10 DEG FACING NORTH EAST.

CLOTHES DRYING AREA
TOU DOOR CLOTHES DRYING AREA TO BE INSTALLED TO TO LOCATION AS DIRECTED ON SITE.

DATE	REV	AMENDMENTS
04/12/24	A	DA ISSUE
14/11/24	-	CONSULTANT ISSUE

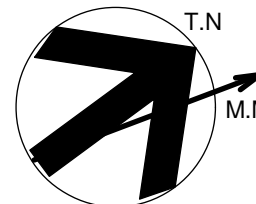
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APPLICATION PREPARED BY: MARK MAKHOUL
BDT
Shop 2, 15 Bransgrove St Wentworthville 2145,
PO Box 795 Kings Langley NSW 2147
Ph: 02 9667 0614 Mob: 0412 100 759
E-mail: mark@build-design.com.au

PROJECT: **PROPOSED DUPLEX LOCATED AT 41 FERGUSON ST FORESTVILLE**

TITLE: **DETAILED POOL PLAN & SECTIONS**

SCALE: 1:50 @ A1
PROJECT DATE: OCT 2024
PROJECT No. 202426
DRAWN: MM
CHECKED: REV: A
DWG No. DA 1.02B



NatHERS CERT: U1- 0011596459 & U2- 0011596491

ELECTRIC BOOSTED SOLAR HOT WATER UNIT TO BEST LOCATION BY OTHERS WITH 15 STCs CREDITS.

4 STAR (4.5-6L/M) SHOWER HEAD & WATER SAVING FITTINGS ARE TO BE INSTALLED TO ALL KITCHEN & BASIN TAPS. DUAL FLUSH 4 STAR TOILETS ARE ALSO TO BE INSTALLED.

R2.5 XPS FOIL BOARD TO EXTERNAL LOWER GROUND CONC WALLS.
10mm FOILBOARD INSULATION TO EXTERNAL CAVITY BRICK WALLS TO GROUND FLOOR.
R2.5 BULK INSULATION TO STUD WALL WITH FC CLADDING WITH FOIL SARKING.
R2.5 TO STUD WALL WITH TIMBER CLADDING WITH FOIL SARKING.
R2.5 XPS FOIL BOARD TO INTERNAL WALLS TO GARAGE FOYER.

R3.0 XPS FOIL BOARD TO EXPOSED OUTDOOR SLAB WITH AIR BELOW.

R1.5 ANTICON FOIL BACKET BLANKET TO UNDER METAL ROOFING.
R3.0 BATT INSULATION TO CEILINGS BELOW COLORBOND ROOF.
R3.0 XPS FOIL BOARD TO CONC ROOF AREA.

LOWER GROUND FLOOR CONC WALLS- SOLAR ABSORPTANCE MEDIUM 0.475-0.7
GROUND FLOOR WALLS- SOLAR ABSORPTANCE LIGHT 0.475
FIRST FLOOR FC CLADDING WALLS- SOLAR ABSORPTANCE DARK 0.70

COLORBOND ROOFING & CONC SLAB - SOLAR ABSORPTANCE LIGHT <0.475-0.70

1 PHASE DUCTED A/C WITH A 4 STAR RATING FOR COOLING & HEATING WITH ZONING TO LIVING & BEDROOM AREAS.

NEW 1,500L RAINWATER TANK TO EACH UNIT IS TO BE INSTALLED & CONNECTED TO LAUNDRY TAPS,
LANDSCAPED AREA & ONE OUTDOOR TAP WITHIN 10M OF POOL FOR BOTH UNITS.
A MIN 68sqm OF EACH ROOF AREA IS TO BE COLLECTED.

OVERFLOW IS TO BE CONNECTED TO DRAINAGE SYSTEM.

POOL
MAX 9 KL OUTDOOR POOL WITH A TIMER INSTALLED TO THE 4 STAR POOL PUMP. THE POOL MUST HAVE A COVER & LOCATED OUTDOORS. ELECTRIC HEAT PUMP HEATING IS TO BE INSTALLED TO EACH POOL.

INDUCTION COOKTOP WITH ELECTRIC OVEN TO BE INSTALLED IN KITCHEN.

ALL BATHROOMS, ENSUITES, LAUNDRY & KITCHEN ARE TO HAVE INDIVIDUAL DUCTED MECHANICAL VENTILATION WITH MANUAL ON/OFF SWITCH DUCTED TO ROOF OR FACADE.

ALL FRIDGE SPACES TO BE WELL VENTILATED

ARTIFICIAL LIGHTING
THE PRIMARY TYPE OF LIGHTING TO BE LED OR FLUORESCENT TO ALL ALL AREAS.

WINDOWS TO BE ALUMINIUM FRAMED WITH A Uw VALUE 3.6/5.4 & SHGCw 0.47/0.58.
IN ACCORDANCE WITH BASIX/NATHERS CERTIFICATE.

NATURAL LIGHTING OR SKYLIGHTS TO AT LEAST 4 BATHROOMS.

SKYLIGHTS IF REQUIRED TO BE ALUMINIUM FRAMED DOUBLE GLAZED LOW E ARGON FILLED WITH A Uw VALUE 2.7 & SHGCw 0.24 IN ACCORDANCE WITH BASIX/NATHERS CERTIFICATE

ALTERNATIVE ENERGY
DEVELOPMENT MUST INCLUDE A PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO GENERATE 1.0KW OF ELECTRICITY INSTALLED AT AN ANGLE OF BETWEEN 0-10 DEG FACING NORTH EAST.

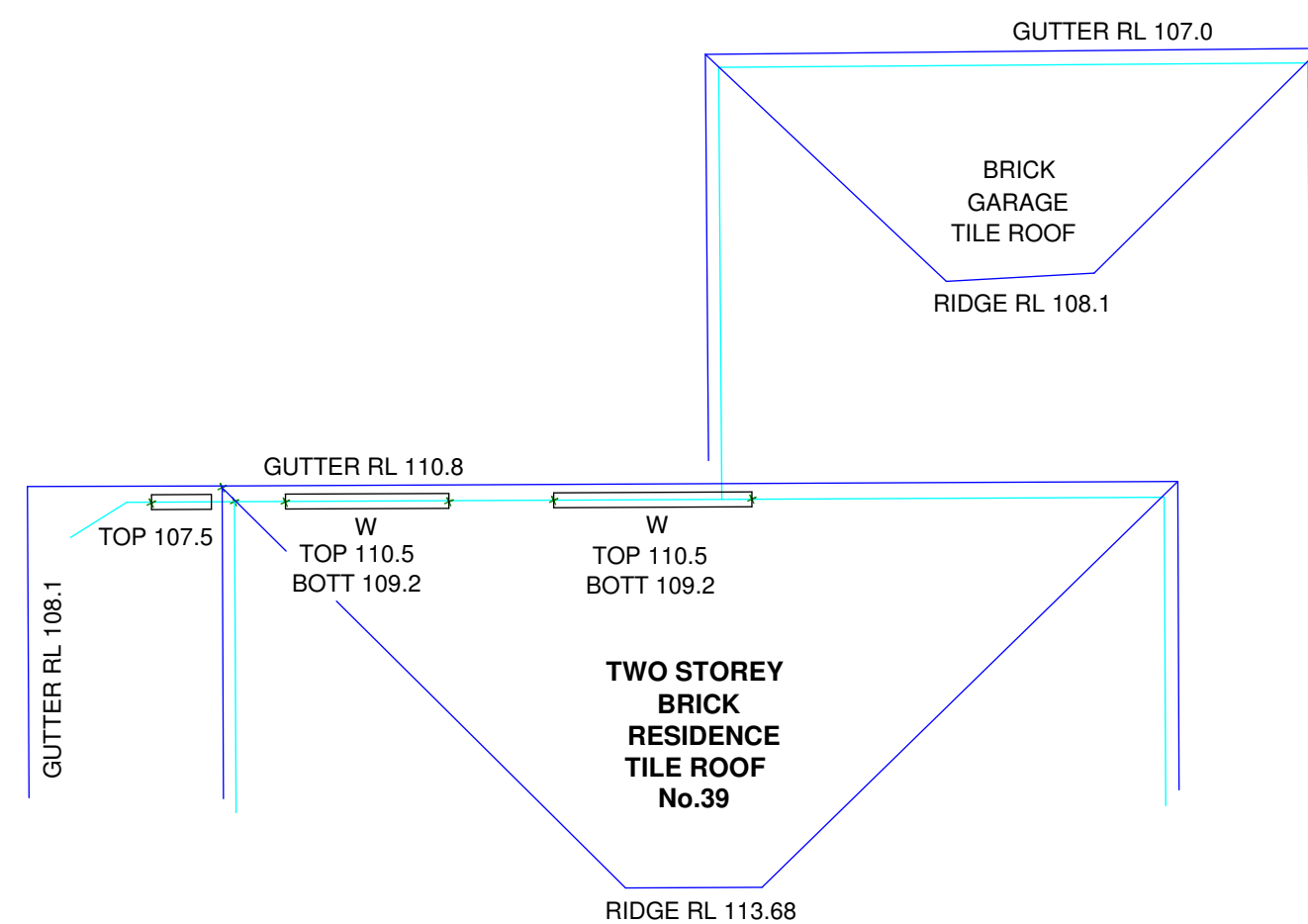
1 OUT DOOR CLOTHES DRYING AREA TO BE INSTALLED TO LOCATION AS DIRECTED ON SITE.



