

EASEMENT (SHOWN HATCHED) TO BENEFIT LOT 1

EXISTING 3-STORY BRICK BUILDING AT No.1 SKYLINE PLACE

GROUND FLOOR

SITE PLAN - LOT 1

A	ORIGINAL ISSUE	23.02.21
	ISSUE REVISIONS	DATE
PROJECT:		
MIXED USE AND SENIORS LIVING DEVELOPMENT		
5 Skyline Place Frenchs Forest NSW 2086		
SP 49558		

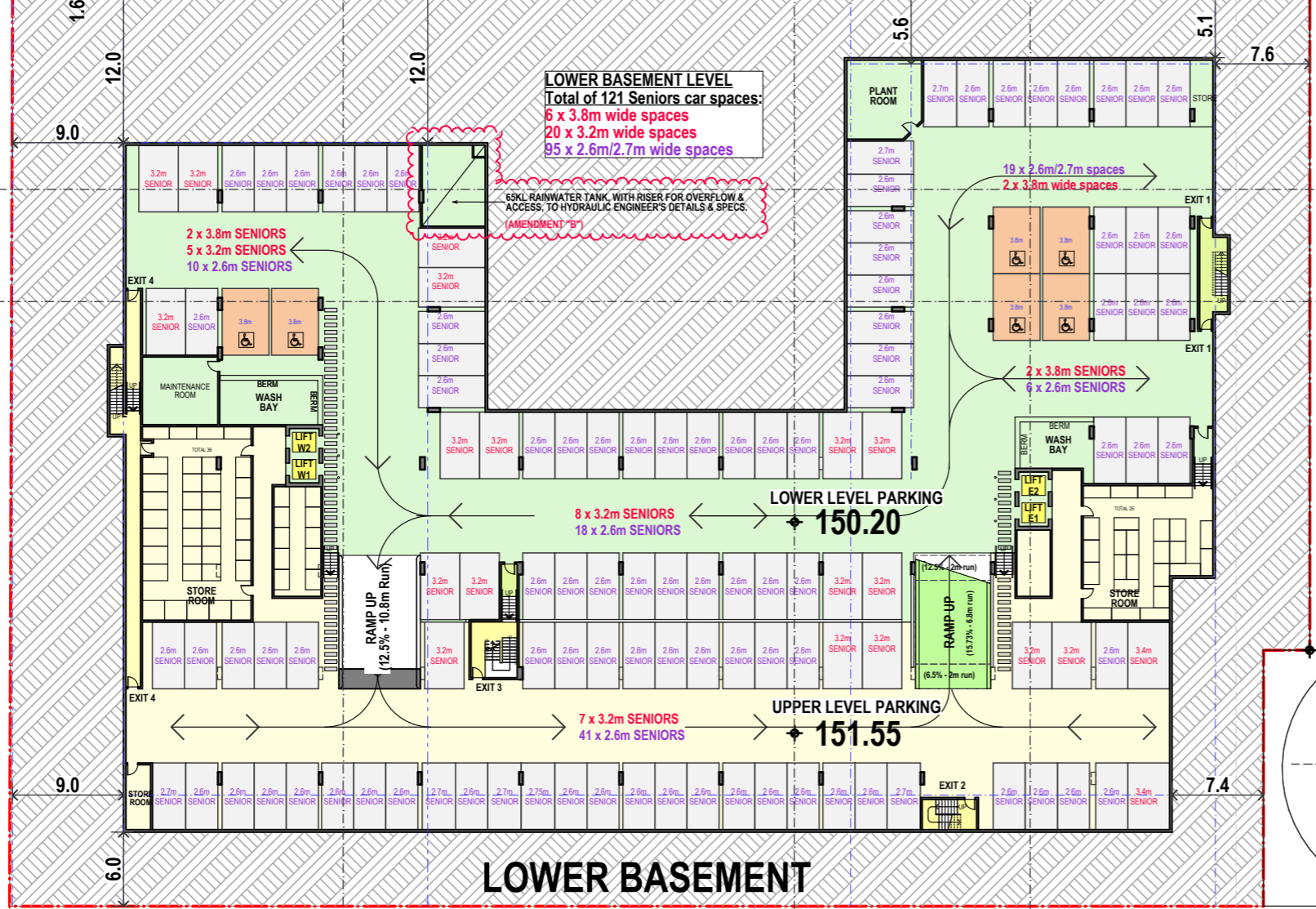
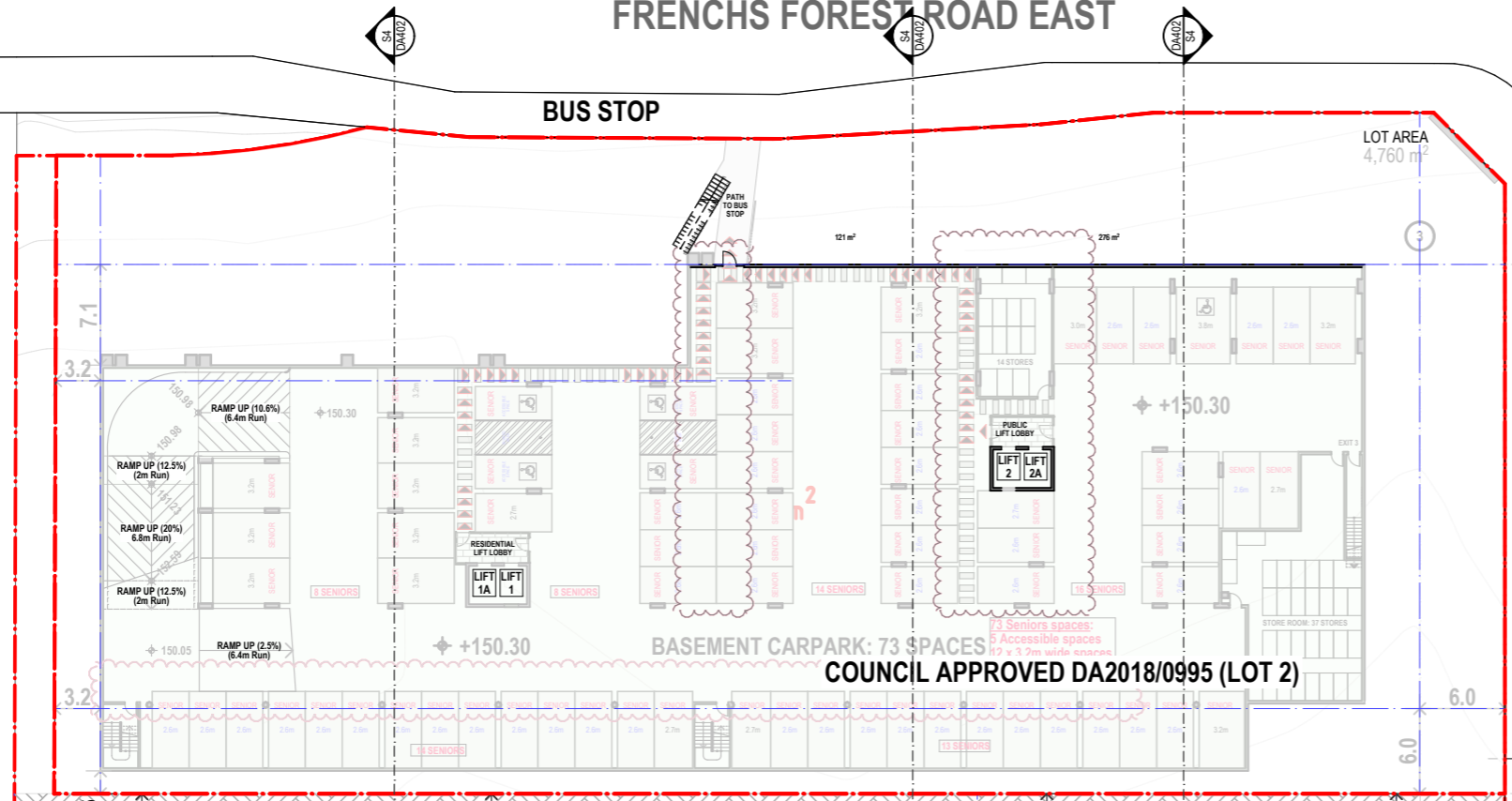
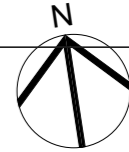
SITE PLAN

PA STUDIO  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA101</b>
SUBSET:	SITE PLAN	
DRAWN BY:	SU/WH/SP	ISSUE A

1:500





B	AMENDMENTS "B", AS NOTED	07.06.21
A	ORIGINAL ISSUE	23.02.21
ISSUE	REVISIONS	DATE

PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
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**LOWER BASEMENT CARPARK**

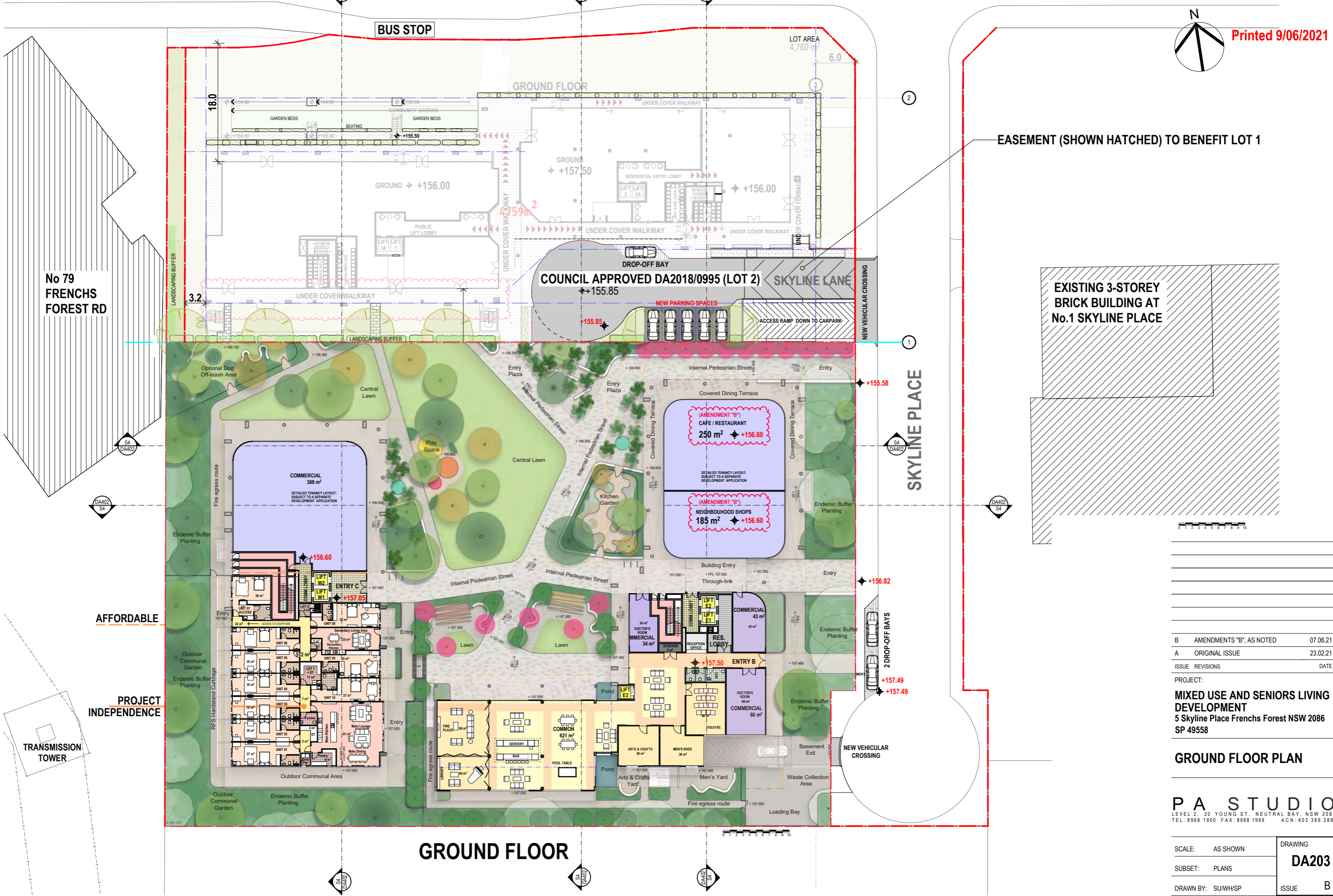
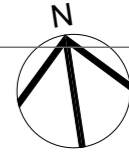
**PASTUDIO**  
 LEVEL 2, 20 YOUNG ST, NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA201</b>
SUBSET:	PLANS	
DRAWN BY:	SU/WH/SP	ISSUE <b>B</b>









EASEMENT (SHOWN HATCHED) TO BENEFIT LOT 1

EXISTING 3-STOREY BRICK BUILDING AT No.1 SKYLINE PLACE

No 79 FRENCHS FOREST RD

COUNCIL APPROVED DA2018/0995 (LOT 2)

SKYLINE PLACE

AFFORDABLE

PROJECT INDEPENDENCE

TRANSMISSION TOWER



B	AMENDMENTS "B", AS NOTED	07.06.21
A	ORIGINAL ISSUE	23.02.21
ISSUE REVISIONS		DATE

PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
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GROUND FLOOR PLAN

**PASTUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA203</b>
SUBSET:	PLANS	
DRAWN BY:	SU/MH/SP	ISSUE <b>B</b>

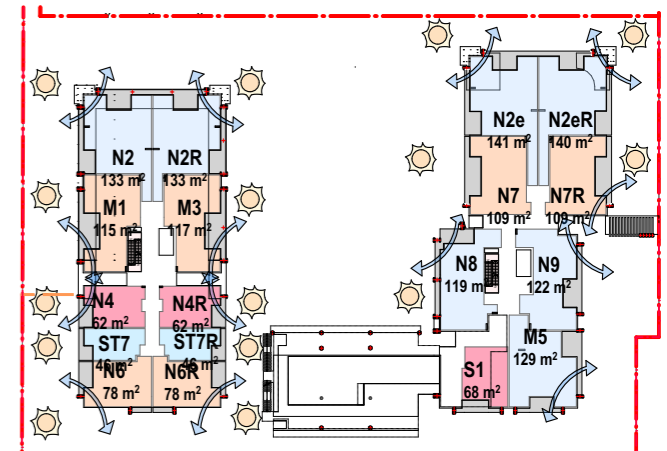
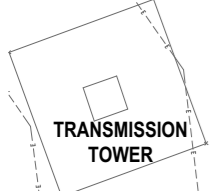
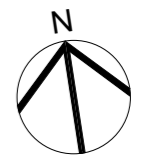
FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)

GROUND FLOOR

GROUND FLOOR

1:500





LEVEL 1 CROSS VENT: 14 SOLAR: 15 No. OF SOUTH UNITS: 0



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<b>MIXED USE AND SENIORS LIVING DEVELOPMENT</b>		
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**LEVEL 1 FLOOR PLAN**

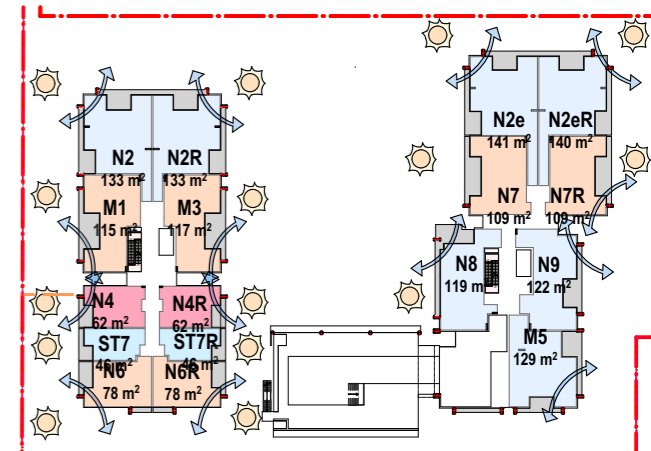
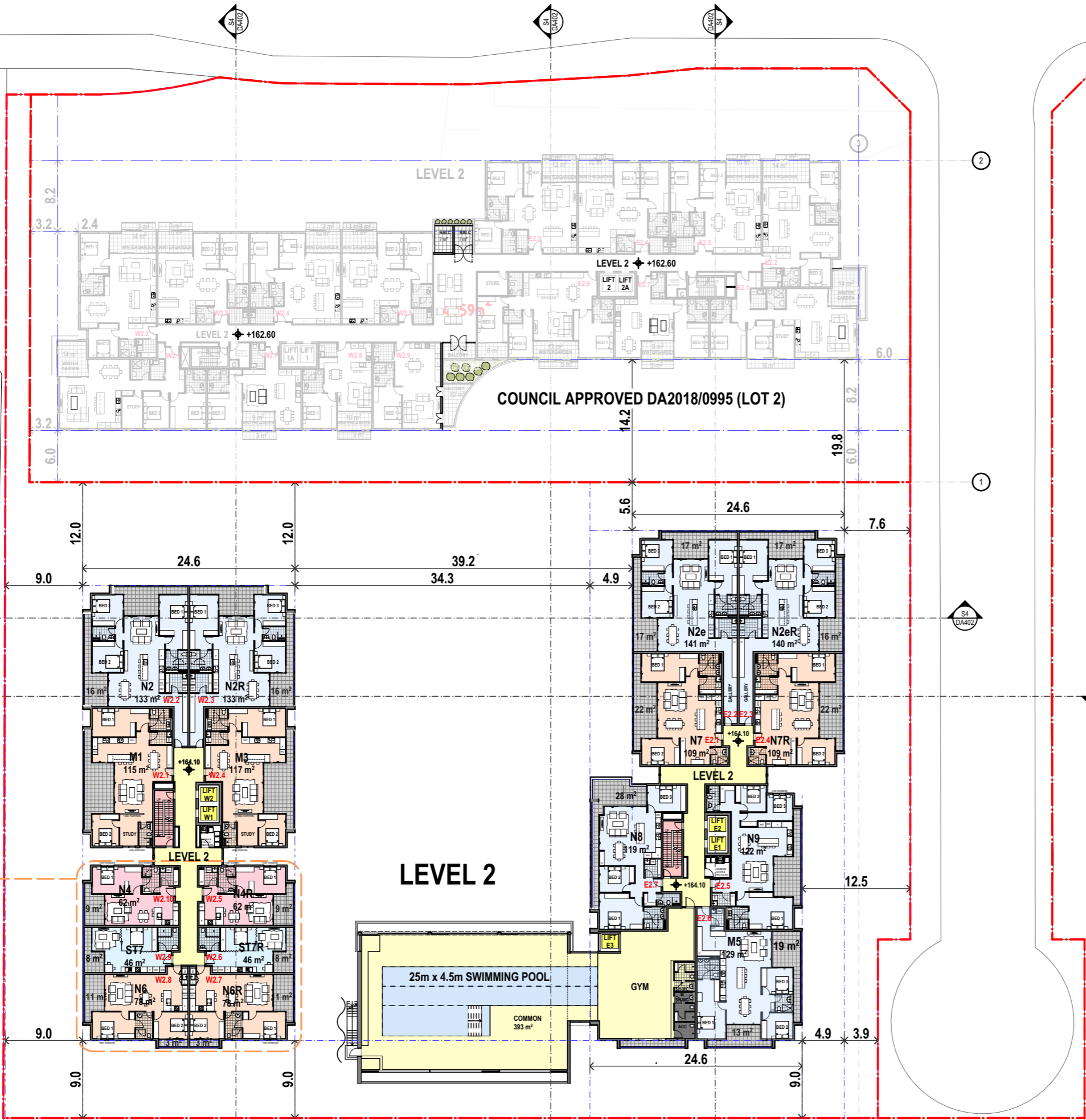
**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	<b>DRAWING</b> <b>DA204</b>
SUBSET:	PLANS	
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>





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**LEVEL 2**  
 CROSS VENT: 14  
 SOLAR: 15  
 No. OF SOUTH UNITS: 0

No 79  
FRENCHS  
FOREST RD

TRANSMISSION  
TOWER

AFFORDABLE

**LEVEL 2**

25m x 4.5m SWIMMING POOL

COMMON  
393 m²

GYM



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**LEVEL 2 FLOOR PLAN**

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

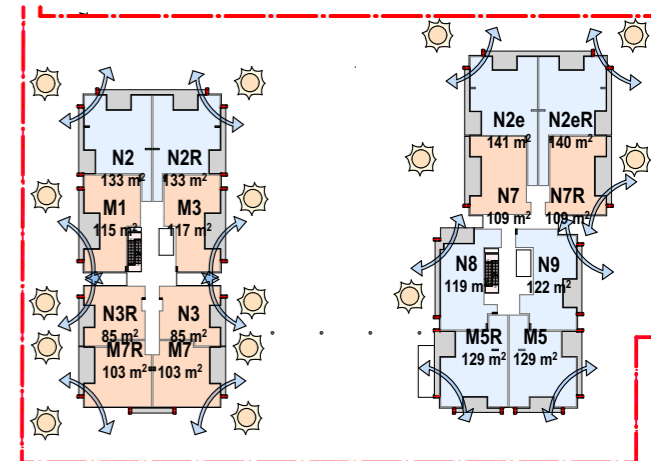
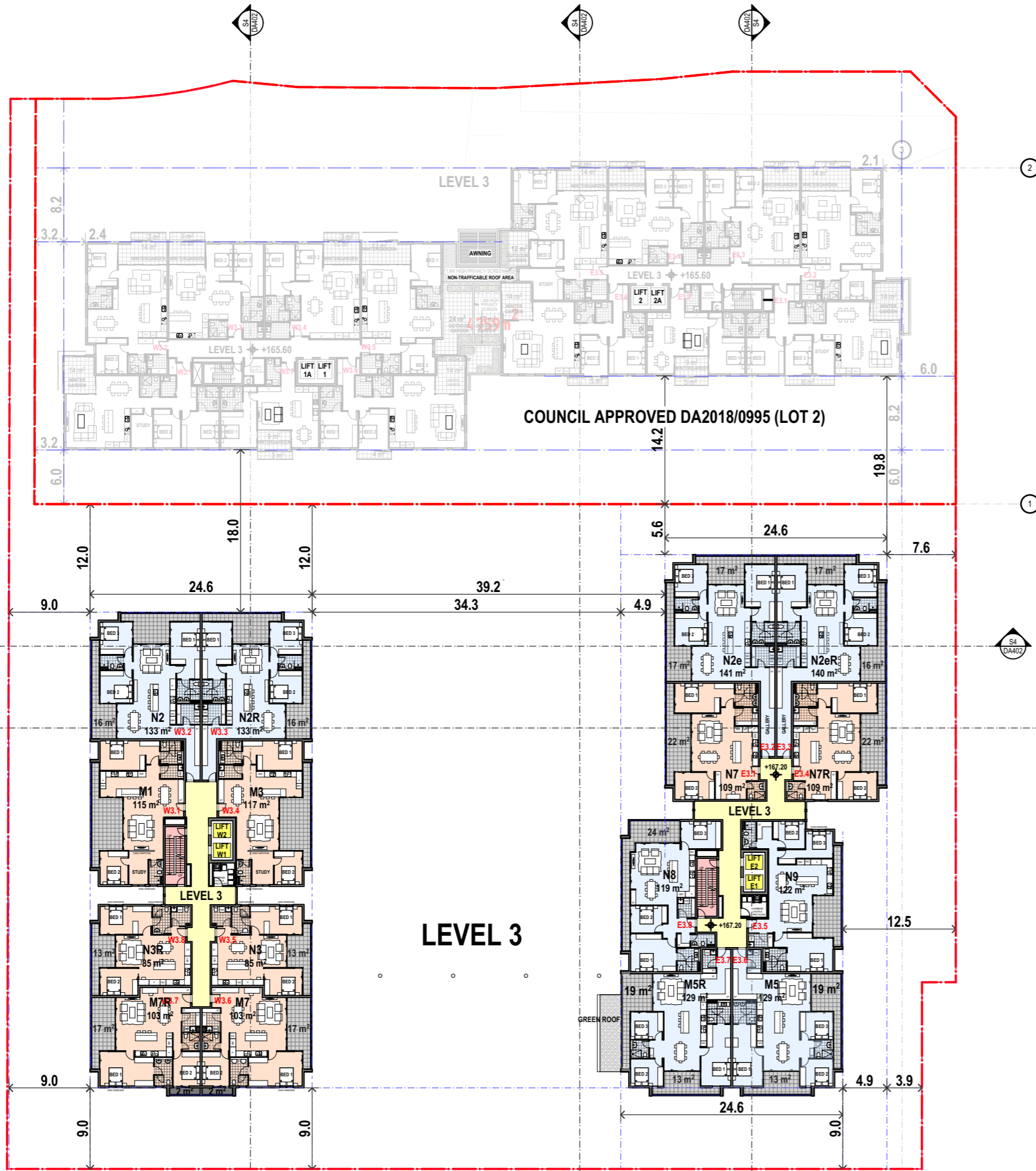
SCALE:	AS SHOWN	<b>DA205</b>
SUBSET:	PLANS	
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)





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**LEVEL 3**  
 CROSS VENT: 15  
 SOLAR: 13  
 No. OF SOUTH UNITS: 0



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**LEVEL 3 FLOOR PLAN**

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

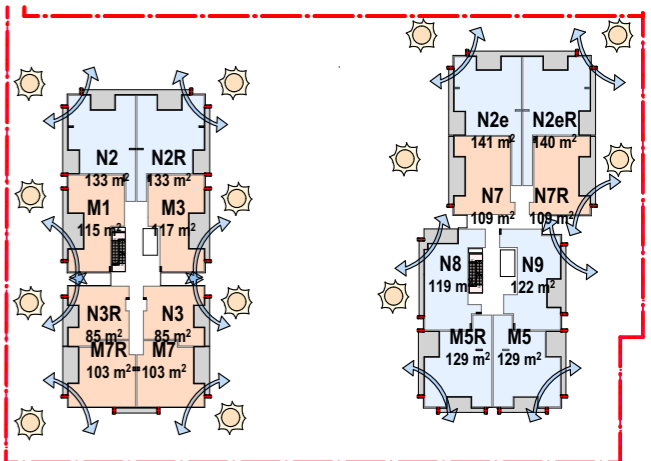
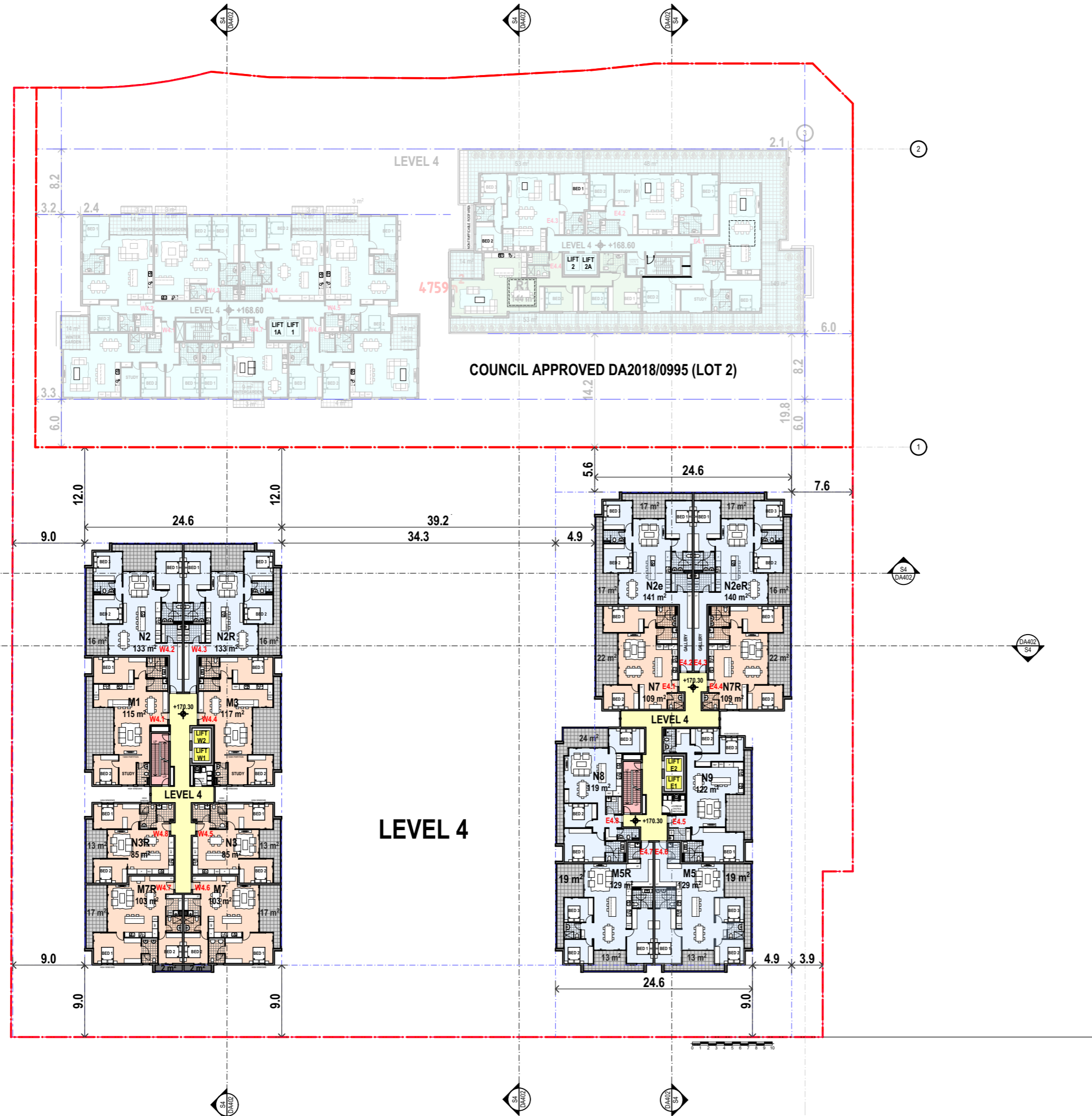
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SUBSET:	PLANS	
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)

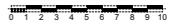




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LEVEL 4  
 CROSS VENT: 15  
 SOLAR: 13  
 No. OF SOUTH UNITS: 0



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 PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
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**LEVEL 4 FLOOR PLAN**

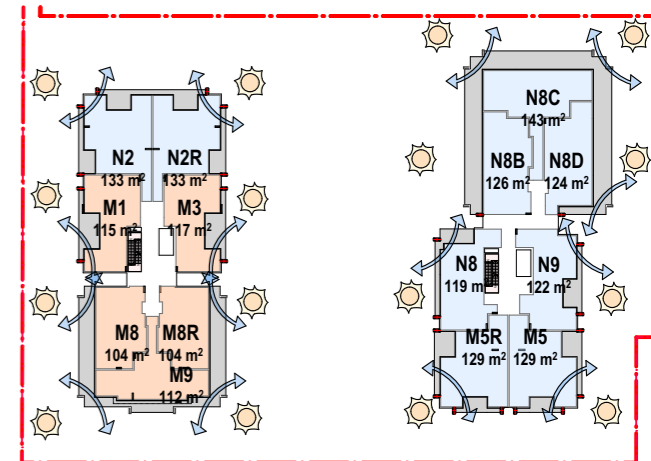
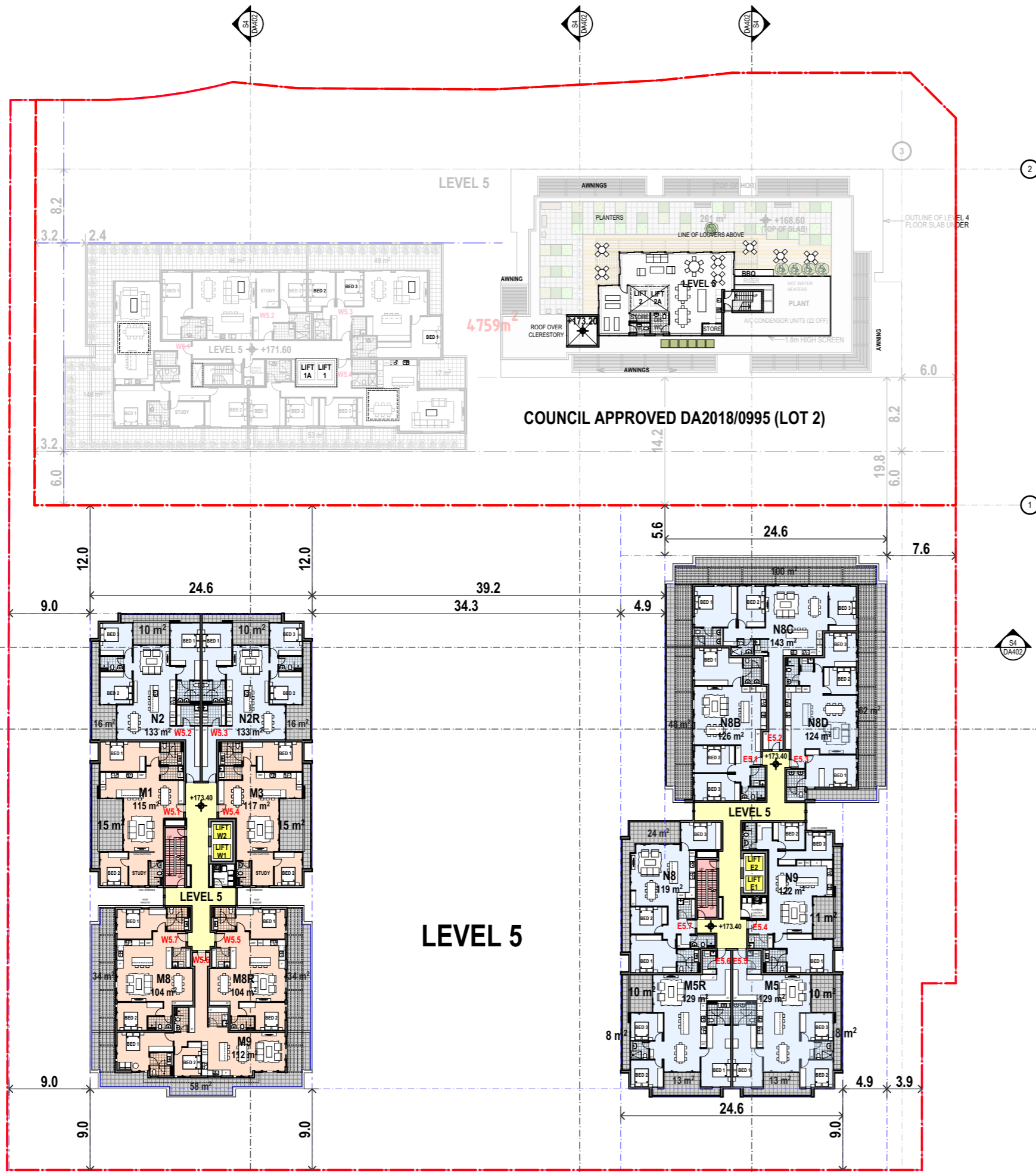
**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: AS SHOWN	DRAWING <b>DA207</b>
SUBSET: PLANS	
DRAWN BY: SU/WH/SP	ISSUE <b>A</b>