Scale: 1:100



STREET



04/12/24	A	DA ISSUE
14/11/24	-	CONSULTANT ISSUE
DATE	REV	AMENDMENTS

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PROJECT: **PROPOSED DUPLEX LOCATED AT
41 FERGUSON ST FORESTVILLE**

TITLE: **FIRST FLOOR PLAN**

SCALE: 1:100 @ A1

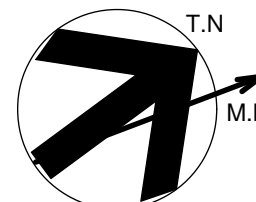
PROJECT DATE : OCT 2024

PROJECT No. 202426

DRAWN: MM

CHECKED: _____ REV: **A**

DWG No. DA 1.03



BASIX INCLUSIONS SUMMARY CERT- 1776049M:
NatHERS CERT: U1- 0011596459 & U2- 0011596491

HOT WATER UNIT
ELECTRIC BOOSTED SOLAR HOT WATER UNIT TO BEST LOCATION BY OTHERS WITH 15 STCs CREDITS.

WATER SAVING FITTINGS
4 STAR (4.5-6L/M) SHOWER HEAD & WATER SAVING FITTINGS ARE TO BE INSTALLED
TO ALL KITCHEN & BASIN TAPS. DUAL FLUSH 4 STAR TOILETS ARE ALSO TO BE INSTALLED.

INSULATION- WALLS
R2.5 XPS FOIL BOARD TO EXTERNAL LOWER GROUND CONC WALLS.
10mm FOILBOARD INSULATION TO EXTERNAL CAVITY BRICK WALLS TO GROUND FLOOR.
R2.5 BULK INSULATION TO STUD WALL WITH FC CLADDING WITH FOIL SARKING.
R2.5 TO STUD WALL WITH TIMBER CLADDING WITH FOIL SARKING.
R2.5 XPS FOIL BOARD TO INTERNAL WALLS TO GARAGE FOYER.

INSULATION- FLOORS
R3.0 XPS FOIL BOARD TO EXPOSED OUTDOOR SLAB WITH AIR BELOW.

INSULATION- ROOF/CEILINGS
R1.5 ANTICON FOIL BACKET BLANKET TO UNDER METAL ROOFING.
R3.0 BATT INSULATION TO CEILINGS BELOW COLORBOND ROOF.
R3.0 XPS FOIL BOARD TO CONC ROOF AREA.

EXTERNAL WALLS/ROOFING- SOLAR ABSORPTANCE
LOWER GROUND FLOOR CONC WALLS- SOLAR ABSORPTANCE MEDIUM 0.475-0.7
GROUND FLOOR WALLS- SOLAR ABSORPTANCE LIGHT 0.475
FIRST FLOOR FC CLADDING WALLS- SOLAR ABSORPTANCE DARK 0.70

COLORBOND ROOFING & CONC SLAB - SOLAR ABSORPTANCE LIGHT <0.475-0.70

HEATING & COOLING
1 PHASE DUCTED A/C WITH A 4 STAR RATING FOR COOLING & HEATING WITH
ZONING TO LIVING & BEDROOM AREAS.

RAINWATER TANK
NEW 1,500L RAINWATER TANK TO EACH UNIT IS TO BE INSTALLED & CONNECTED TO LAUNDRY TAPS,
LANDSCAPED AREA & ONE OUTDOOR TAP WITHIN 10M OF POOL FOR BOTH UNITS.
A MIN 68sqm OF EACH ROOF AREA IS TO BE COLLECTED.

OVERFLOW IS TO BE CONNECTED TO DRAINAGE SYSTEM.

POOL
MAX 9 KL OUTDOOR POOL WITH A TIMER INSTALLED TO THE 4 STAR POOL PUMP. THE POOL MUST
HAVE A COVER & LOCATED OUTDOORS. ELECTRIC HEAT PUMP HEATING IS TO BE INSTALLED TO EACH POOL.

KITCHEN APPLIANCES
INDUCTION COOKTOP WITH ELECTRIC OVEN TO BE INSTALLED IN KITCHEN.

VENTILATION
ALL BATHROOMS, ENSUITES, LAUNDRY & KITCHEN ARE TO HAVE INDIVIDUAL DUCTED MECHANICAL
VENTILATION WITH MANUAL ON/OFF SWITCH DUCTED TO ROOF OR FACADE.

ALL FRIDGE SPACES TO BE WELL VENTILATED.

ARTIFICIAL LIGHTING
THE PRIMARY TYPE OF LIGHTING TO BE LED OR FLUORESCENT TO ALL ALL AREAS.

WINDOWS & SKYLIGHTS
WINDOWS TO BE ALUMINIUM FRAMED WITH A Uw VALUE 3.6/5.4 & SHGw 0.47/0.58.
IN ACCORDANCE WITH BASIX/NatHERS CERTIFICATE.

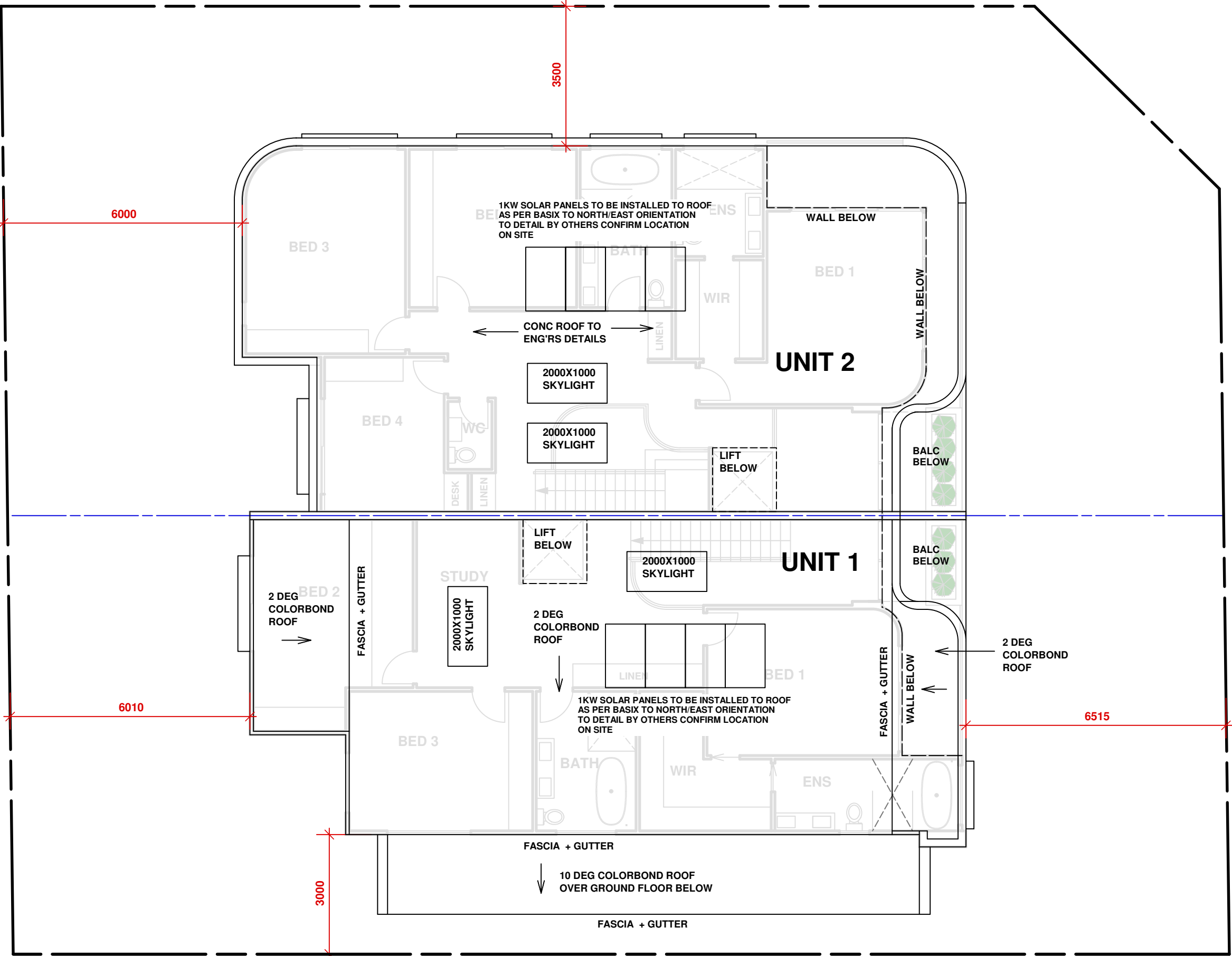
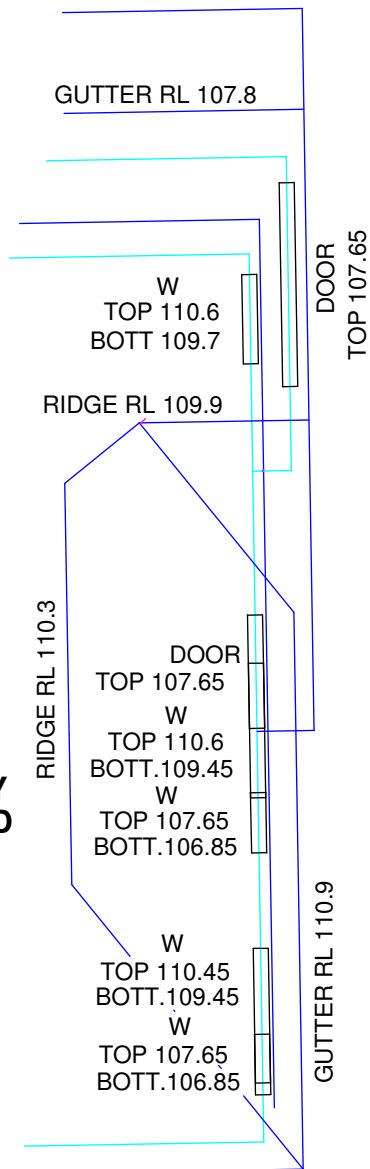
NATURAL LIGHTING OR SKYLIGHTS TO AT LEAST 4 BATHROOMS.

SKYLIGHTS IF REQUIRED TO BE ALUMINIUM FRAMED DOUBLE GLAZED LOW E ARGON FILLED
WITH A Uw VALUE 2.7 & SHGw 0.24 IN ACCORDANCE WITH BASIX/NatHERS CERTIFICATE

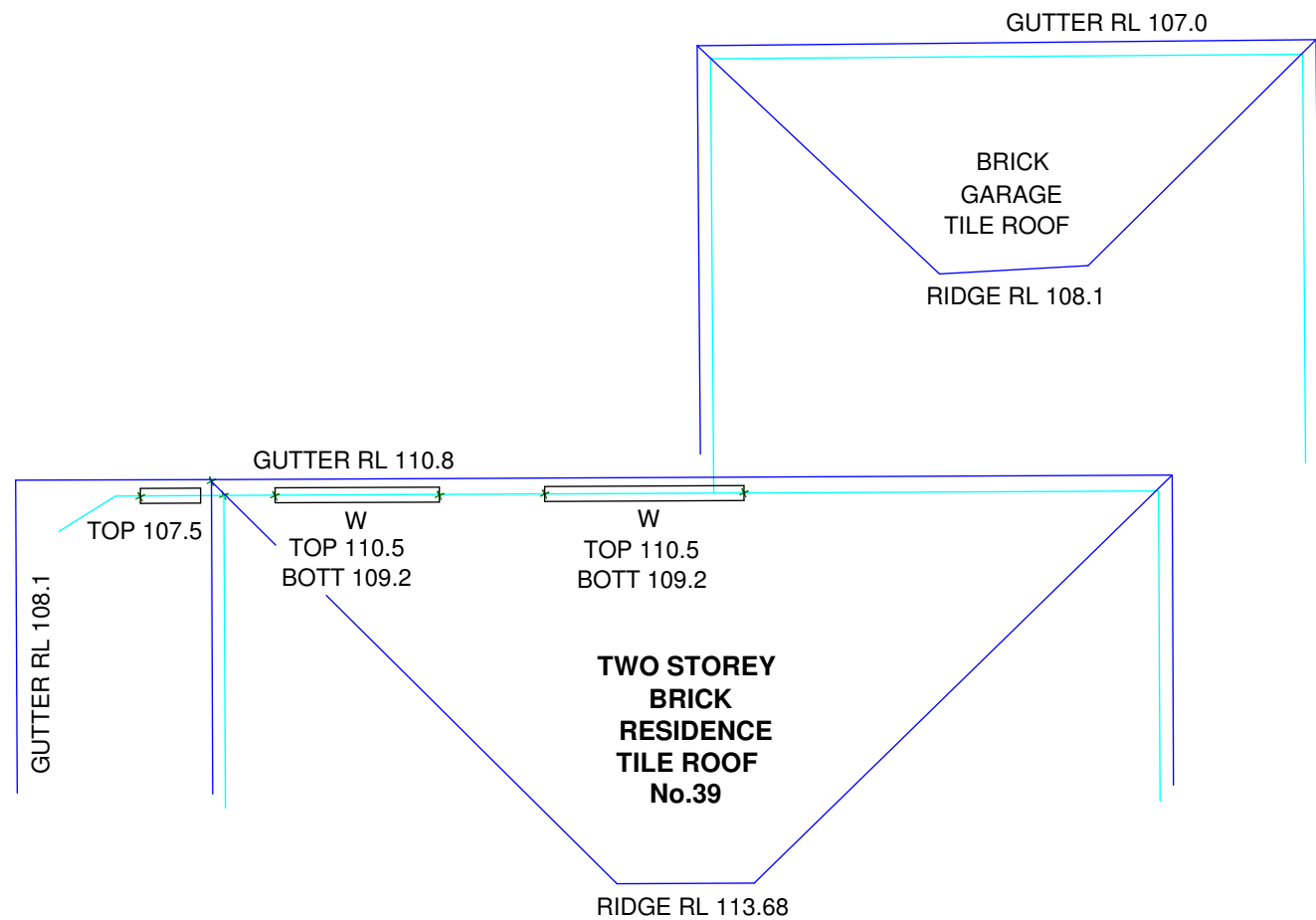
ALTERNATIVE ENERGY
DEVELOPMENT MUST INCLUDE A PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO
GENERATE 1.0KW OF ELECTRICITY INSTALLED AT AN ANGLE OF BETWEEN 0-10 DEG
FACING NORTH EAST.

CLOTHES DRYING AREA
1 OUT DOOR CLOTHES DRYING AREA TO BE INSTALLED TO TO LOCATION AS DIRECTED
ON SITE.

**TWO STOREY
BRICK & CLAD
RESIDENCE
TILE ROOF
No.2**



ROOF PLAN
Scale: 1:100



DATE	REV	AMENDMENTS
04/12/24	A	DA ISSUE
14/11/24	-	CONSULTANT ISSUE

- DO NOT SCALE FROM DRAWING. USE WRITTEN DIMENSIONS ONLY
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PROJECT : **PROPOSED DUPLEX LOCATED AT
41 FERGUSON ST FORESTVILLE**