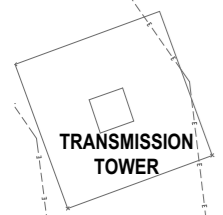
FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



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**LEVEL 5**  
 CROSS VENT: 13  
 SOLAR: 14  
 No. Of SOUTH UNITS: 0



TRANSMISSION TOWER



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**LEVEL 5 FLOOR PLAN**

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

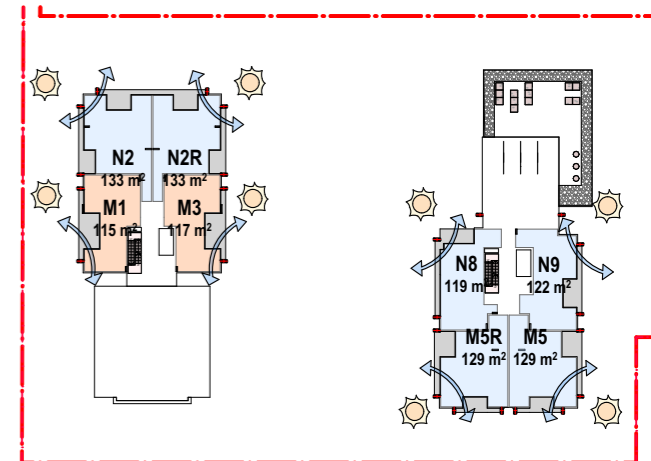
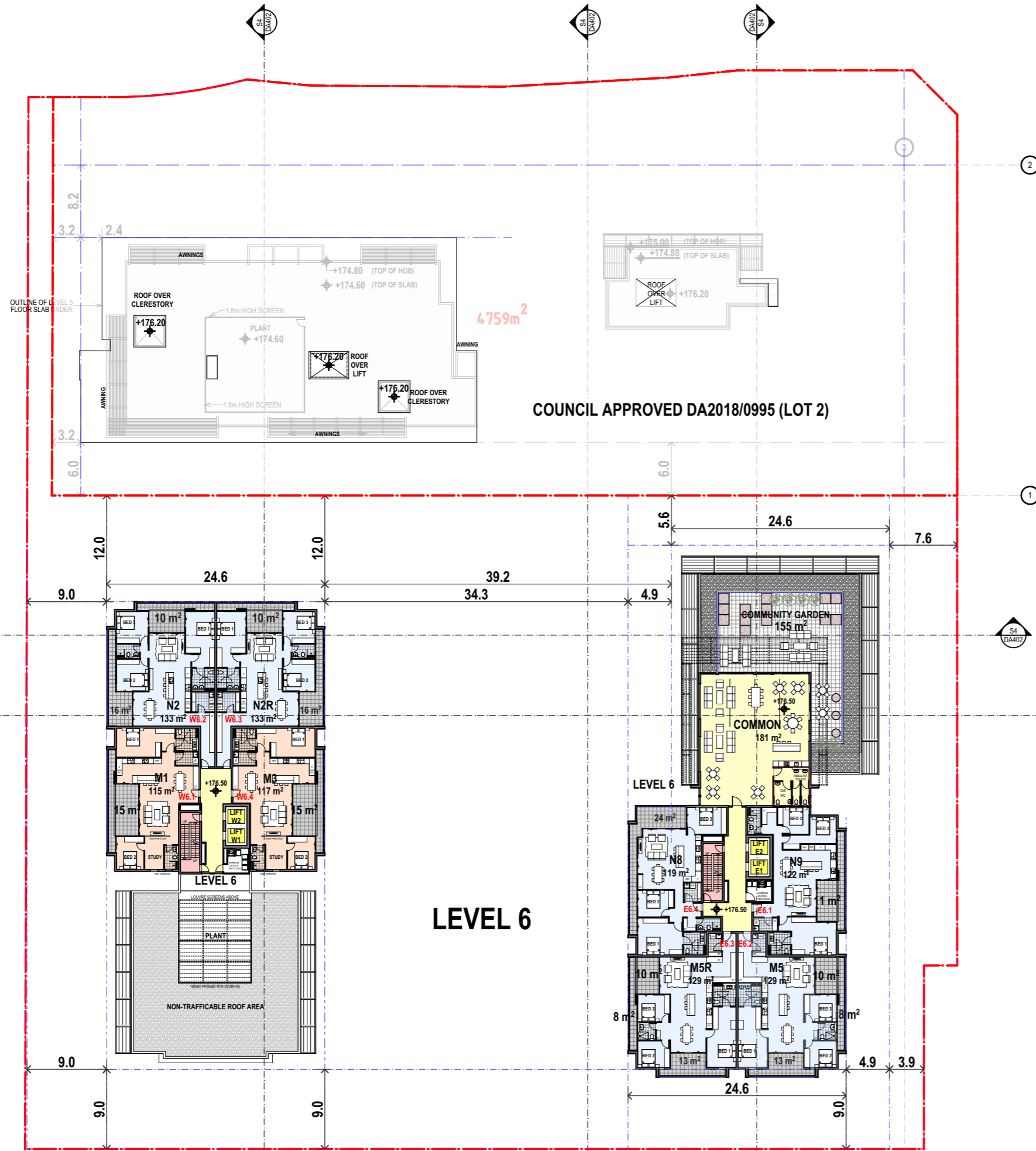
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SUBSET:	PLANS	
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)





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**LEVEL 6**  
 CROSS VENT: 08  
 SOLAR: 08  
 No. OF SOUTH UNITS: 0



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 5 Skyline Place Frenchs Forest NSW 2086  
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**LEVEL 6 FLOOR PLAN**

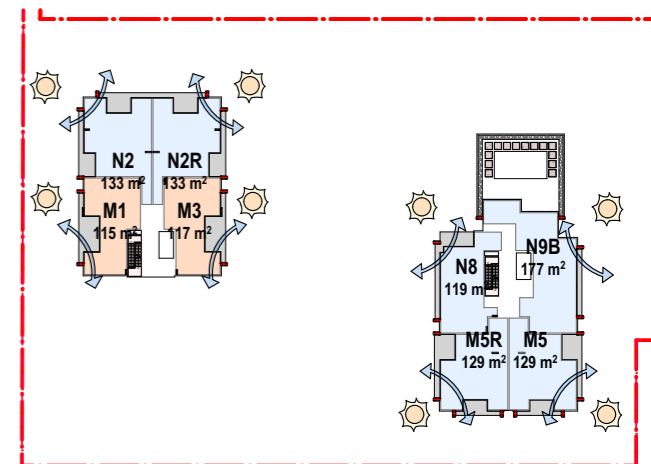
**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA209</b>
SUBSET:	PLANS	
DRAWN BY:	SU/WH/SP	ISSUE A

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)

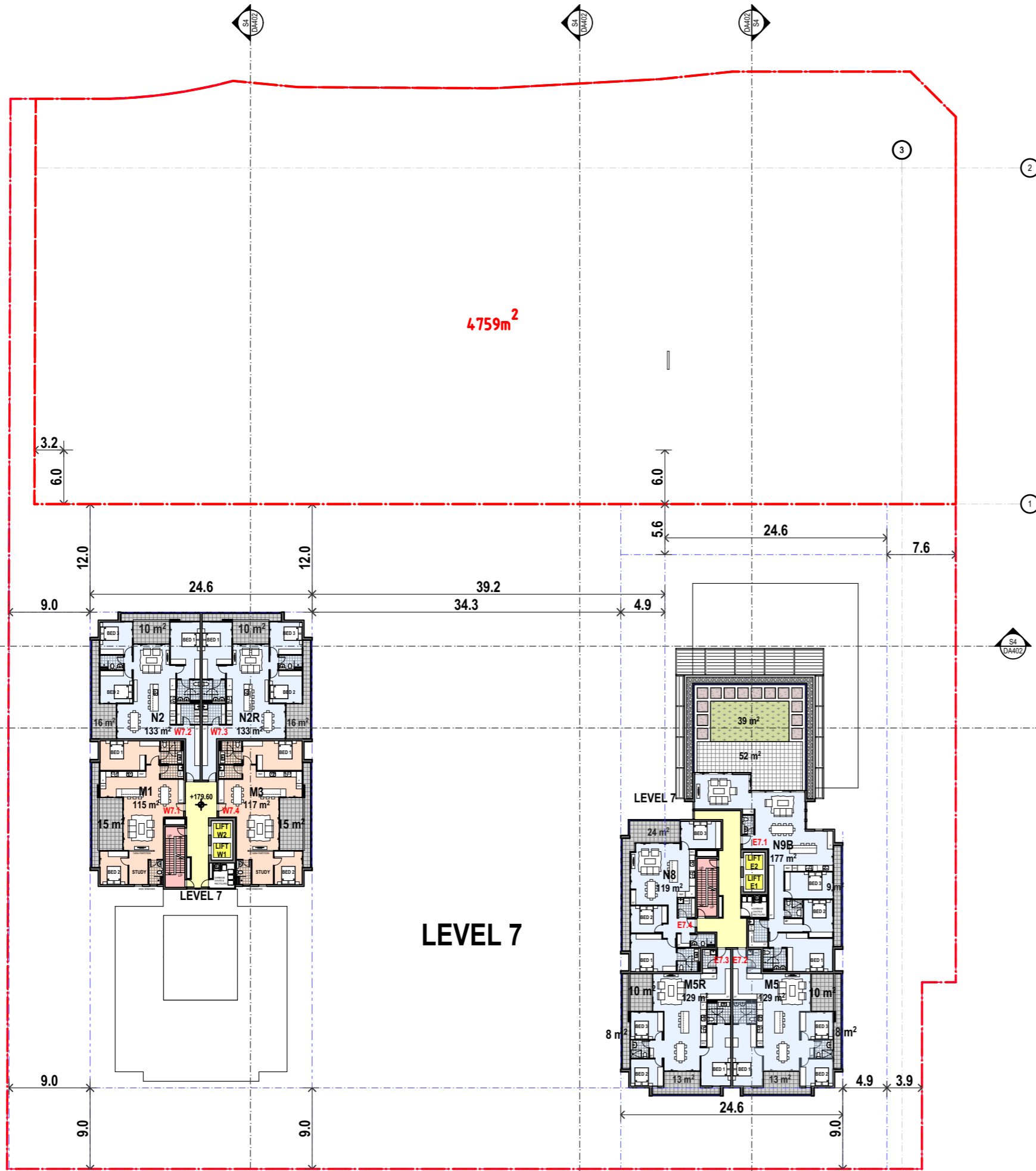


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LEVEL 7

CROSS VENT: 08  
SOLAR: 08  
No. of SOUTH UNITS: 0



LEVEL 7



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### LEVEL 7 FLOOR PLAN

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

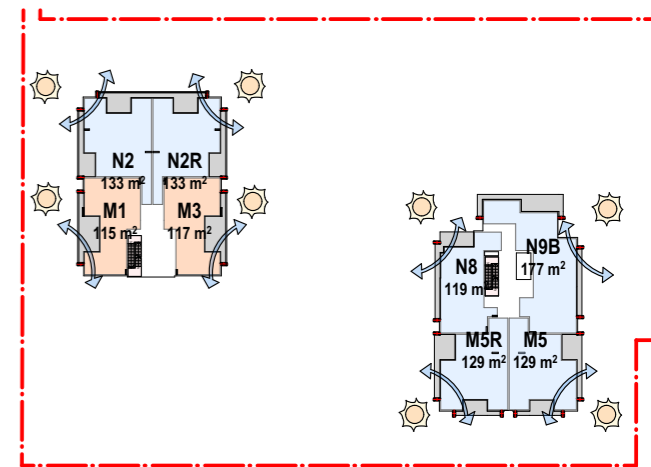
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SUBSET:	PLANS	
DRAWN BY:	SU/WH/SP	ISSUE A

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



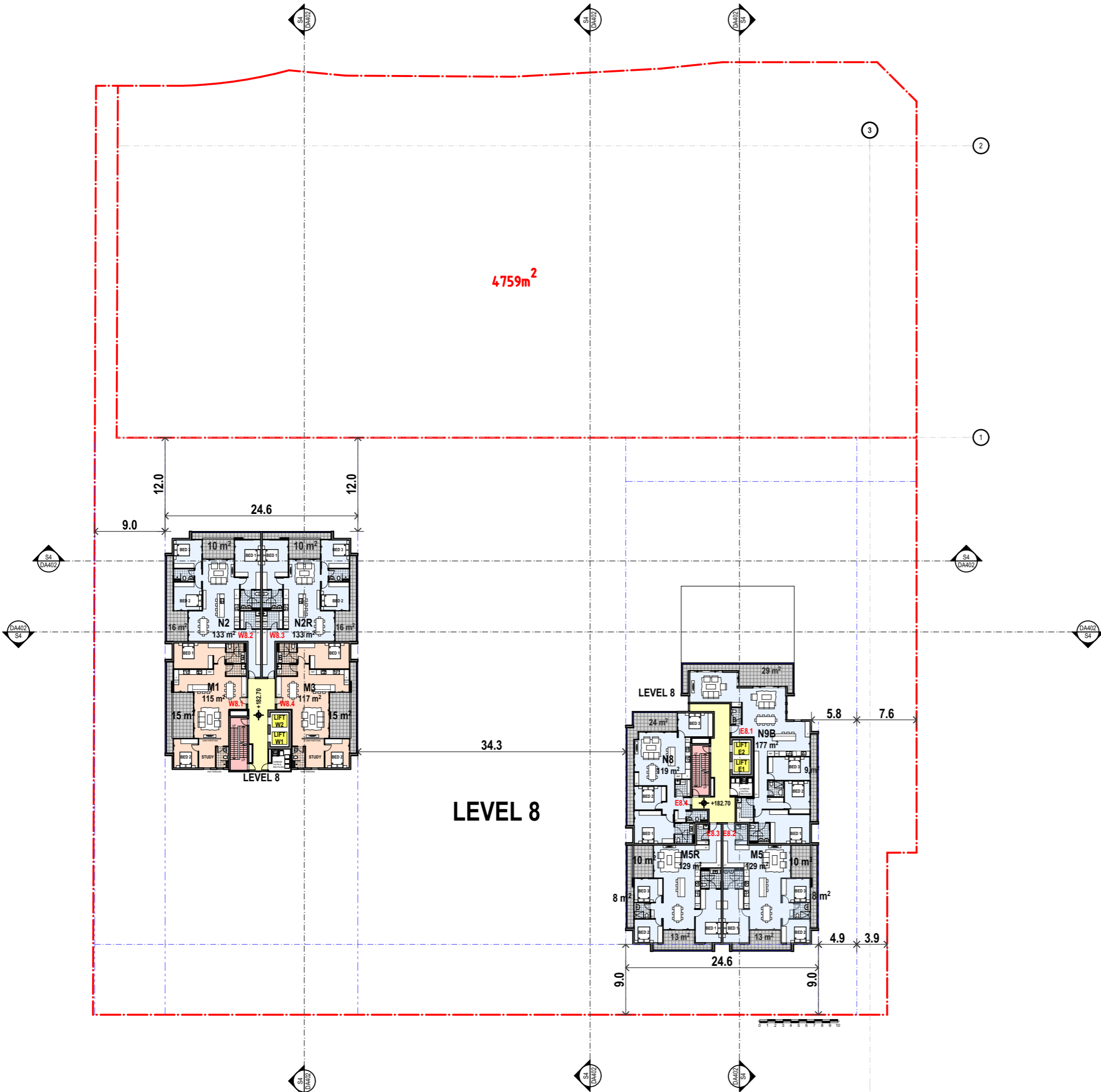


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LEVEL 8

CROSS VENT: 08  
SOLAR: 08  
No. OF SOUTH UNITS: 0



4,759m<sup>2</sup>

LEVEL 8



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 5 Skyline Place Frenchs Forest NSW 2086  
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### LEVEL 8 FLOOR PLAN

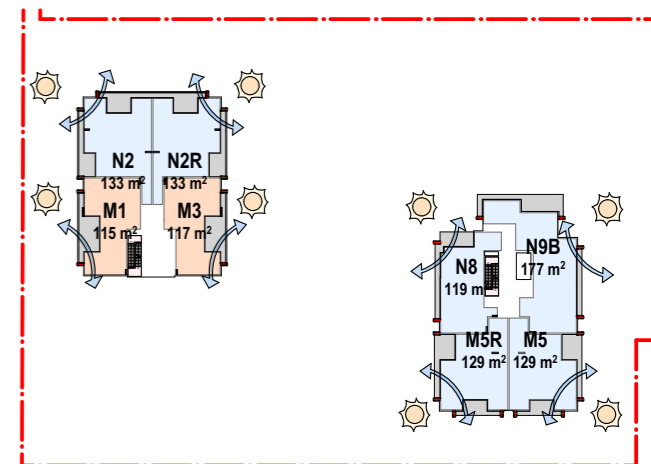
**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA211</b>
SUBSET:	PLANS	
DRAWN BY:	SU/WH/SP	ISSUE A

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)