TITLE: **ROOF PLAN**

SCALE : 1:100 @ A1

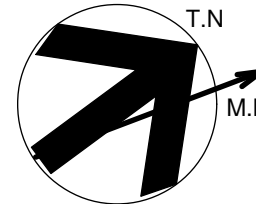
DRAWN : MM

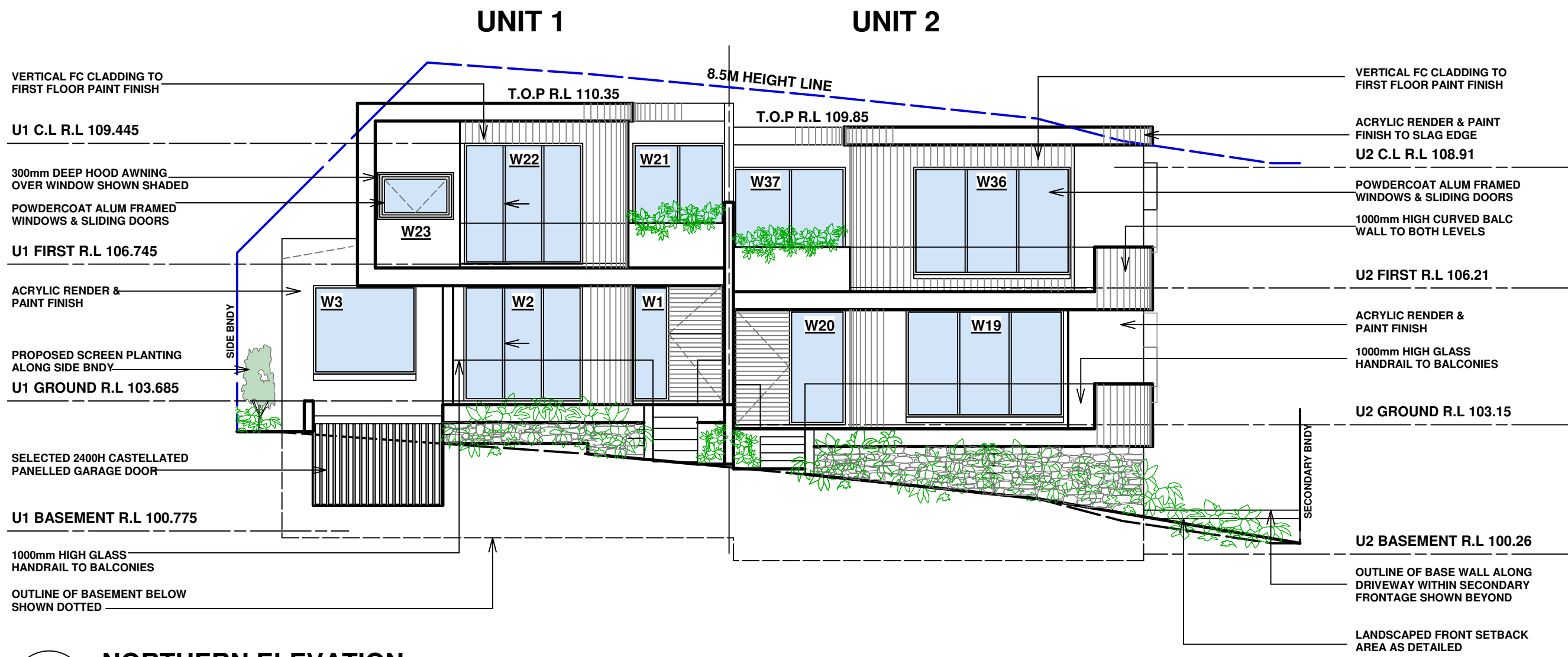
PROJECT DATE : OCT 2024

CHECKED : REV : A

PROJECT No. 202426

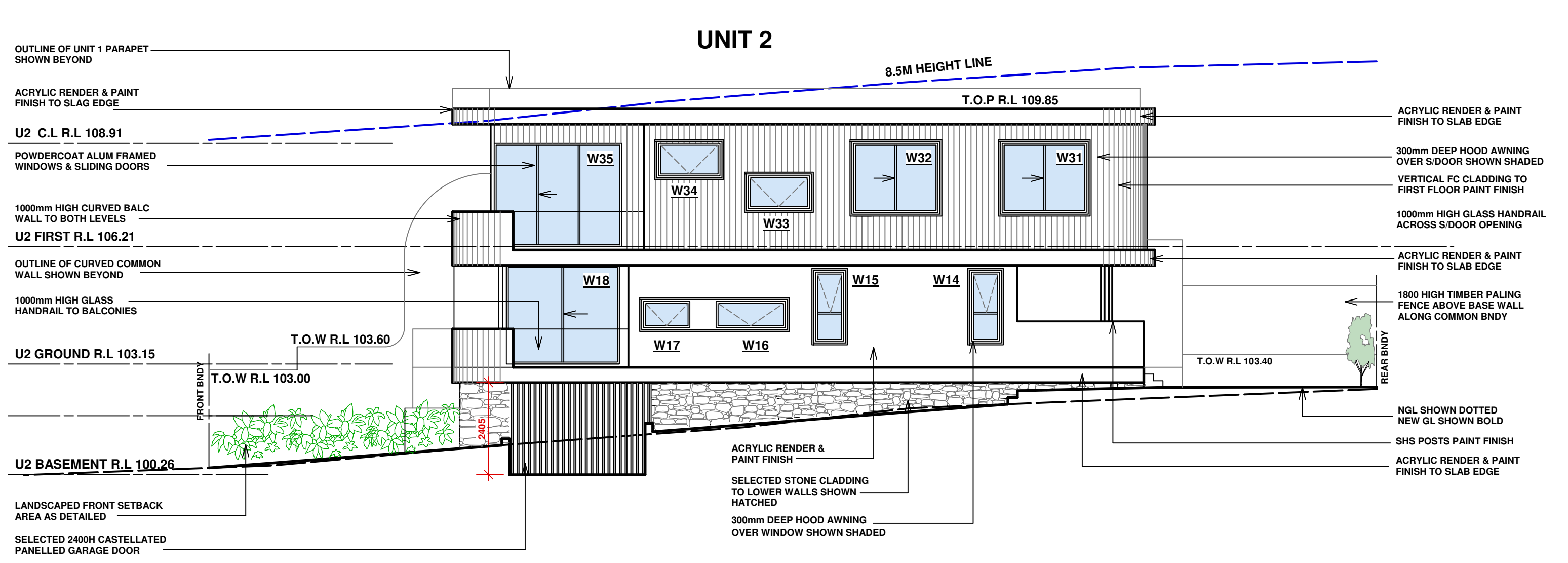
DWG No. DA 1.04





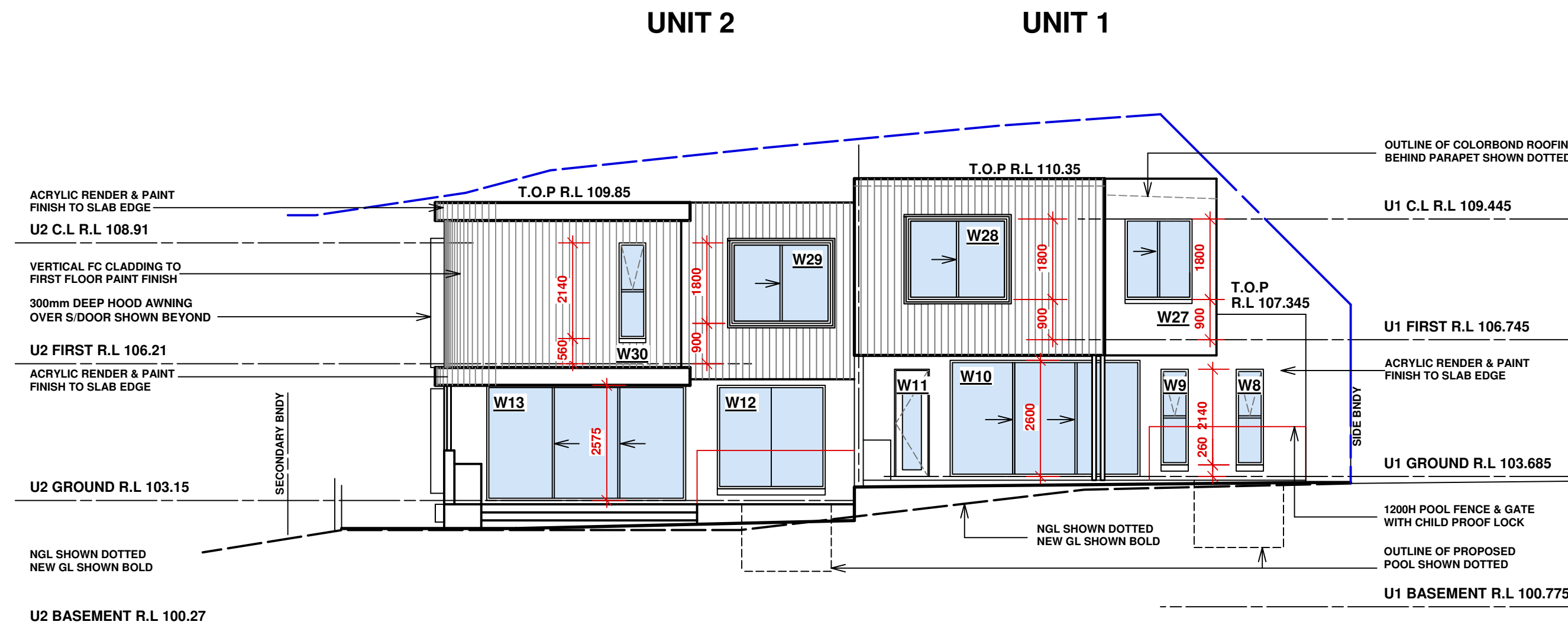
NORTHERN ELEVATION

Scale: 1:100



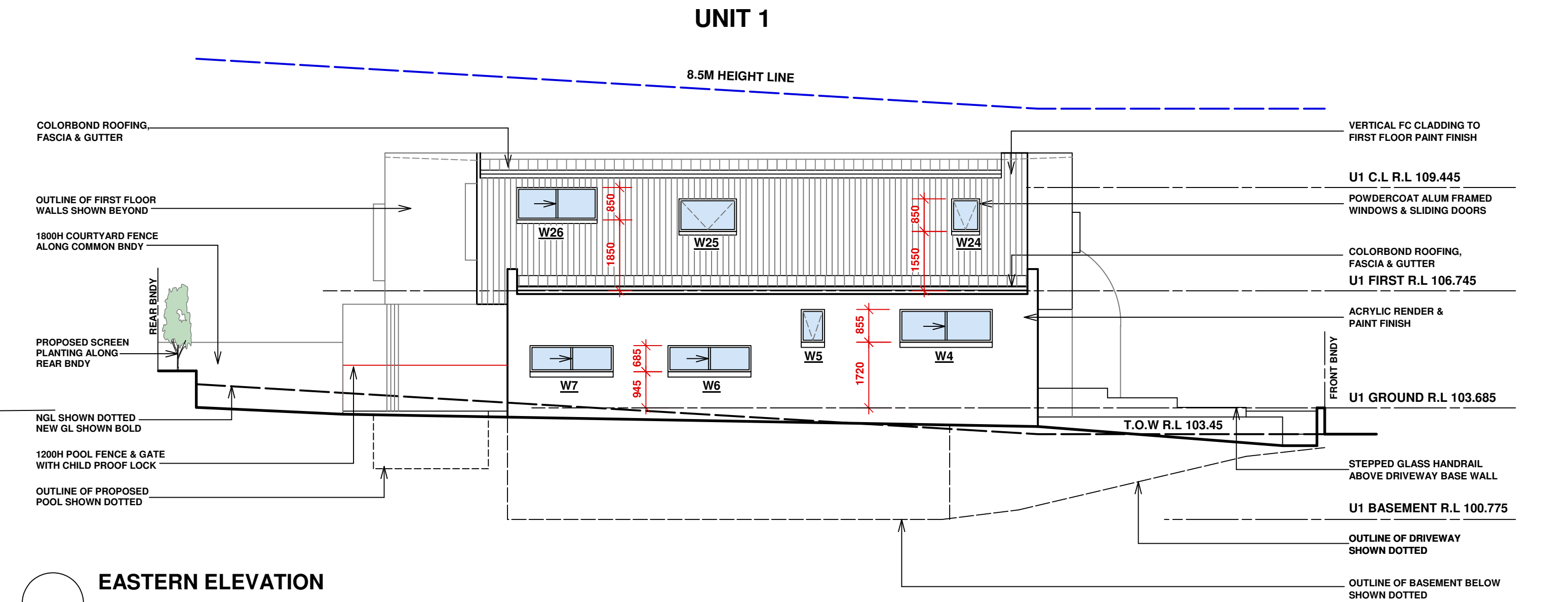
WESTERN ELEVATION

Scale: 1:100



SOUTHERN ELEVATION

Scale: 1:100



EASTERN ELEVATION

Scale: 1:100

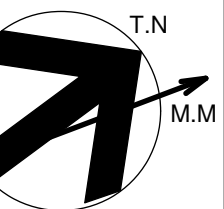
WINDOW SCHEDULE					TYPE
WINDOW NO	WIDTH	HEIGHT	TOTAL		
1	800	2575	1		GLAZED SIDELIGHT TO TIMBER ENTRY DOOR
2	2650	2575	1		ALUM FRAMED SLIDING DOOR
3	2290	1975	1		ALUM FRAMED FIXED WINDOW
4	2400	850	1		ALUM FRAMED SLIDING WINDOW
5	610	850	1		ALUM FRAMED AWNING WINDOW
6	2170	685	1		ALUM FRAMED SLIDING WINDOW
7	2170	685	1		ALUM FRAMED SLIDING WINDOW
8	610	2140	1		ALUM FRAMED AWNING WINDOW
9	610	2140	1		ALUM FRAMED AWNING DOOR
10	4250	2600	1		ALUM FRAMED SLIDING DOOR
11	720	2400	1		TIMBER FRAMED GLAZED DOOR
12	2410	2315	1		ALUM FRAMED FIXED WINDOW
13	4450	2575	1		ALUM FRAMED SLIDING DOOR
14	730	1800	1		ALUM FRAMED AWNING WINDOW
15	730	1800	1		ALUM FRAMED AWNING WINDOW
16	1810	685	1		ALUM FRAMED AWNING WINDOW
17	1210	685	1		ALUM FRAMED AWNING WINDOW
18	2950	2575	1		ALUM FRAMED SLIDING DOOR
19	3520	2400	1		ALUM FRAMED FIXED WINDOW