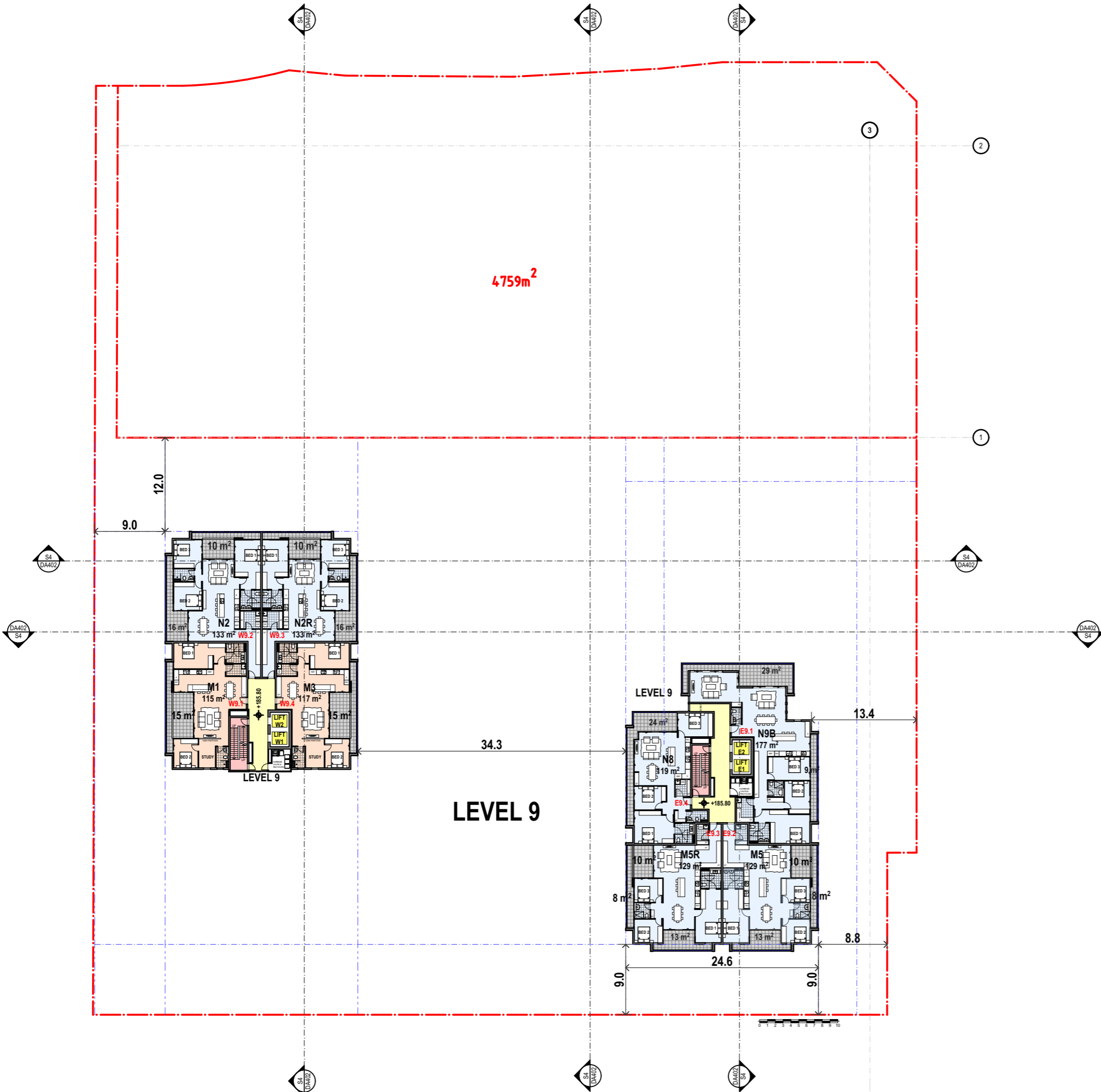


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LEVEL 9

CROSS VENT: 08  
SOLAR: 08  
No. OF SOUTH UNITS: 0



LEVEL 9



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**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
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### LEVEL 9 FLOOR PLAN

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

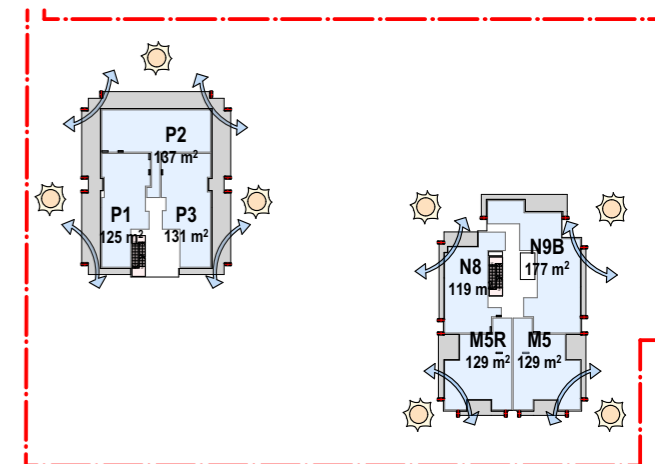
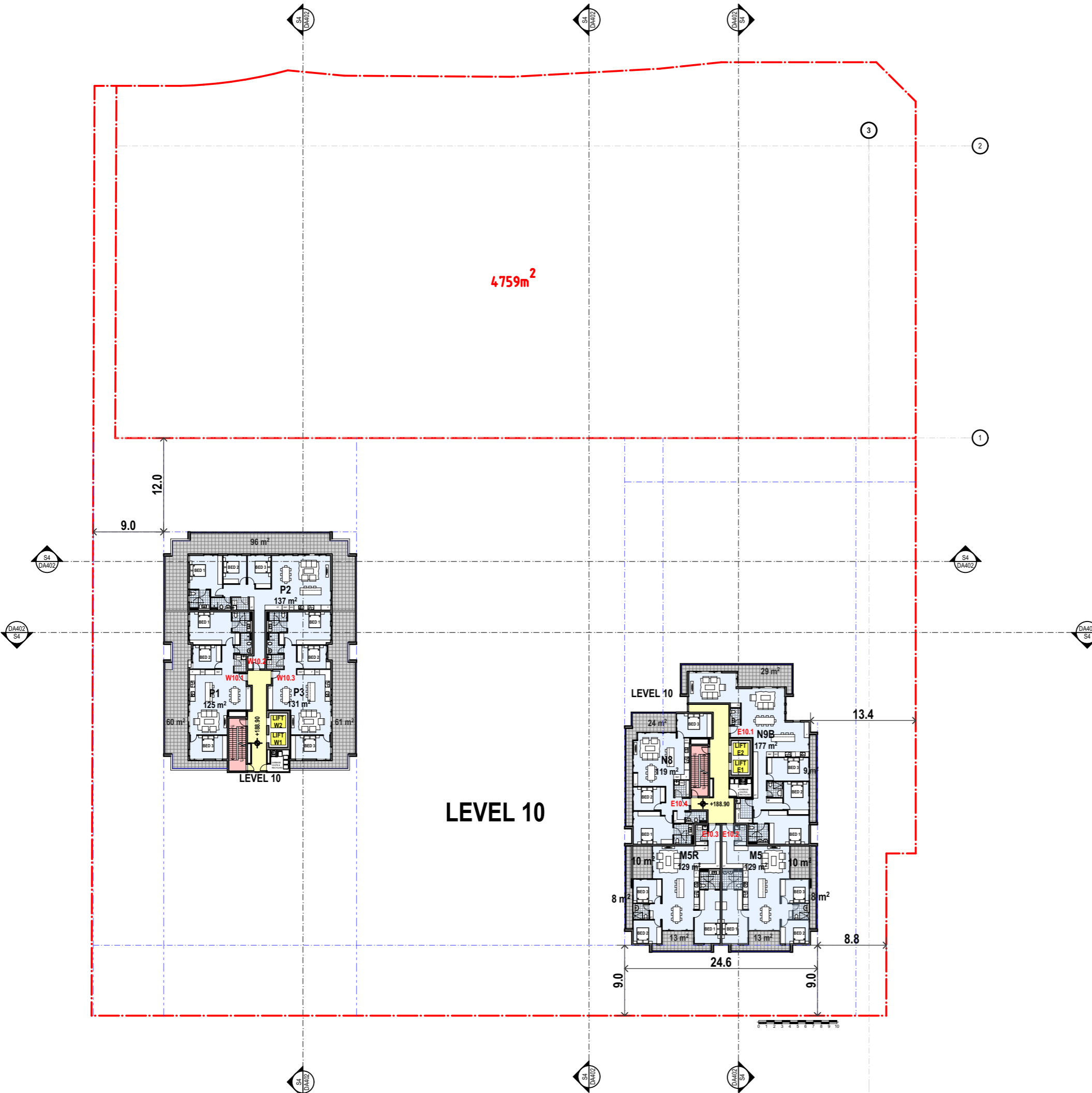
SCALE: AS SHOWN	DRAWING <b>DA212</b>
SUBSET: PLANS	
DRAWN BY: SU/WH/SP	ISSUE <b>A</b>

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)





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LEVEL 10

CROSS VENT: 07  
SOLAR: 07  
No. Of SOUTH UNITS: 0

LEVEL 10



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PROJECT:

**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
5 Skyline Place Frenchs Forest NSW 2086  
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**LEVEL 10 FLOOR PLAN**

**P A STUDIO**

LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: AS SHOWN

DRAWING

**DA213**

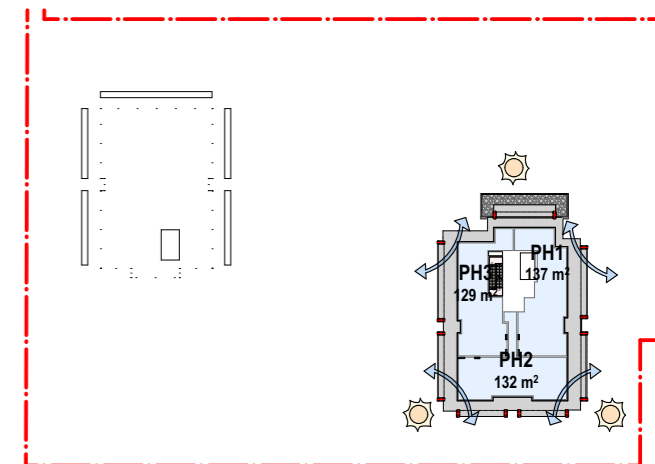
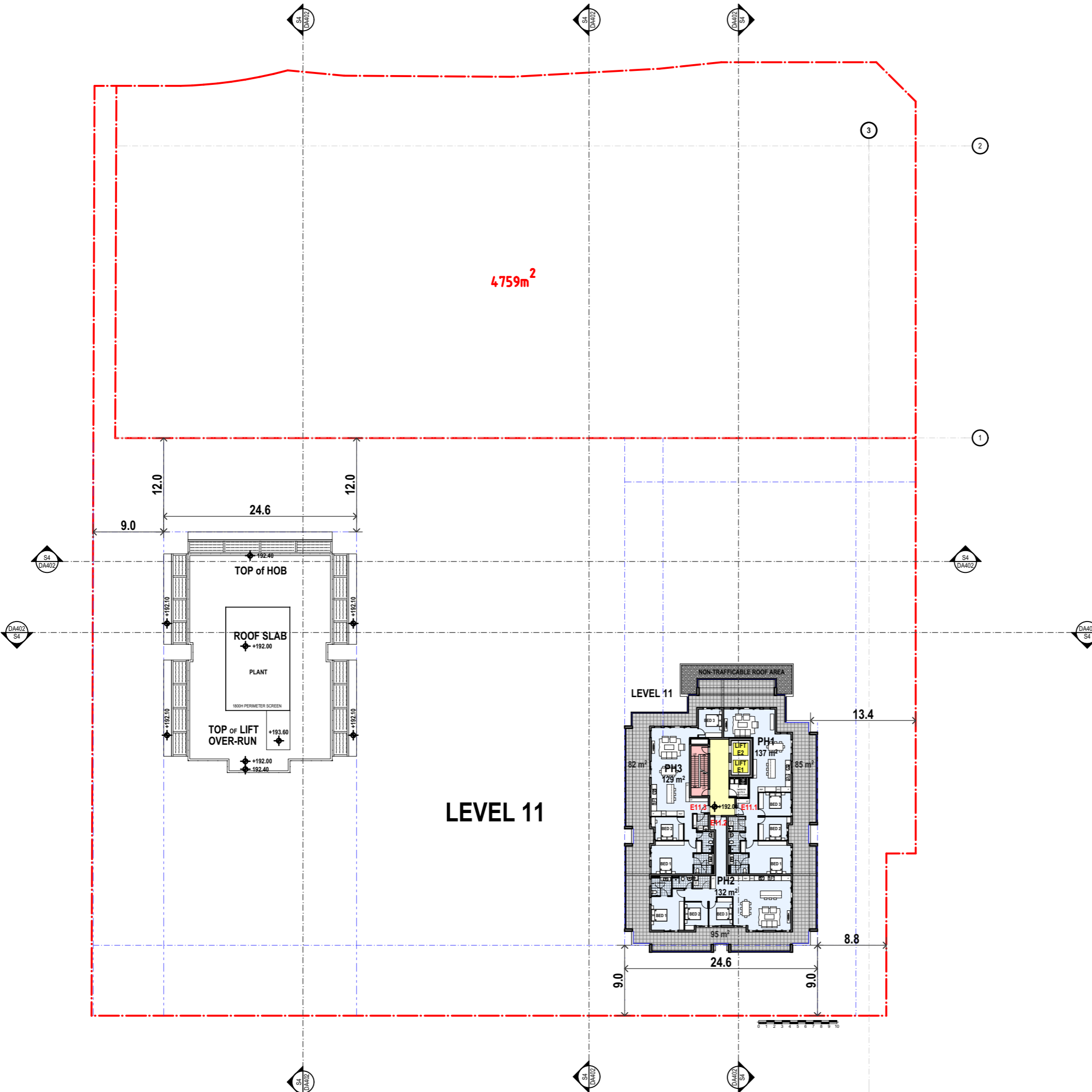
SUBSET: PLANS

ISSUE **A**

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



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**LEVEL 11**  
 CROSS VENT: 03  
 SOLAR: 03  
 No. OF SOUTH UNITS: 0




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**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
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### LEVEL 11 FLOOR PLAN

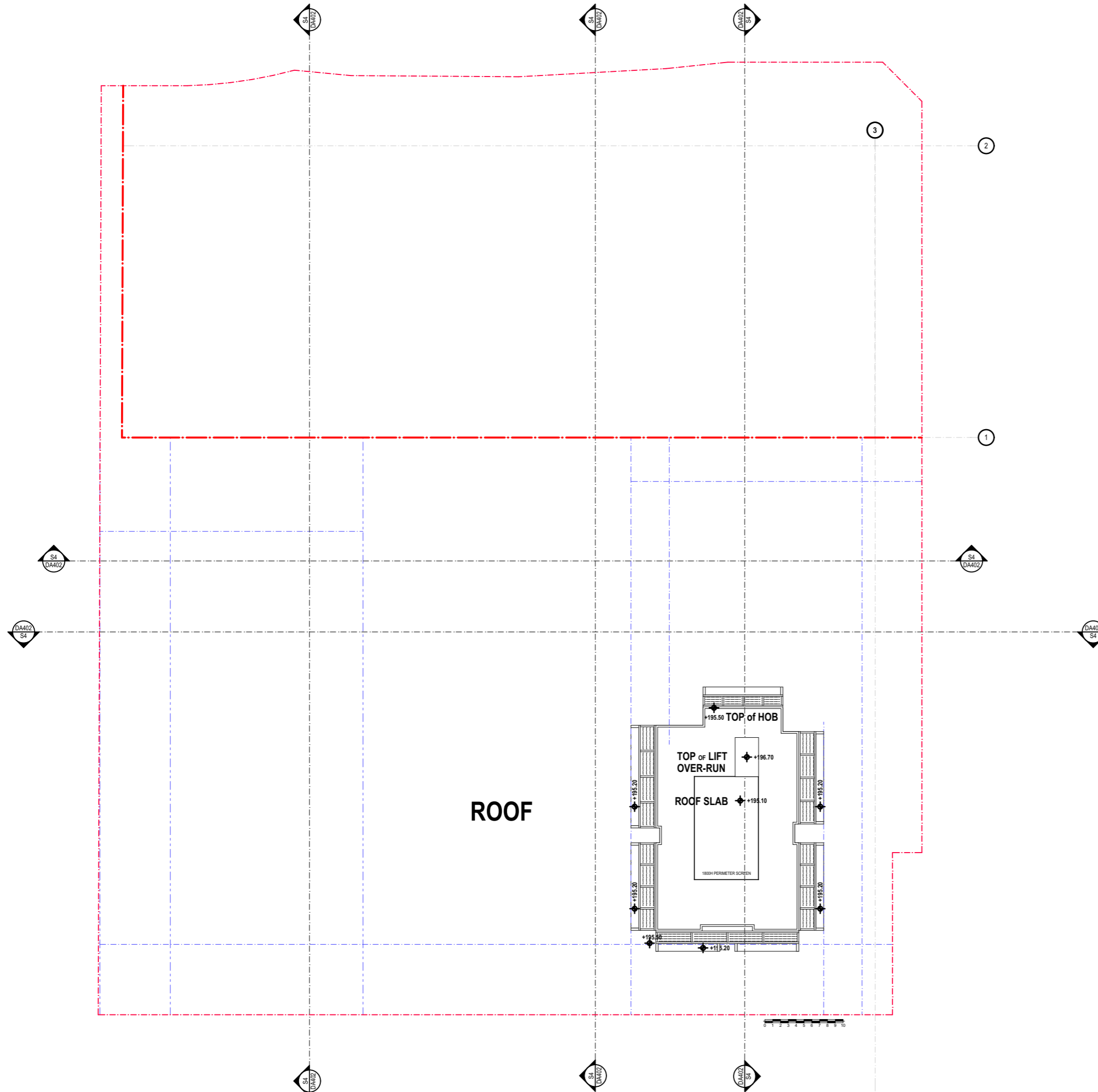
**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: AS SHOWN	DRAWING <b>DA214</b>
SUBSET: PLANS	
DRAWN BY: SU/WH/SP	ISSUE <b>A</b>