20	1225	2575	1		GLAZED SIDELIGHT TO TIMBER ENTRY DOOR
21	2050	2400	1		ALUM FRAMED FIXED WINDOW
22	2650	2700	1		ALUM FRAMED SLIDING DOOR
23	1500	850	1		ALUM FRAMED AWNING WINDOW
24	730	850	1		ALUM FRAMED AWNING WINDOW
25	1500	850	1		ALUM FRAMED AWNING WINDOW
26	2100	850	1		ALUM FRAMED AWNING WINDOW
27	1500	1800	1		ALUM FRAMED SLIDING WINDOW
28	2200	1800	1		ALUM FRAMED SLIDING DOOR
29	2200	1800	1		ALUM FRAMED AWNING DOOR
30	600	2140	1		ALUM FRAMED AWNING WINDOW
31	2200	1800	1		ALUM FRAMED SLIDING DOOR
32	2200	1800	1		ALUM FRAMED SLIDING DOOR
33	1600	850	1		ALUM FRAMED AWNING WINDOW
34	1600	850	1		ALUM FRAMED AWNING WINDOW
35	3330	2700	1		ALUM FRAMED SLIDING DOOR
36	3500	2400	1		ALUM FRAMED FIXED WINDOW
37	2500	2400	1		ALUM FRAMED FIXED WINDOW
TOTAL			37		

04/12/24	A	DA ISSUE
14/11/24	-	CONSULTANT ISSUE
DATE	REV	AMENDMENTS

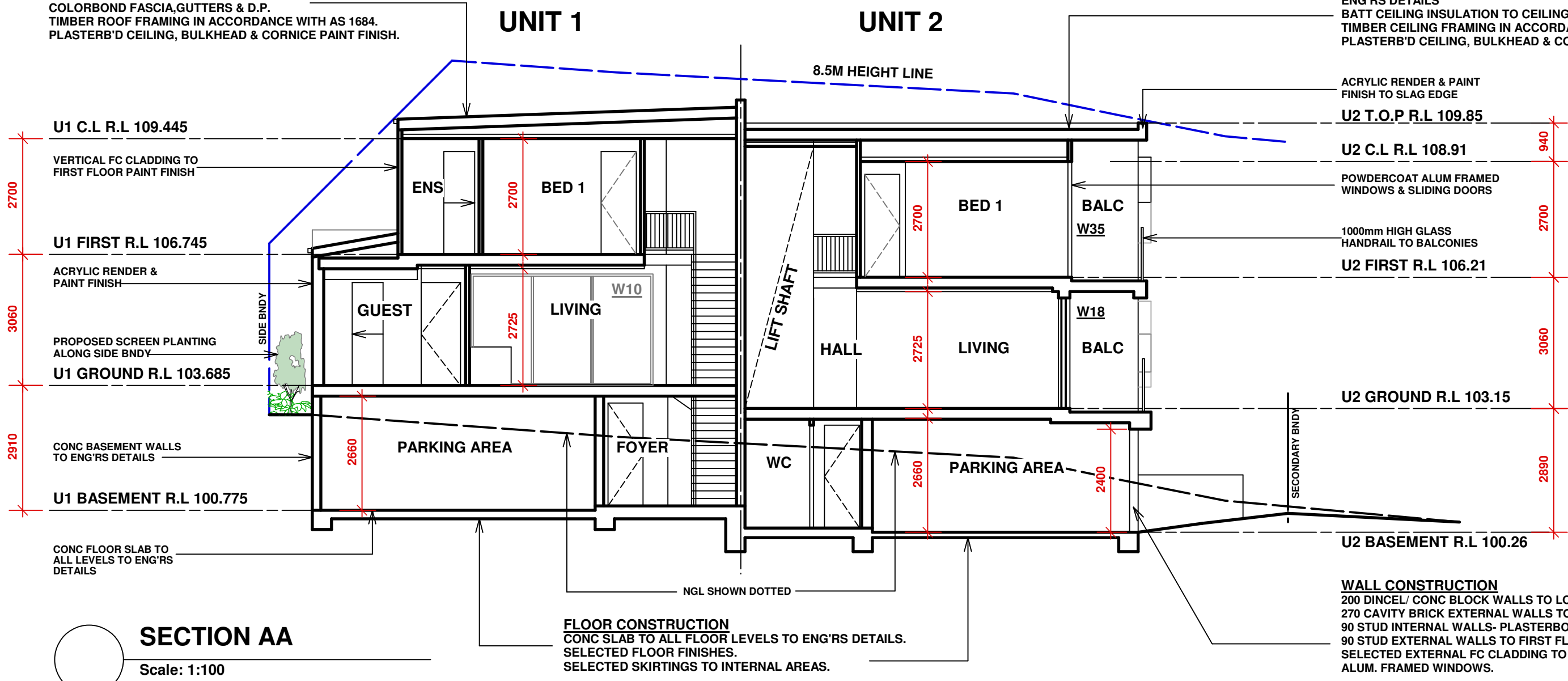
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PROJECT: PROPOSED DUPLEX LOCATED AT 41 FERGUSON ST FORESTVILLE
TITLE: ELEVATIONS 1
SCALE: 1:100 @ A1
PROJECT DATE: OCT 2024
PROJECT No. 202426
DRAWN: MM
CHECKED: REV: A
DWG No. DA 1.05



ROOF CONSTRUCTION
COLORBOND METAL ROOFING - PITCH AS NOTED.
BLANKET BACKED FOIL SARKING TO U/S ROOFING.
BATT CEILING INSULATION.
COLORBOND FASCIA, GUTTERS & D.P.
TIMBER ROOF FRAMING IN ACCORDANCE WITH AS 1684.
PLASTERB'D CEILING, BULKHEAD & CORNICE PAINT FINISH.



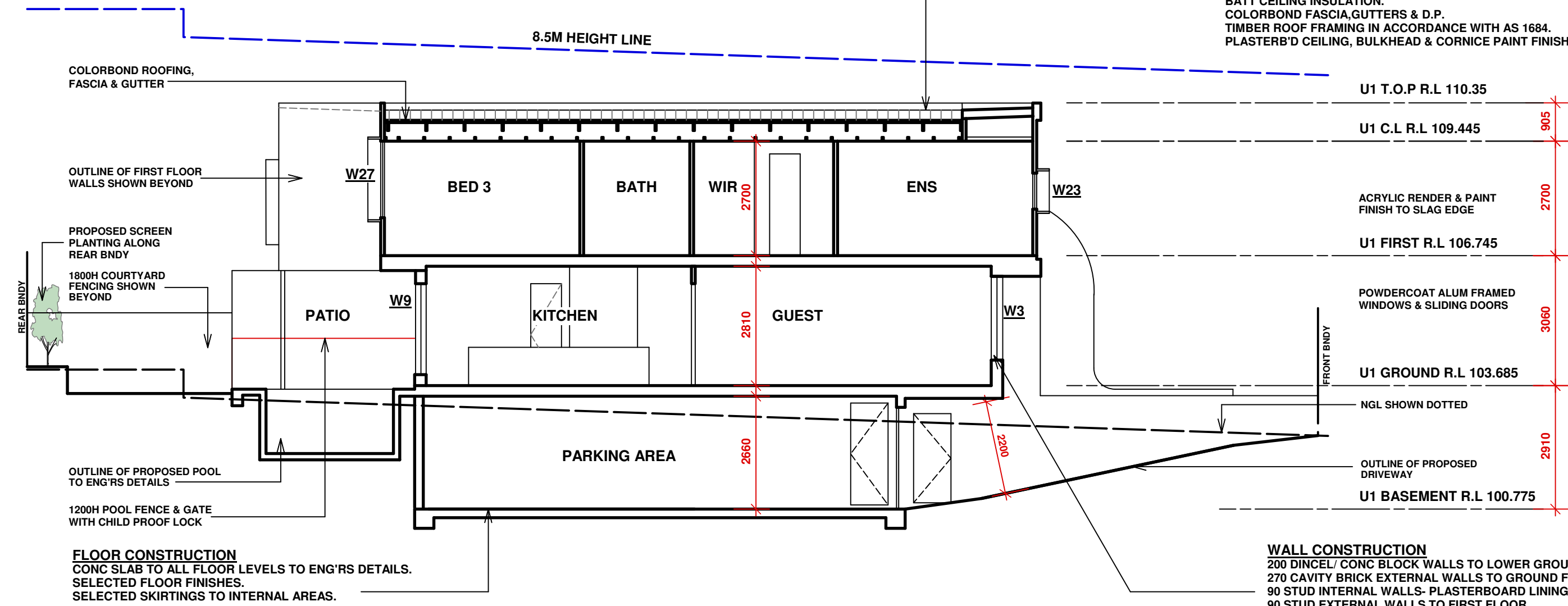
ROOF CONSTRUCTION
CONC SLAB ROOF WITH FALL TO FLOOR WASTES TO
ENG'RS DETAILS.
BATT CEILING INSULATION TO CEILINGS.
TIMBER CEILING FRAMING IN ACCORDANCE WITH AS 1684.
PLASTERB'D CEILING, BULKHEAD & CORNICE PAINT FINISH.

ACRYLIC RENDER & PAINT
FINISH TO SLAG EDGE
U2 T.O.P R.L. 109.85
U2 C.L.R.L. 108.91
POWDERCOAT ALUM FRAMED
WINDOWS & SLIDING DOORS
1000mm HIGH GLASS
HANDRAIL TO BALCONIES
U2 FIRST R.L. 106.21

WALL CONSTRUCTION
200 DINCEL/ CONC BLOCK WALLS TO LOWER GROUND FLOOR.
270 CAVITY BRICK EXTERNAL WALLS TO GROUND FLOOR.
90 STUD INTERNAL WALLS- PLASTERBOARD LINING..
90 STUD EXTERNAL WALLS TO FIRST FLOOR.
SELECTED EXTERNAL FC CLADDING TO FIRST FLOOR WALLS AS NOTED.
ALUM. FRAMED WINDOWS.

FLOOR CONSTRUCTION
CONC SLAB TO ALL FLOOR LEVELS TO ENG'RS DETAILS.
SELECTED FLOOR FINISHES.
SELECTED SKIRTINGS TO INTERNAL AREAS.

UNIT 1



ROOF CONSTRUCTION
COLORBOND METAL ROOFING - PITCH AS NOTED.
BLANKET BACKED FOIL SARKING TO U/S ROOFING.
BATT CEILING INSULATION.
COLORBOND FASCIA, GUTTERS & D.P.
TIMBER ROOF FRAMING IN ACCORDANCE WITH AS 1684.
PLASTERB'D CEILING, BULKHEAD & CORNICE PAINT FINISH.

U1 T.O.P R.L. 110.35
U1 C.L.R.L. 109.445
ACRYLIC RENDER & PAINT
FINISH TO SLAG EDGE
U1 FIRST R.L. 106.745
POWDERCOAT ALUM FRAMED
WINDOWS & SLIDING DOORS
U1 GROUND R.L. 103.685
NGL SHOWN DOTTED
OUTLINE OF PROPOSED
DRIVEWAY
U1 BASEMENT R.L. 100.775

WALL CONSTRUCTION
200 DINCEL/ CONC BLOCK WALLS TO LOWER GROUND FLOOR.
270 CAVITY BRICK EXTERNAL WALLS TO GROUND FLOOR.
90 STUD INTERNAL WALLS- PLASTERBOARD LINING..
90 STUD EXTERNAL WALLS TO FIRST FLOOR.
SELECTED EXTERNAL FC CLADDING TO FIRST FLOOR WALLS AS NOTED.
ALUM. FRAMED WINDOWS.

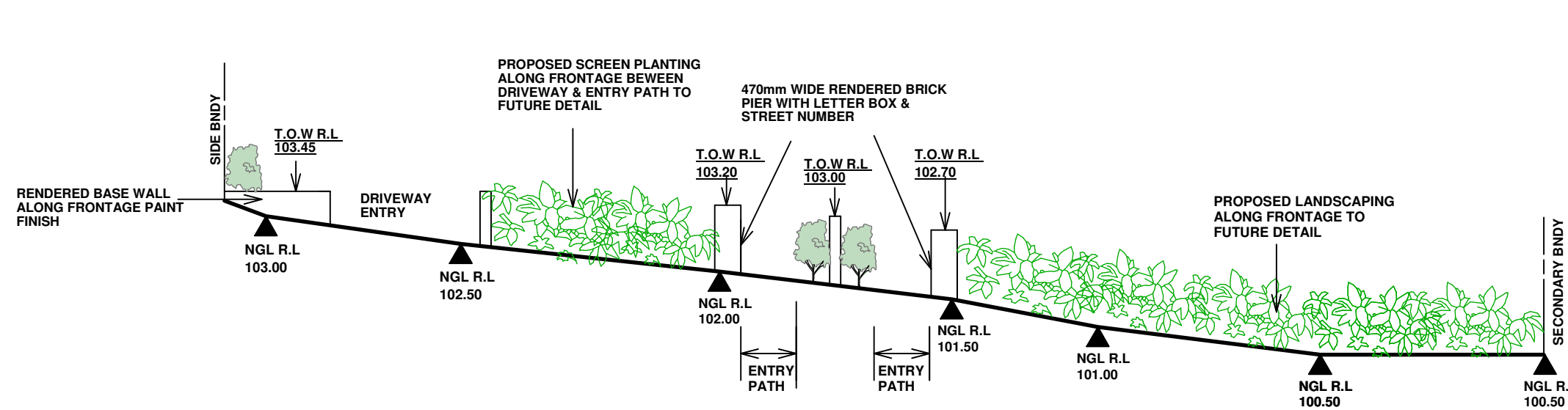
FLOOR CONSTRUCTION
CONC SLAB TO ALL FLOOR LEVELS TO ENG'RS DETAILS.
SELECTED FLOOR FINISHES.
SELECTED SKIRTINGS TO INTERNAL AREAS.