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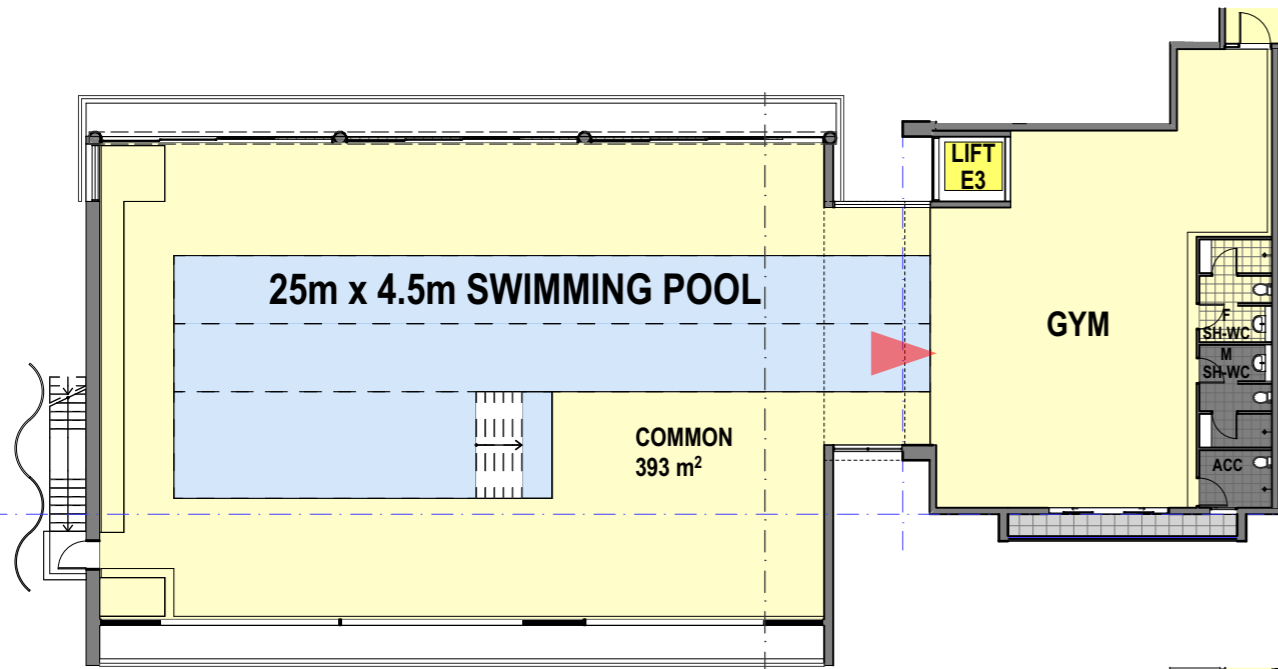
**ROOF PLAN**

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

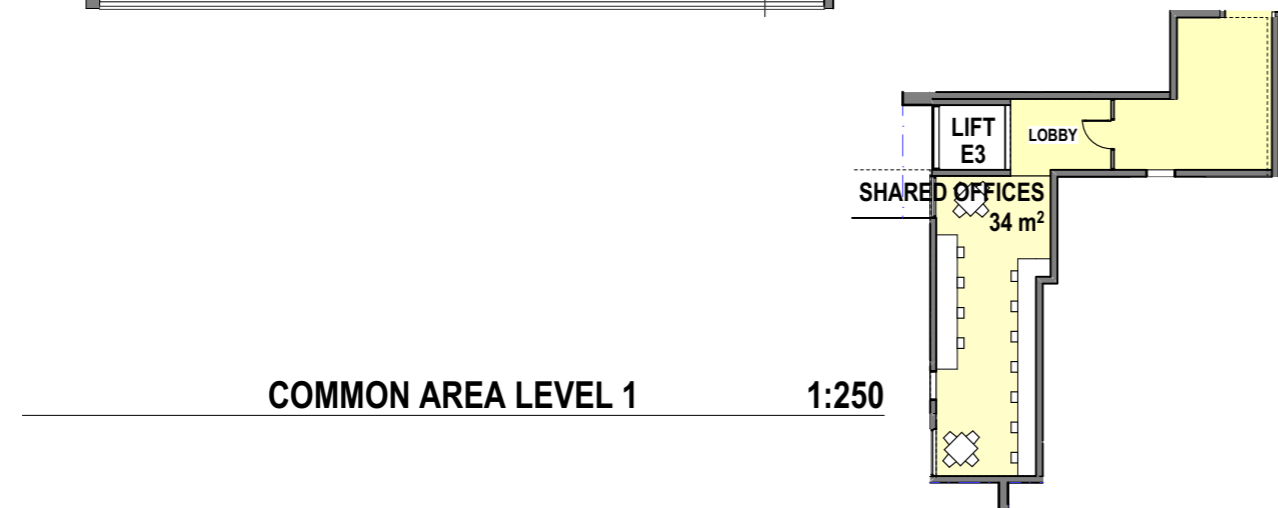
SCALE: AS SHOWN	DRAWING <b>DA215</b> ISSUE <b>A</b>
SUBSET: PLANS	
DRAWN BY: SU/WH/SP	



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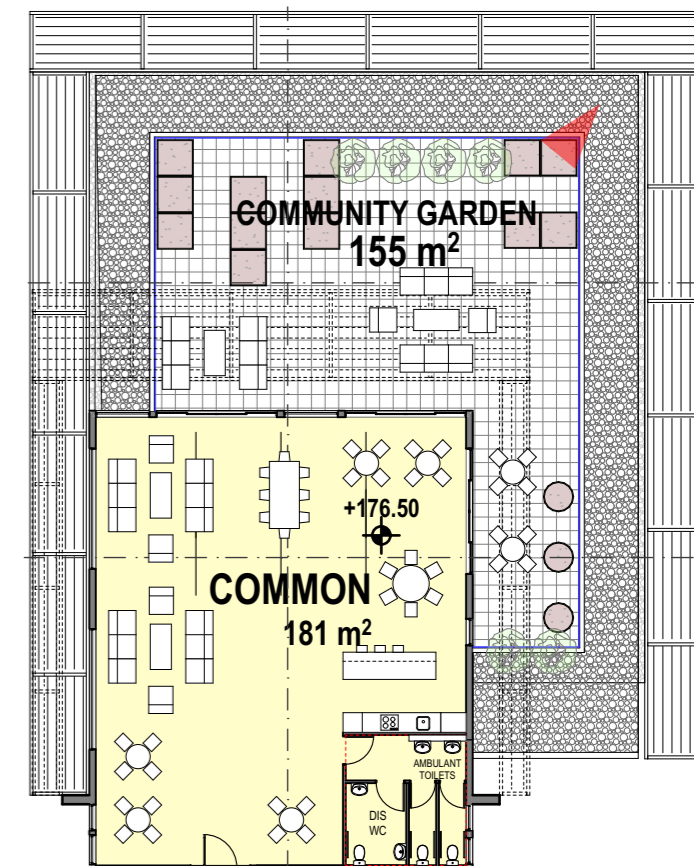
COMMON AREA - POOL - LEVEL 2 1:250



COMMON AREA LEVEL 1 1:250



COMMON AREA LEVEL 6 1:250



COMMON AREA GROUND FLOOR 1:250



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COMMON AREAS

P A STUDIO

LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: AS SHOWN

SUBSET: PLANS

DRAWN BY: SU/WH/SP

DRAWING

DA216

ISSUE A

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)

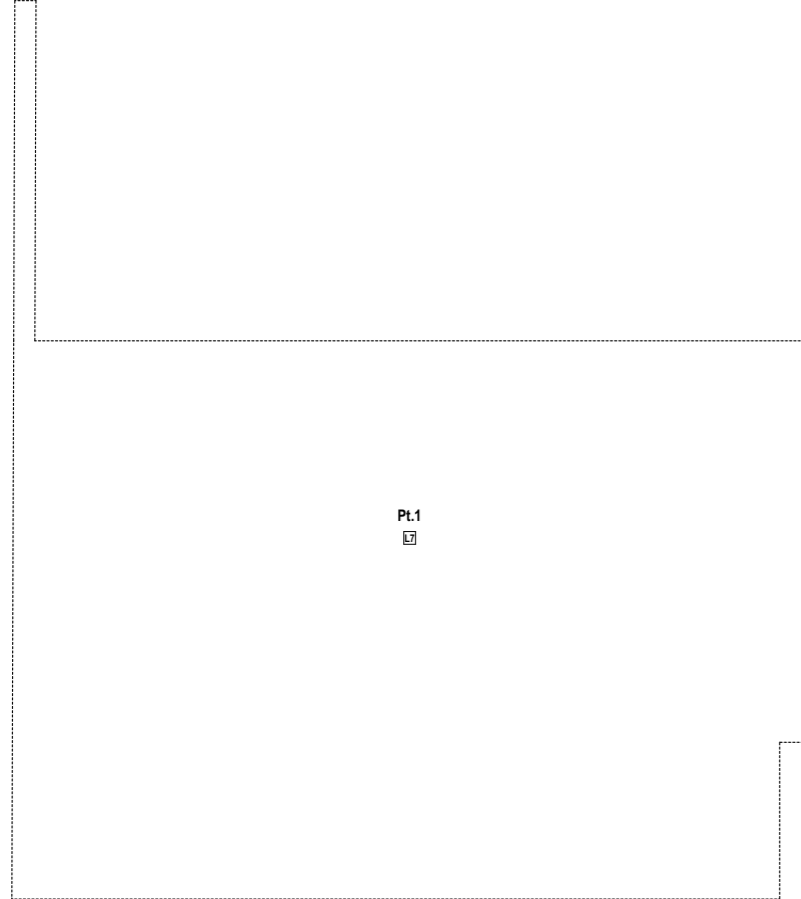




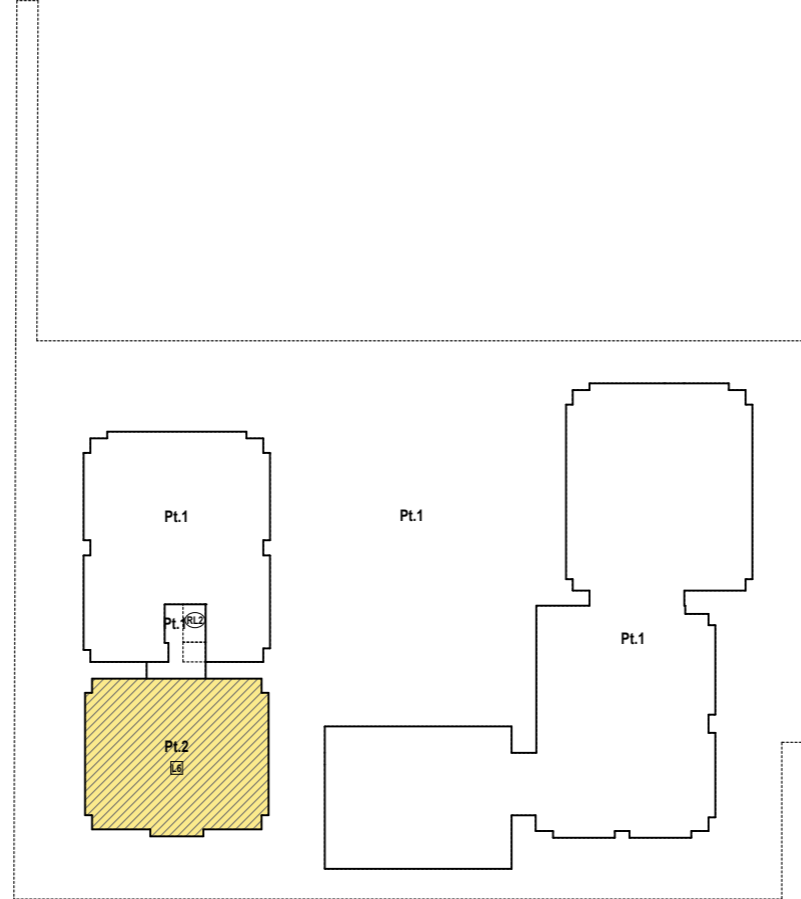


- LOT 1 - RESIDENTIAL
- LOT 2 - AFFORDABLE
- LOT 3 - COMMERCIAL

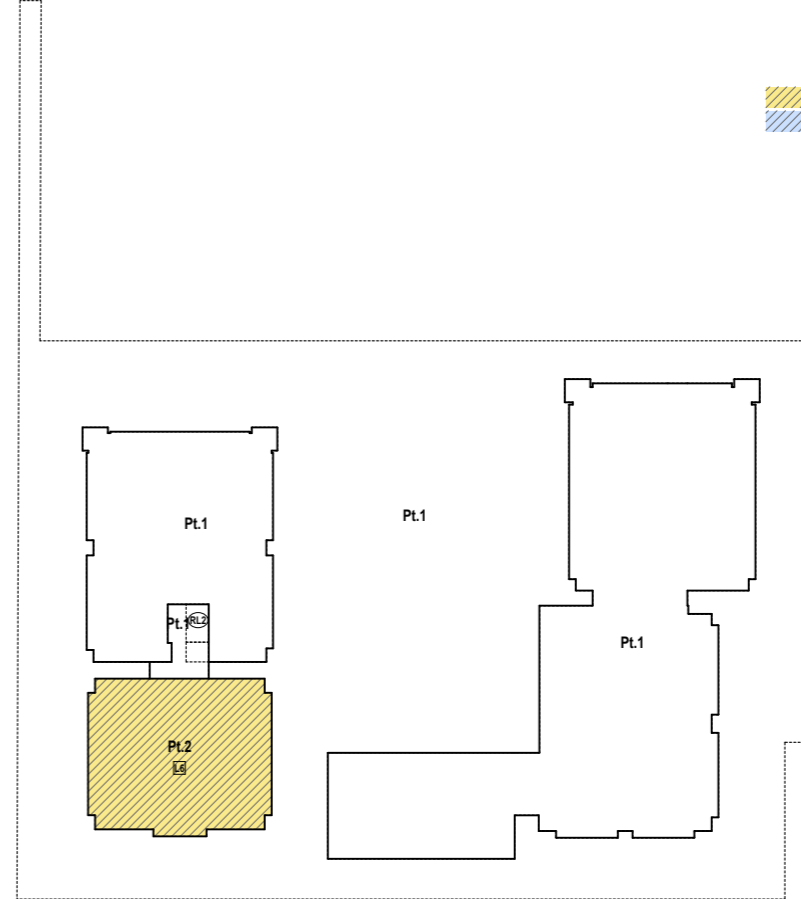
- PROPOSED EASEMENTS TO BENEFIT LOT 1**
- RA4 RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- PROPOSED EASEMENTS TO BENEFIT LOT 2**
- RL1 RIGHT TO USE LIFT LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
  - RA1 RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
  - RA2 RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
  - RA3 RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
  - RVA1 RIGHT TO VEHICLE ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
  - RVA2 RIGHT TO VEHICLE ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- PROPOSED EASEMENTS TO BENEFIT LOT 3**
- RL1 RIGHT TO USE LIFT LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
  - RA1 RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
  - RA2 RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
  - RA3 RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
  - RVA1 RIGHT TO VEHICLE ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
  - RVA2 RIGHT TO VEHICLE ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???