SECTION BB

Scale: 1:100

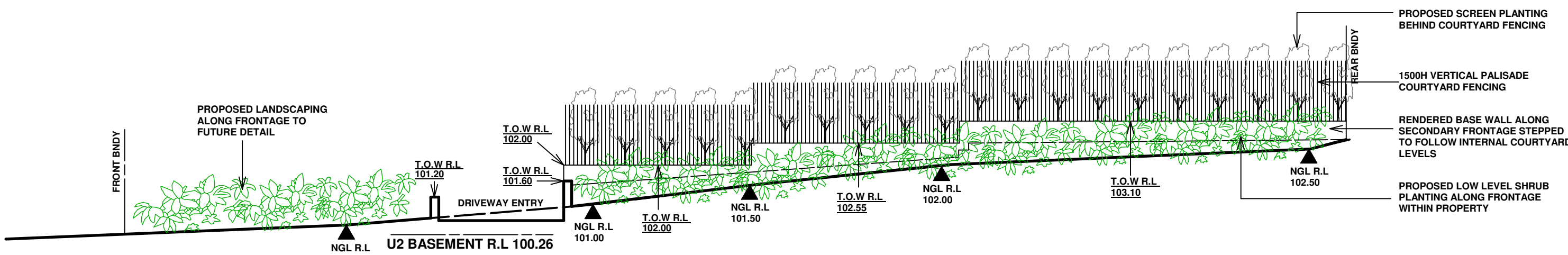
MAIN FRONTAGE FENCE ELEVATION

Scale: 1:100



SECONDARY FRONTAGE FENCE ELEVATION

Scale: 1:100



FINISHES & COLOUR SCHEDULE

MAIN EXTERNAL FACADE = ACRYLIC RENDER & PAINT FINISH DULUX SHALE GREY

ALTERNATIVE OPTION- FACE BRICK = PGH LIFESTYLE NATURALS FROST - OR SIMILAR

EXPOSED SLAB EDGE/ PARAPET = ACRYLIC RENDER & PAINT FINISH DULUX NATURAL WHITE

SELECTED STONE CLADDING TO FRONT FACADE WALL

COLORBOND ROOFING = COLORBOND BASALT

COLORBOND GUTTER = COLORBOND BASALT

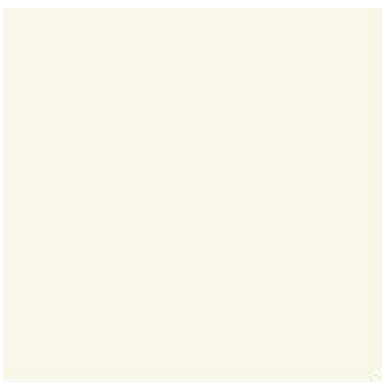
COLORBOND FASCIA = COLORBOND BASALT

EAVES LINING PAINT FINISH = DULUX NATURAL WHITE OR SIMILAR

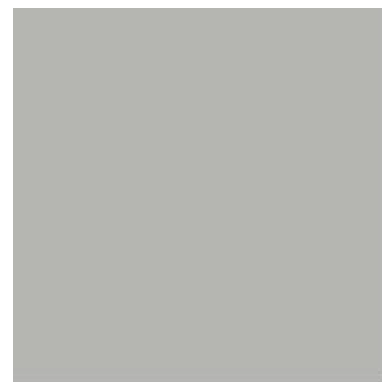
PAINTED POSTS = COLORBOND MONUMENT

ALUM FRAMED WINDOWS = COLORBOND MONUMENT

GARAGE DOOR= B&D CASTELLATED 35 VERTICAL FACADE IN BLACK



DULUX NATURAL WHITE



COLORBOND SHALE GREY



COLORBOND BASALT



STONE CLADDING



COLORBOND MONUMENT



B&D CASTELLATED 35 VERTICAL CLADDING TO GARAGE FACADE OR SIMILAR

DATE	REV	AMENDMENTS
04/12/24	A	DA ISSUE

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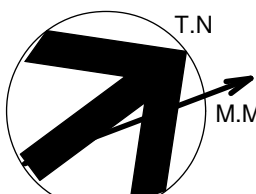
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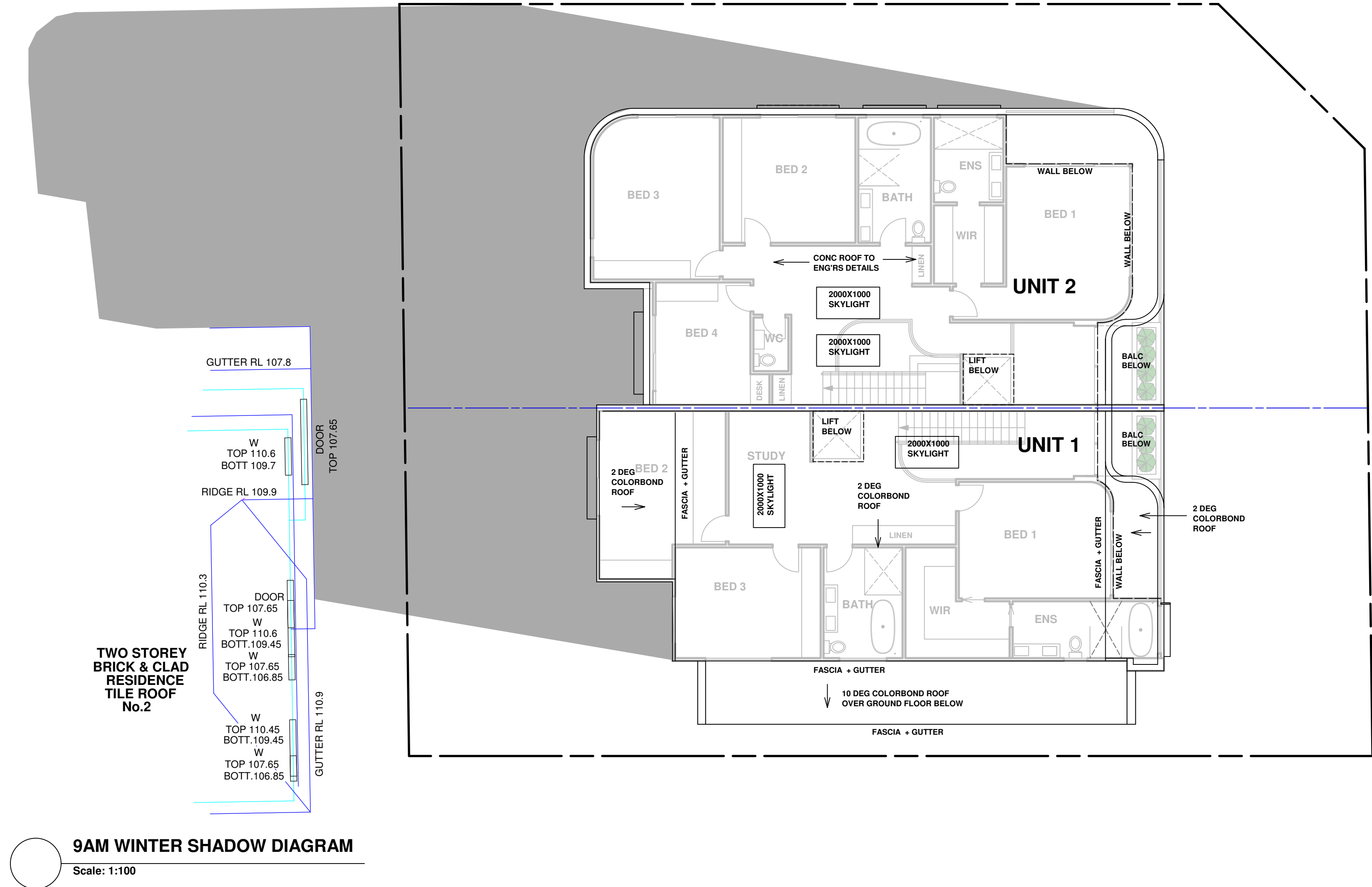