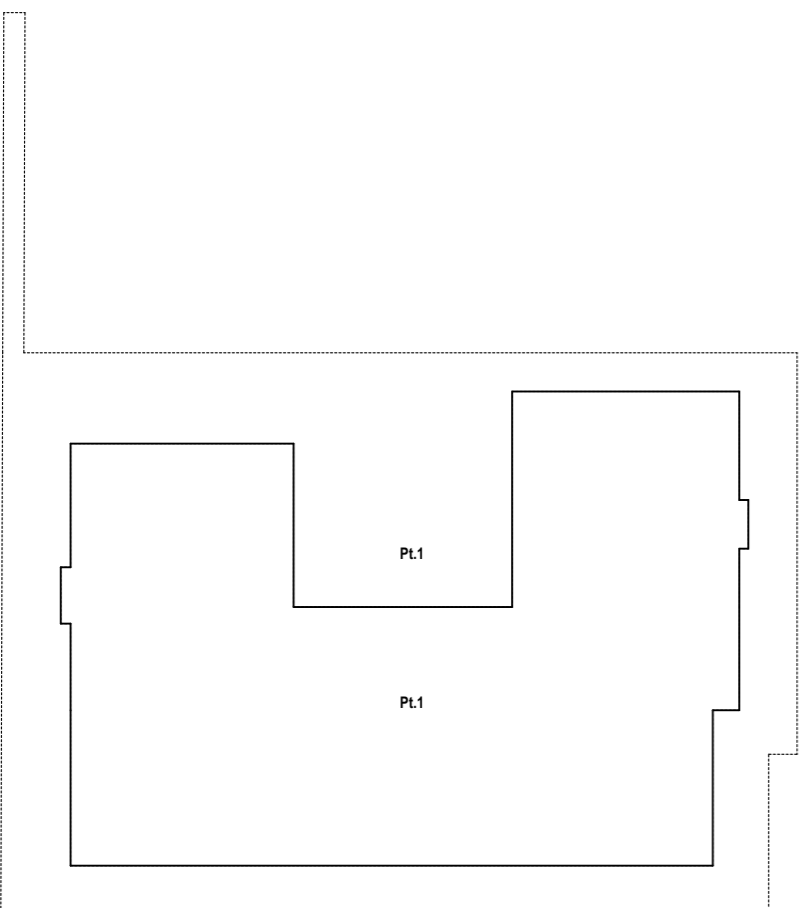
**LEVEL 3**



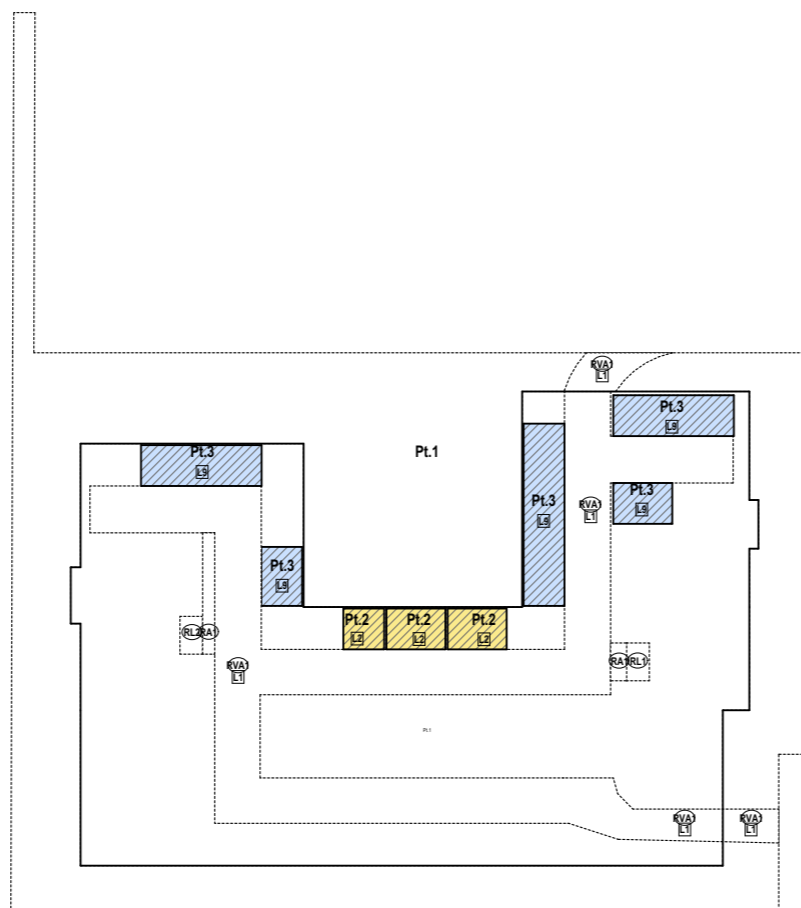
**LEVEL 2**



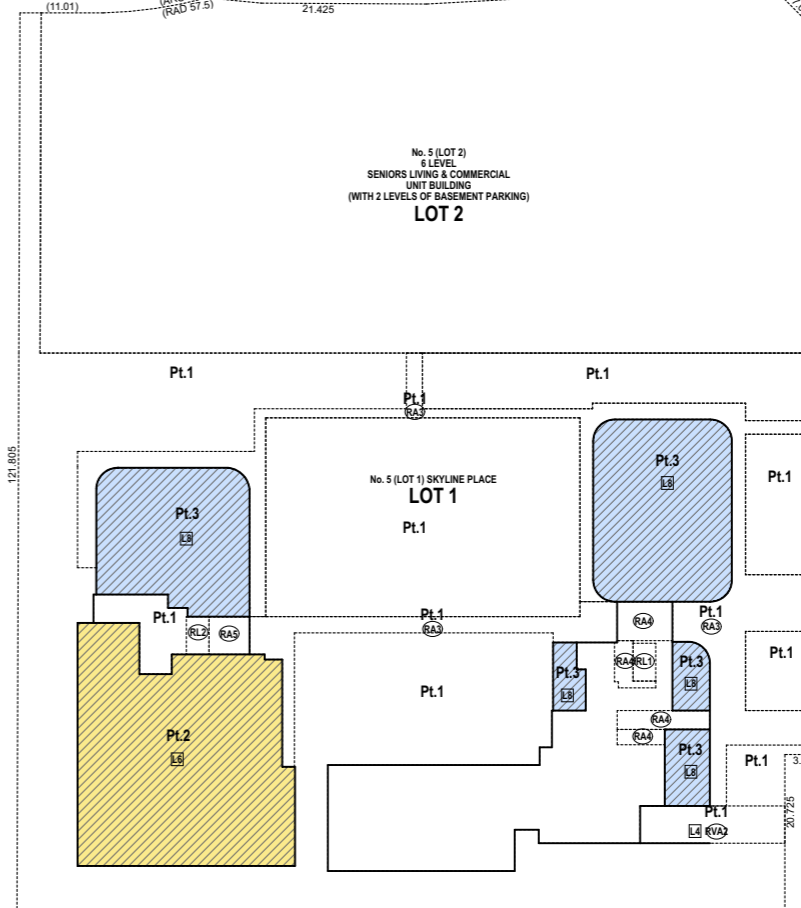
**LEVEL 1**



**LOWER BASEMENT**



**BASEMENT**



**GROUND FLOOR**

**PT LOT 1 IS A STRATUM LOT LIMITED IN HEIGHT AND DEPTH BY LEVELS ON AUSTRALIAN HEIGHT DATUM (A.H.D) AS DENOTED HERE UNDER:**

- L1 LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L3 LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L4 LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L5 LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L7 LIMITED IN DEPTH TO RL ??? AND UNLIMITED IN HEIGHT

**PT LOT 2 IS A STRATUM LOT LIMITED IN HEIGHT AND DEPTH BY LEVELS ON AUSTRALIAN HEIGHT DATUM (A.H.D) AS DENOTED HERE UNDER:**

- L2 LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L6 LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???

**PT LOT 3 IS A STRATUM LOT LIMITED IN HEIGHT AND DEPTH BY LEVELS ON AUSTRALIAN HEIGHT DATUM (A.H.D) AS DENOTED HERE UNDER:**

- L8 LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L9 LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???

LOTS 1, 2 & 3 ARE STRATUM LOTS LIMITED IN HEIGHTS & DEPTH.

ARCHITECTS: PA STUDIO  
LEVEL 2, 20 YOUNG ST, NEUTRAL BAY  
NSW 2089 TEL: 8968 1900 FAX: 8968 1999

THE FOLLOWING NEW EASEMENTS AFFECT THE WHOLE OF LOTS:  
EASEMENT FOR SHELTER AND SUPPORT  
EASEMENT FOR SERVICES  
EASEMENT FOR EMERGENCY EGRESS

**DRAFT STRATUM PLAN**

**LOCATION & LOWER BASEMENT & BASEMENT & GROUND FLOOR & FIRST FLOOR PLANS**

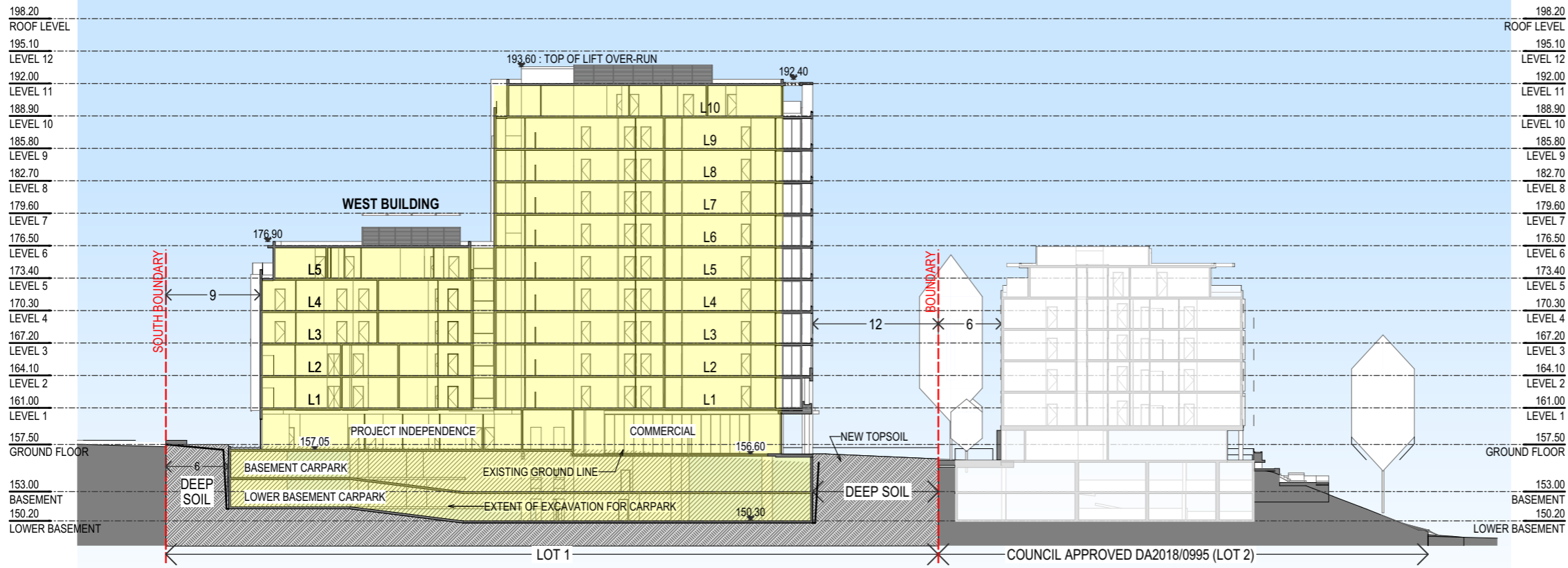
DRAWING  
**DA218**  
ISSUE  
**A**

23-02-21

BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)  
NOTE: LOT LAYOUTS, DIMENSIONS, AREAS & EASEMENTS SUBJECT TO SURVEY

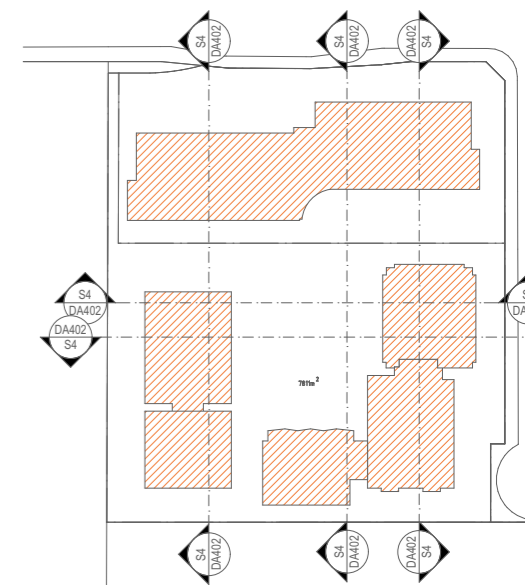


Printed 23-02-2021

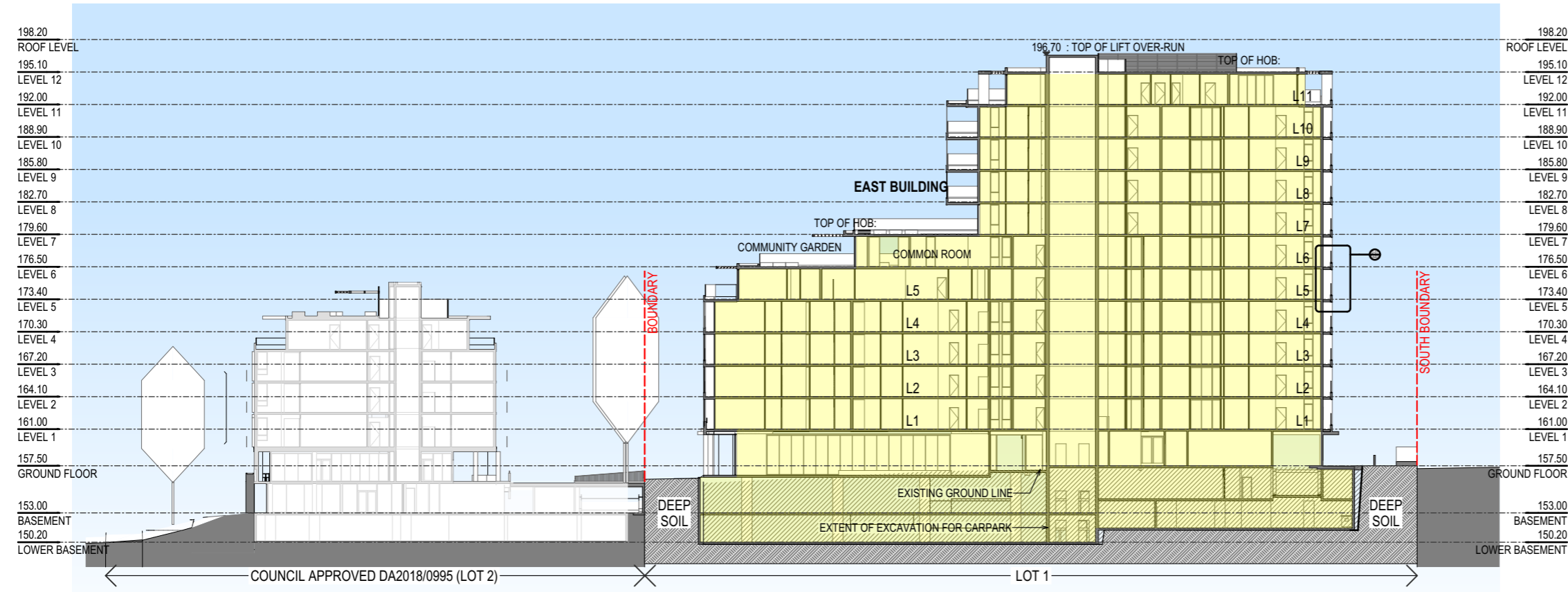


SECTION S1: LOOKING WEST

1:500



KEY PLAN



SECTION S2: LOOKING EAST

1:500



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<b>MIXED USE AND SENIORS LIVING DEVELOPMENT</b>		
5 Skyline Place Frenchs Forest NSW 2086		
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SECTIONS S1 & S2

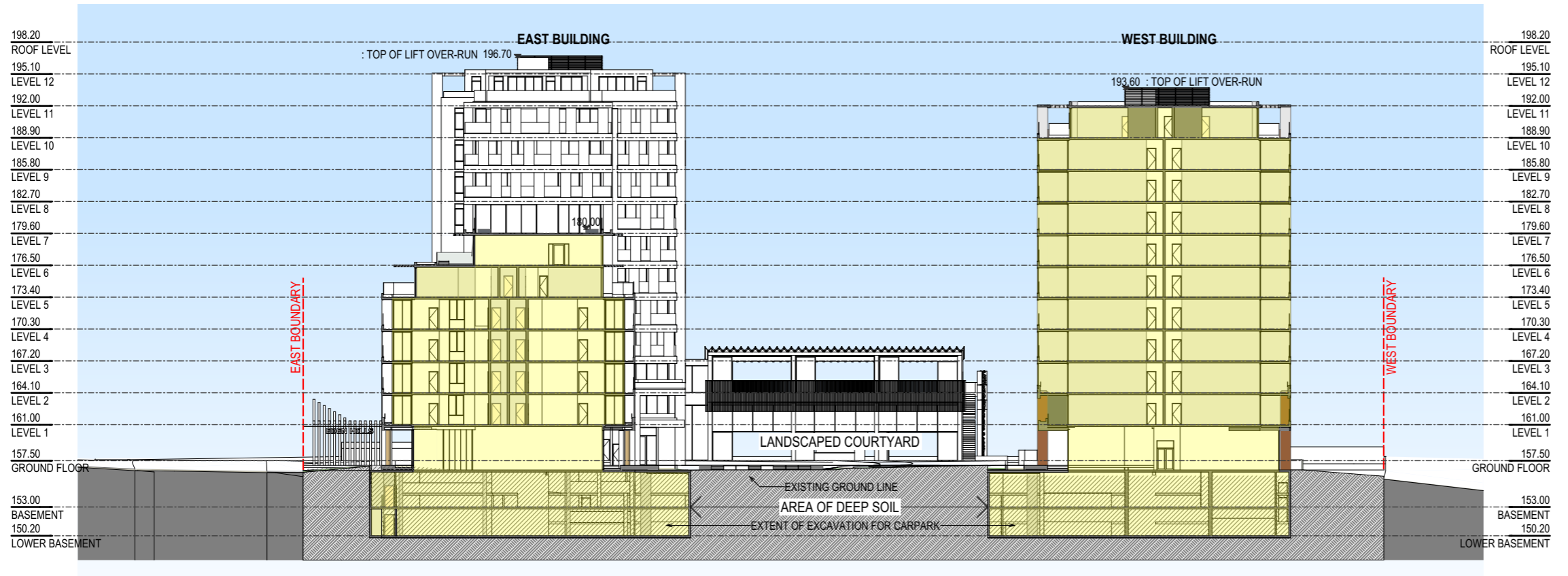
**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	<b>DRAWING</b> <b>DA301</b>
SUBSET:	SECTIONS	
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT 1)

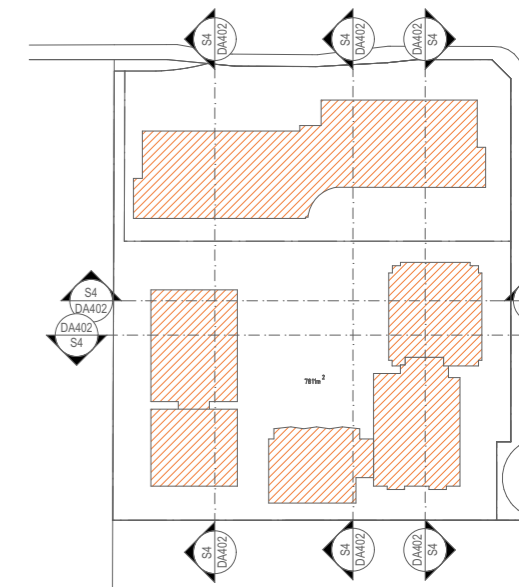


Printed 23-02-2021

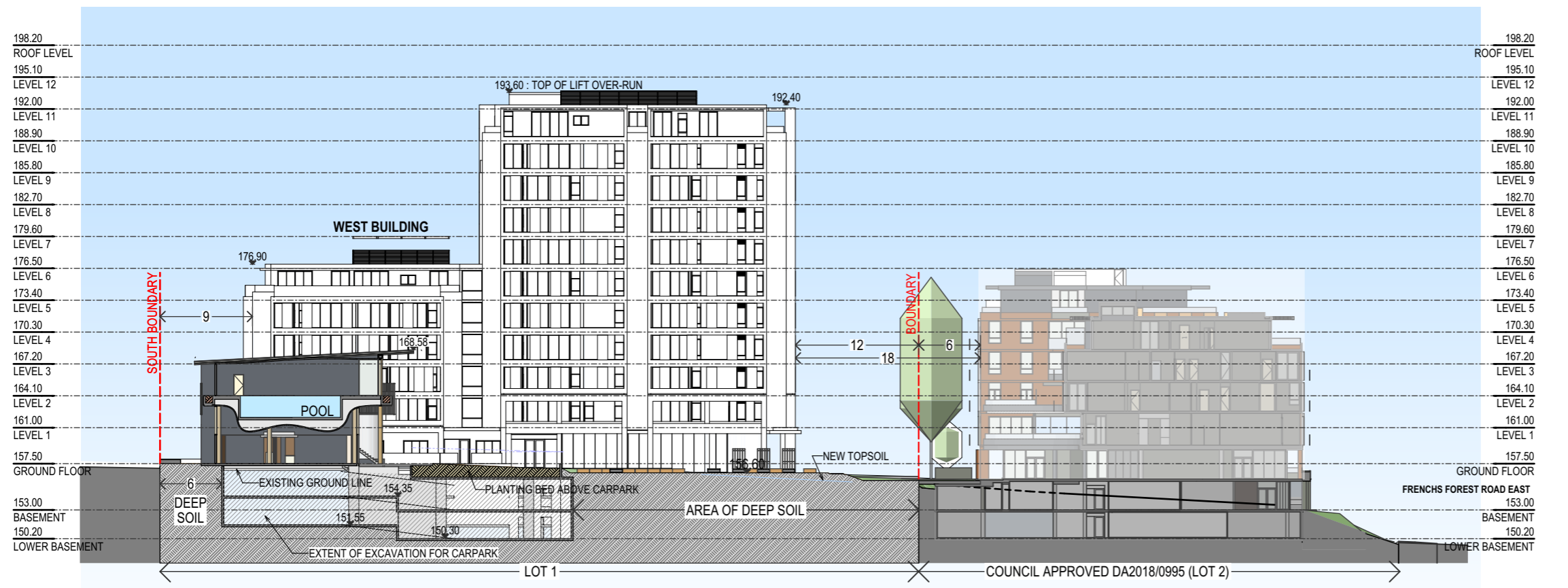


SECTION S3: LOOKING SOUTH

1:500



KEY PLAN



SECTION S4: LOOKING WEST

1:500



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	ISSUE REVISIONS	DATE
PROJECT:		
<b>MIXED USE AND SENIORS LIVING DEVELOPMENT</b>		
5 Skyline Place Frenchs Forest NSW 2086		
SP 49558		

SECTIONS S3 & S4

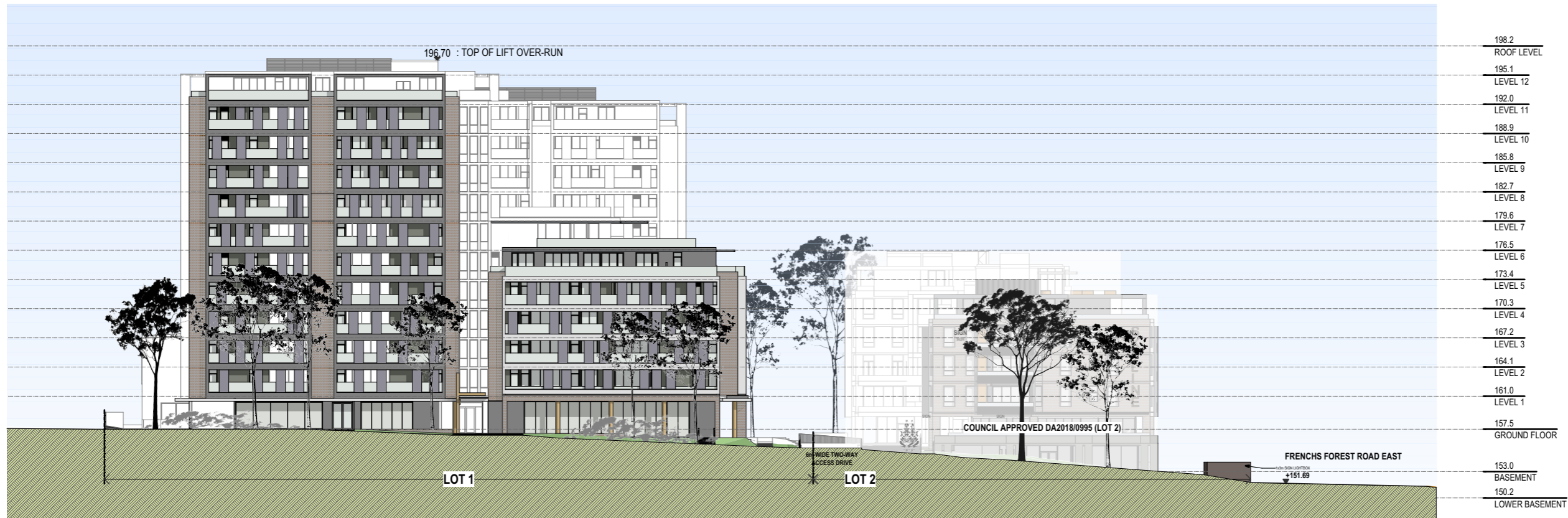
**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA302</b>
SUBSET:	SECTIONS	
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>





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E-02

### EAST ELEVATION CONTEXTUAL

1:500



E-01

### NORTH ELEVATION CONTEXTUAL

1:500

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A	ORIGINAL ISSUE	23.02.21

PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
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### EAST AND NORTH ELEVATIONS

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

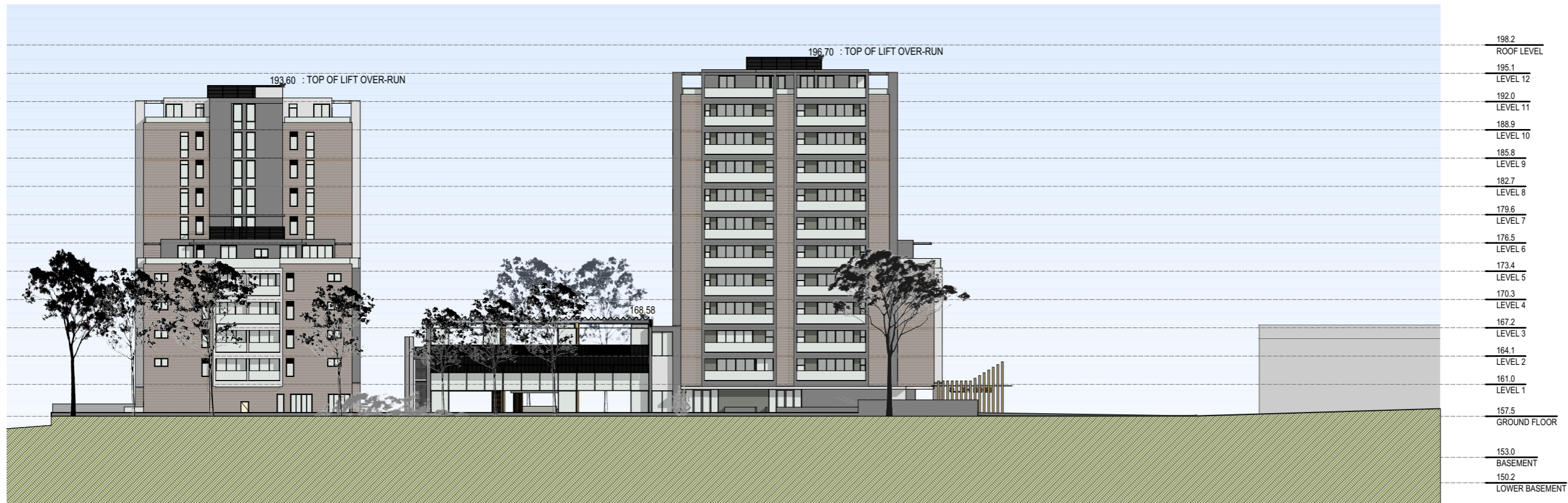
SCALE: AS SHOWN	DRAWING <b>DA401</b>
SUBSET: ELEVATIONS	
DRAWN BY: SU/WH/SP	ISSUE <b>A</b>

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)





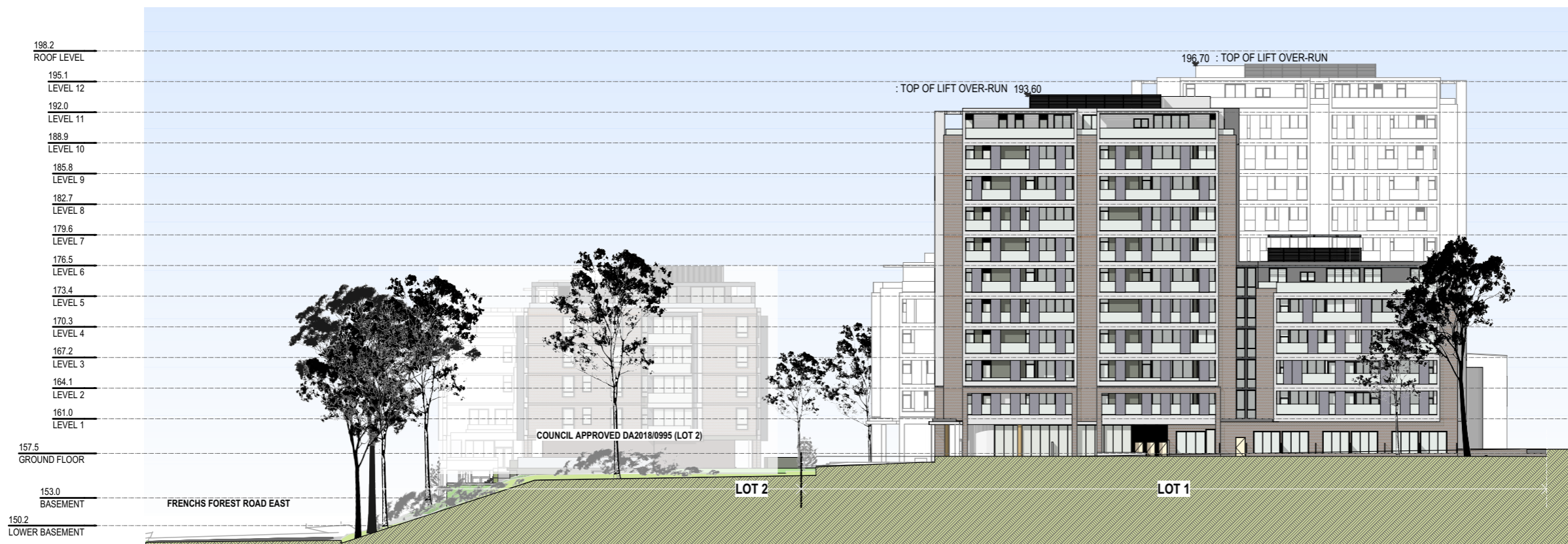
Printed 23-02-2021



E-03

SOUTH ELEVATION CONTEXTUAL

1:500



E-04

WEST ELEVATION CONTEXTUAL

1:500



ISSUE	REVISIONS	DATE
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PROJECT:  
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**SOUTH AND WEST ELEVATIONS**

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: AS SHOWN	DRAWING <b>DA402</b>
SUBSET: ELEVATIONS	
DRAWN BY: SU/WH/SP	ISSUE <b>A</b>

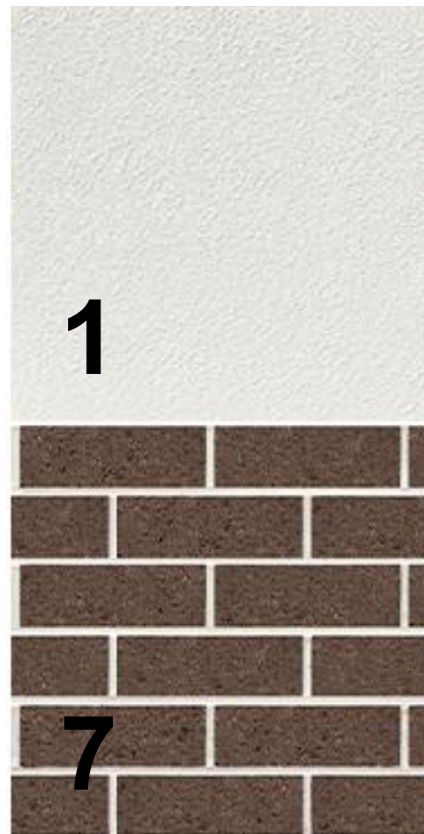
FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)





**NORTHERN BUILDINGS**

Walling and Slab Edges  
Dulux "Terrace White" Render Finish



Walling and Slab Edges  
Dark Brick Masonry

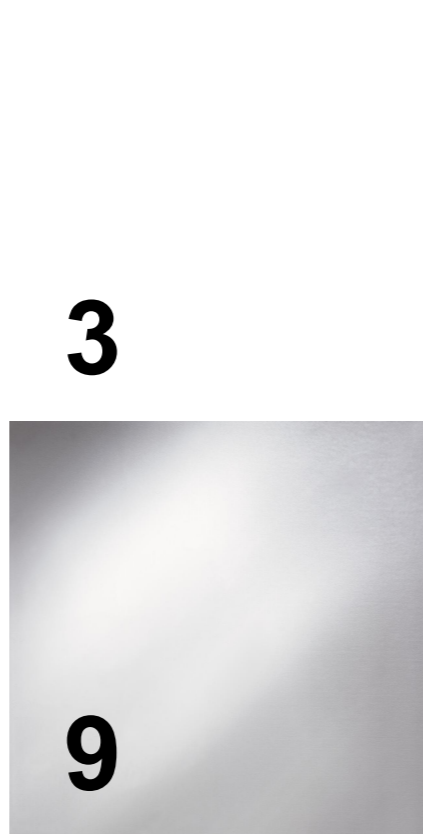
**SOUTHERN BUILDINGS**

Walling and Slab Edges  
Dulux "Malay Grey" Render Finish



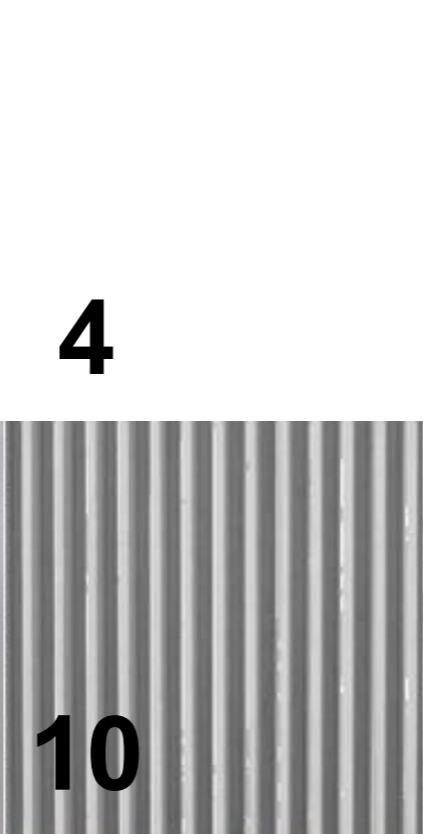
Walling and Slab Edges  
Light Brick Masonry