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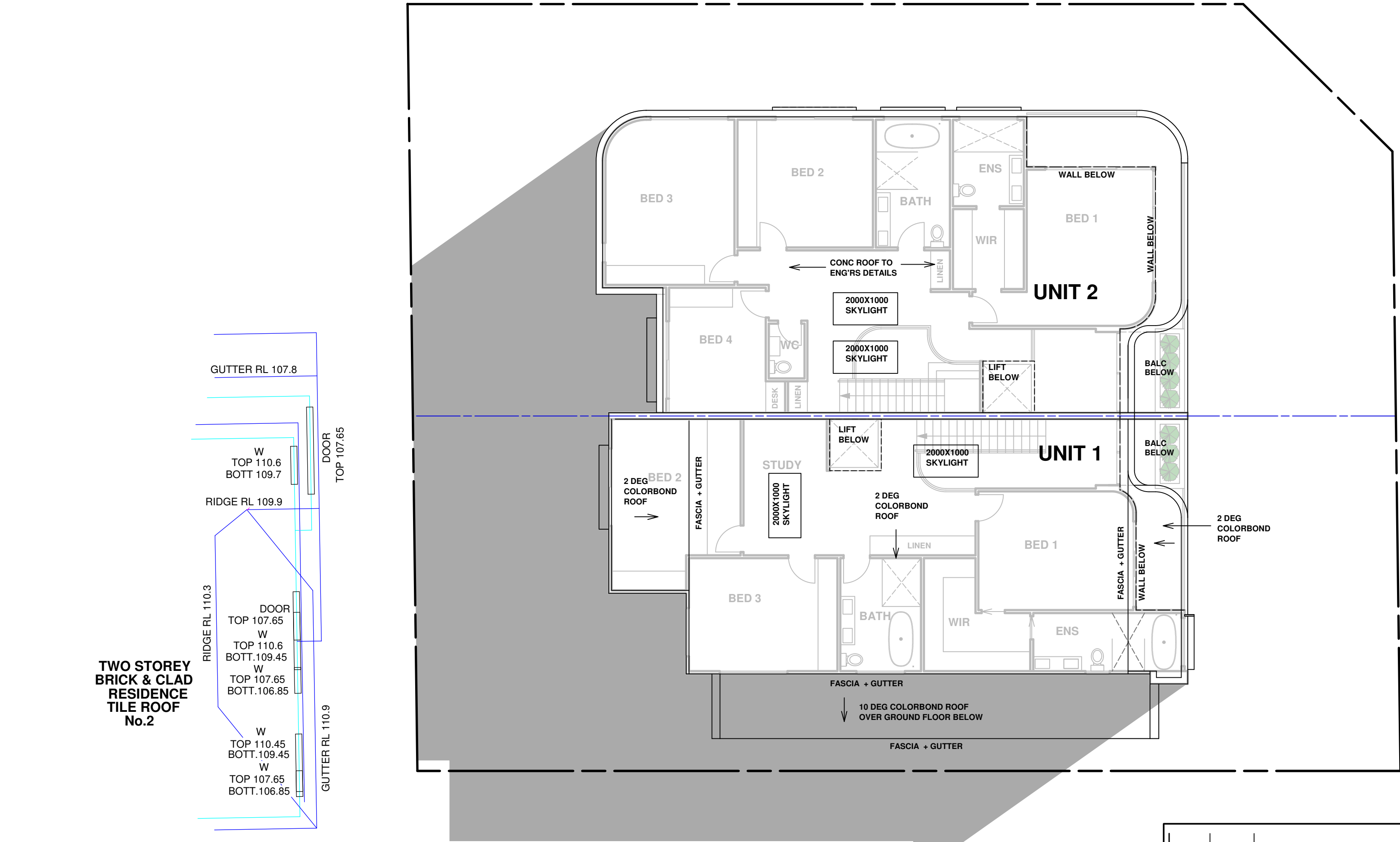
PROJECT : PROPOSED DUPLEX LOCATED AT 41 FERGUSON ST FORESTVILLE
TITLE: SECTIONS AA/BB, COLOUR SCHEDULE & FENCE ELEVATIONS
SCALE: 1:100 @ A1
PROJECT DATE : OCT 2024
PROJECT No. 202426

DRAWN : MM
CHECKED :
DWG No. DA 1.06

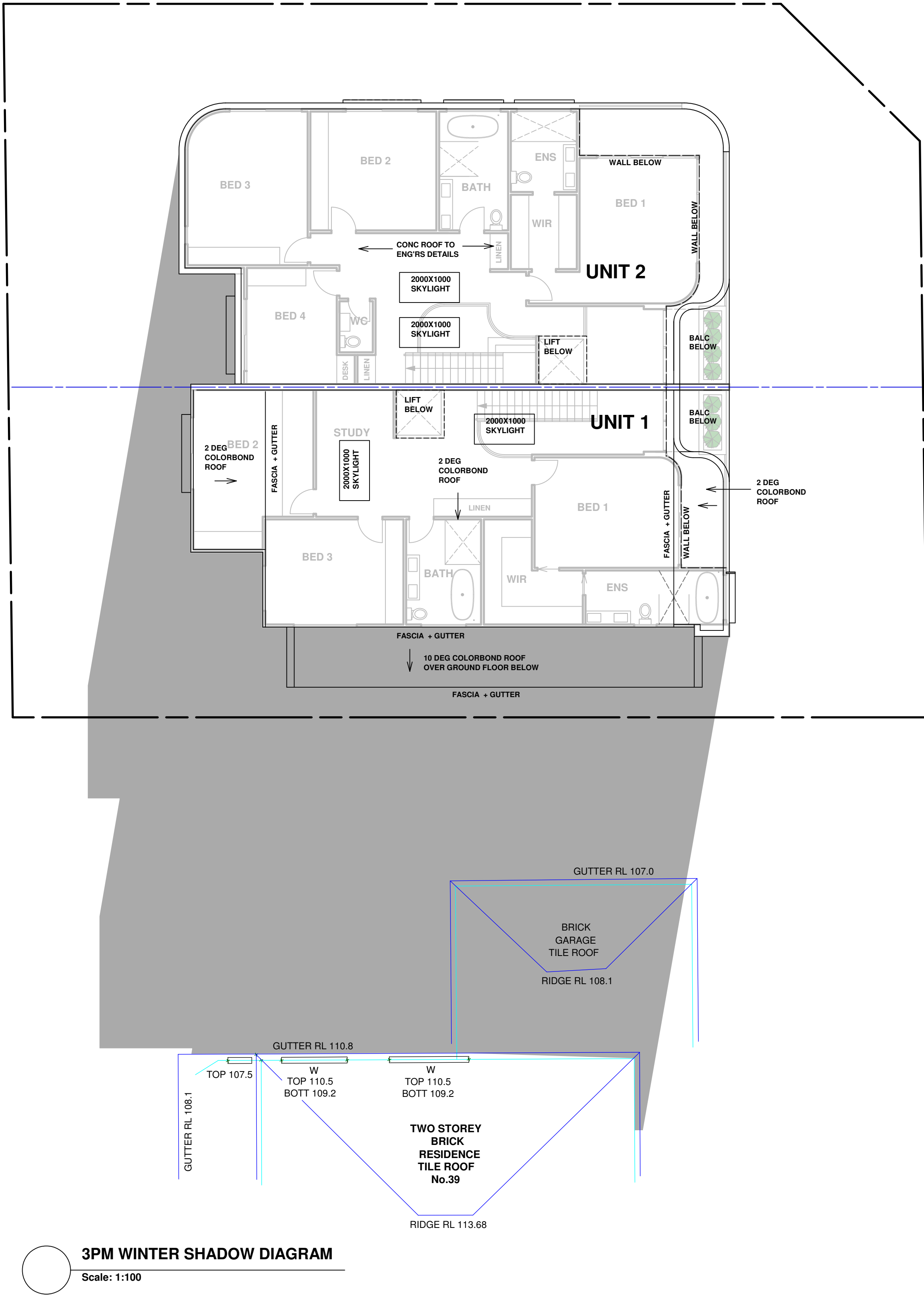




9AM WINTER SHADOW DIAGRAM
Scale: 1:100



NOON WINTER SHADOW DIAGRAM
Scale: 1:100



3PM WINTER SHADOW DIAGRAM
Scale: 1:100

04/12/24	A	DA ISSUE			
DATE	REV	AMENDMENTS			

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PROJECT : PROPOSED DUPLEX LOCATED AT 41 FERGUSON ST FORESTVILLE

TITLE: 9AM, NOON & 3PM WINTER SHADOW PLANS

SCALE: 1:100 @ A1

DRAWN: MM

PROJECT DATE : OCT 2024

CHECKED: REV: A

PROJECT No. 202426

DWG No. DA 1.08