Anodised Aluminium Flat Bar Railing  
Paint Dulux Monument



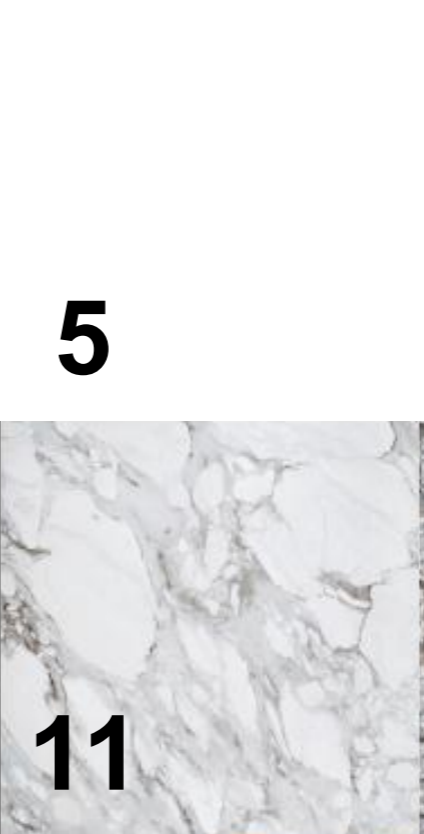
Balustrades  
White Glass Clear

Walling  
Hebel PowerPattern Pre-routed pattern panels



Walling and Slab Edges  
Textured concrete RECKLI 1\_148 Lanzarote

Perforated Aluminium Sunscreens  
Paint Dulux Marais GR 13



External Walls Entrance Area  
White Marble

Aluminium Window Frames & Joinery  
Powdercoat - Colour MONUMENT Aluminium



Outside Paving



**NORTH ELEVATION CONTEXTUAL**

**1:500**




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	ISSUE REVISIONS	DATE

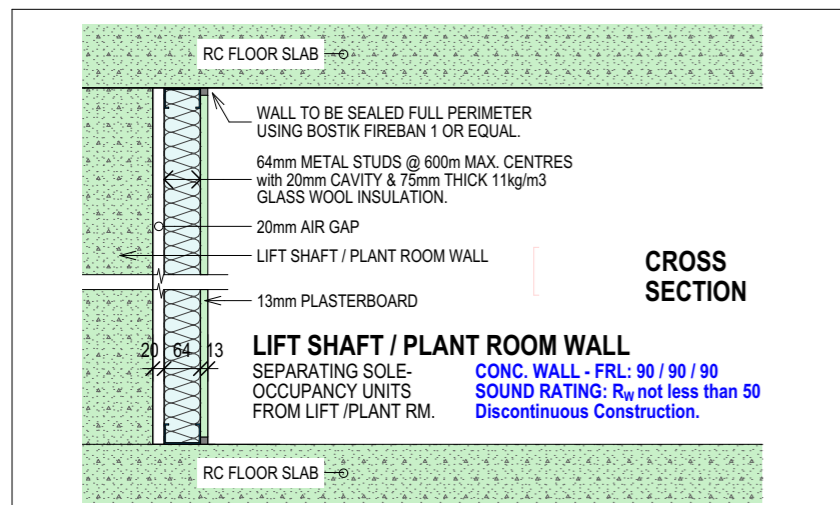
PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
5 Skyline Place Frenchs Forest NSW 2086  
SP 49558

**MATERIALS AND FINISHES**

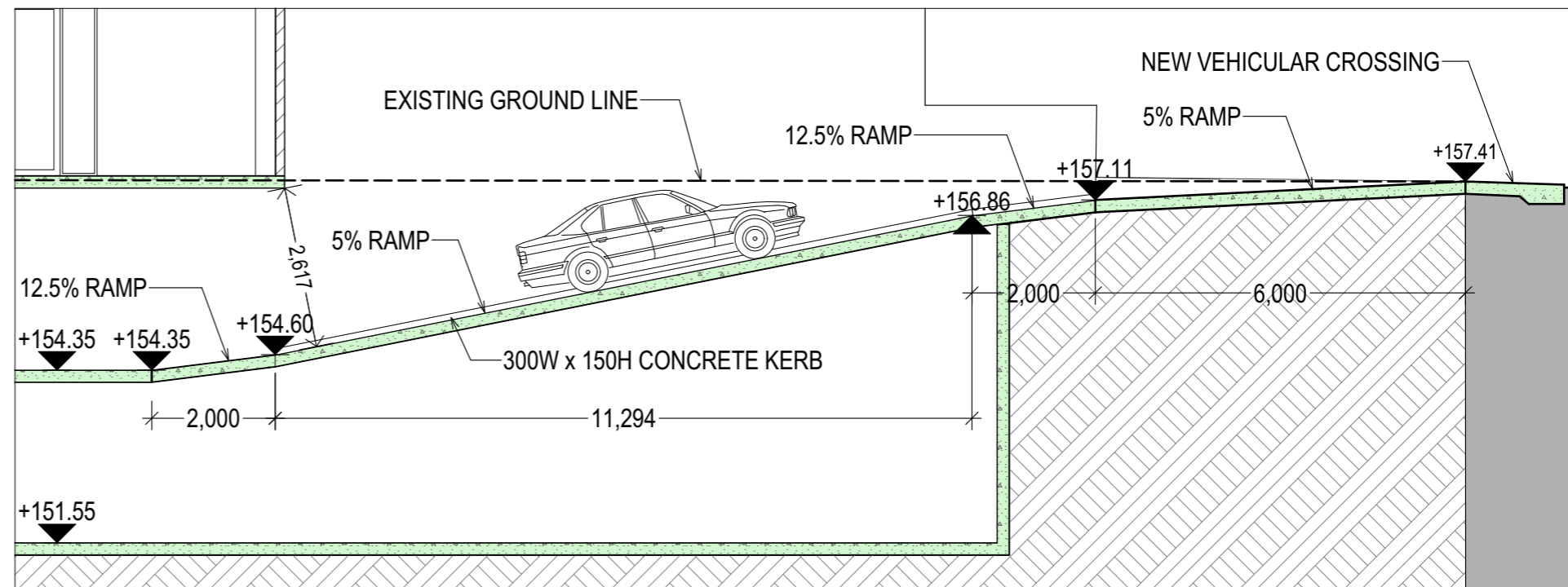
**PA STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: AS SHOWN	<b>DRAWING</b> <b>DA501</b>
SUBSET: MATERIALS & FINISHES	
DRAWN BY: SU/WH/SP	ISSUE <b>A</b>



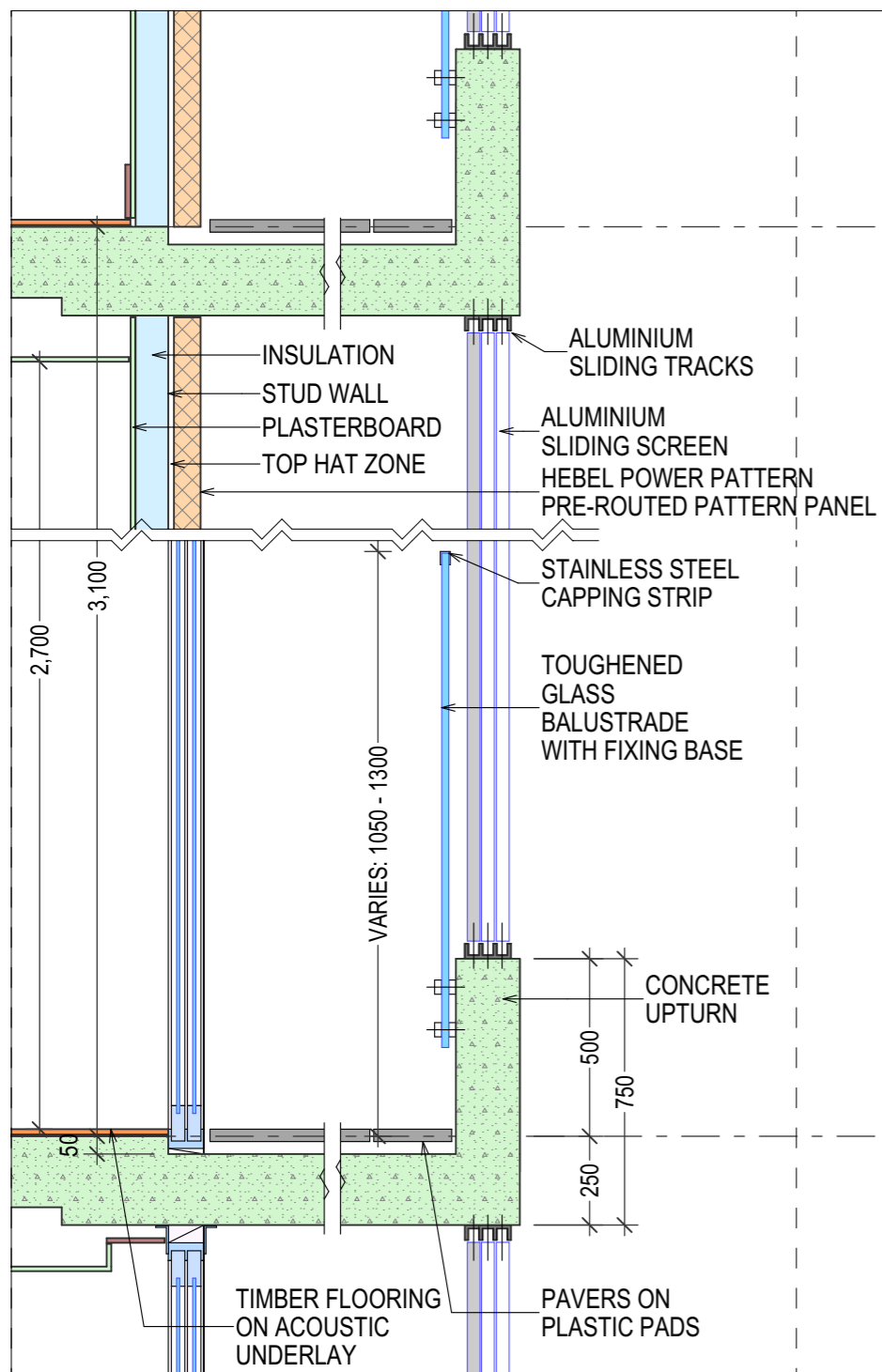


SOUND INSULATION DETAIL: LIFT/PLANT TO HABITABLE ROOM



SECTION THROUGH CARPARK EXIT RAMP

1:100



D-01

BALCONY DETAILS

1:20

Concrete Upturn

- eliminates feelings of vertigo when standing on balcony and
- hides untidy washing and pot plants from street

Balconies and Narrow Balconies to most rooms

- provide sun shading
- provide cover allowing windows and doors to be left open in light rain
- create additional impression of space by extending bedrooms
- allow for pots and landscape in front of most habitable rooms
- allow for convenient relocation and adjustment of sliding screens
- allow access for window cleaning (eliminating requirement for abseil access)

Sliding Screens

- provide shade from western and eastern sun
- will provide 60% shade factor
- when not required to provide shade, can be parked so they do not block aspect and views from within apartments
- are securely top hung to ensure they cannot fall out of tracks

Clear toughened Glass Balustrading

- will be 1.05m high above balcony floor on lower levels
- will be 1.3m high above balcony floor on upper levels (above level 6) to provide screening from wind.



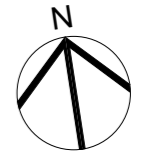
ISSUE	REVISIONS	DATE
A	ORIGINAL ISSUE	23.02.21

PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
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**DETAILS & SECTION THROUGH EXIT RAMP**

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: AS SHOWN	DRAWING
SUBSET: ACCESS RAMPS TO CARPARK	<b>DA601</b>
DRAWN BY: SUJ/WH/SP	ISSUE <b>A</b>



Design Specification - FABRIC:
<p><b>External Walls:</b> A minimum of R2.5 insulation added to Concrete Block Walls to give a Total R-Value of R2.8.</p> <p><b>Walls to Internal Corridors or Non-Conditioned Zones:</b> A minimum of R1.5 insulation added to partition walls between apartments, and corridors or non-conditioned internal zones to give a total R-Value of R1.8.</p> <p><b>Internal Walls to Adjoining Apartment:</b> As the adjoining apartment is considered a conditioned space there is no thermal insulation requirement for this wall. Insulation to this wall shall be as per acoustic requirements.</p>
<p><b>Ceilings:</b> We have assumed floor to ceiling heights as indicated on the architectural drawings received.</p>
<p><b>Roof Type:</b> A minimum of R3.0 insulation to be added to all apartments below roof or where there is an exposed concrete terrace/balcony area above (Total R-value R3.2).</p>
<p><b>Suspended Floor Slabs:</b> Add R1.0 insulation to underside of suspended concrete slabs for enclosed floor levels between conditioned and internal non-conditioned spaces (i.e. non-conditioned lobbies/store rooms below).</p>
<p><b>Floor Coverings</b> The following design specifications have been included within the NatHERS Assessments:</p> <ul style="list-style-type: none"> <li>Carpet to all bedrooms</li> <li>Timber floor boards to the living spaces; and</li> <li>Ceramic tiles to the bathrooms/wet areas.</li> </ul>
<p><b>Windows and Glazed Doors (Fixed and/or Operable):</b> The glazing specification of <b>U-Value of 4.42 W/m<sup>2</sup>.K and an SHGC of 0.59 (Single Glazed Low-E, Clear)</b> is required by the following apartments: 4.09 and 5.04 The remaining apartments require the glazing specification of <b>U-Value of 6.07 W/m<sup>2</sup>.K and an SHGC of 0.65 (Single Glazed, 6mm Clear)</b> All windows have been specified with weather-strips to prevent air infiltration when closed. This is standard compliance with AS2047. <b>Note:</b> <i>The thermal performance values for all windows detailed above are for glass and framing system combined.</i></p>

Design Specification - WATER:
<p><b>Alternative Water Supply</b> A rainwater tank of minimum 5000L capacity is required for irrigation to landscaping areas only. For stormwater requirements, please refer to the Civil Engineer's detailed specifications.</p>
<p><b>Fixtures &amp; Fittings:</b> We note that fixtures with the following WELS ratings have been included in the BASIX Assessment: <b>Common Areas (as applicable) &amp; all dwellings:</b> 3 Star WELS rated Showerheads (&gt;4.5 but&lt;= 6 l/min) 4 Star WELS Toilets 6 Star WELS Kitchen taps 6 Star WELS Bathroom taps Dishwasher – Minimum 5 Star WELS rating required We note a reduction in the quality of these appliances will affect the water aspect of the BASIX rating.</p>

Design Specification - ENERGY:
<p><b>Air Leakage</b> Kitchen Exhaust will be via a ducted range-hood to the external façade or roof. All bathrooms and ensuites exhaust to be via a ducted exhaust fan to external façade or roof. Back-draft dampers must be installed to prevent air infiltration.</p>
<p><b>Hot Water System</b> A centralised hot water system (gas instantaneous) has been specified within the BASIX Certificate. Domestic Hot Water pipework is required to have minimum R0.6 insulation. It should be noted that a less efficient hot water system will affect the rating of the BASIX Energy Target.</p>
<p><b>Mechanical Ventilation Systems:</b> <b>Common Areas:</b> Car park – Mechanical Supply &amp; Exhaust with carbon monoxide monitor + VSD fan Garbage Rooms – Ventilation Exhaust Only Corridors /Fire Stairs/Storage – No mechanical ventilation</p>
<p><b>Dwelling Air-Conditioning Systems:</b> Reverse cycle air-conditioning (Single Phase) for all dwellings (living zones). Individual systems to 3-bedroom apartments. Minimum EER ratings – Cooling 3.0-3.5, Heating 3.0-3.5</p>
<p><b>Lighting:</b> <b>Common Areas:</b> Compact Fluorescent or LED lighting with motion sensor and/or time-clock control. <b>Dwellings:</b></p>

Design Specification - ENERGY:
<p>Dedicated fluorescent or LED Lamps.</p>
<p><b>Appliance Specifications:</b> The following minimum energy performance specifications have been included within the BASIX assessment: <b>Energy Star Ratings:</b> Gas cooktop and electric ovens to all dwellings. Dishwasher – not specified Clothes Dryer – not specified Clothes Washer – not specified <i>Compliance Note: A reduction in the quality of any of these appliances will affect the energy aspect of the BASIX rating. Client to confirm which appliances are to be included within base-building design.</i></p>




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PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
5 Skyline Place Frenchs Forest NSW 2086  
SP 49558

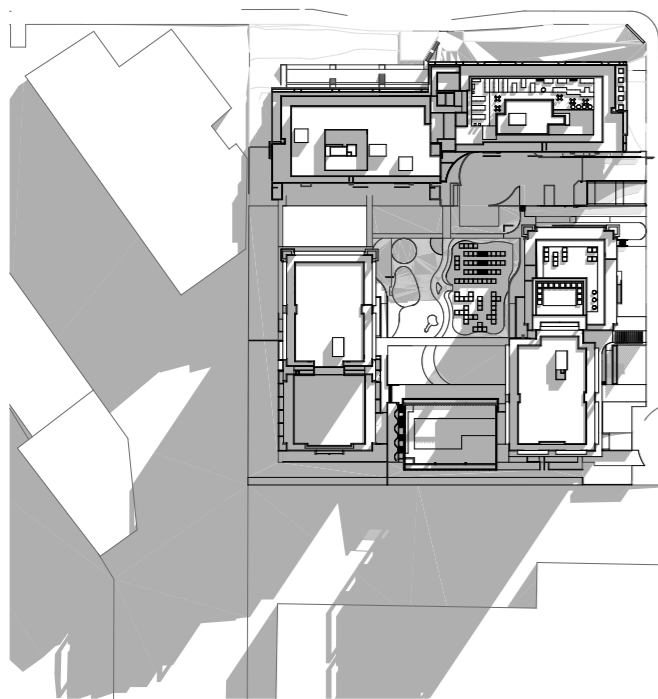
**BASIX COMMITMENTS**

**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

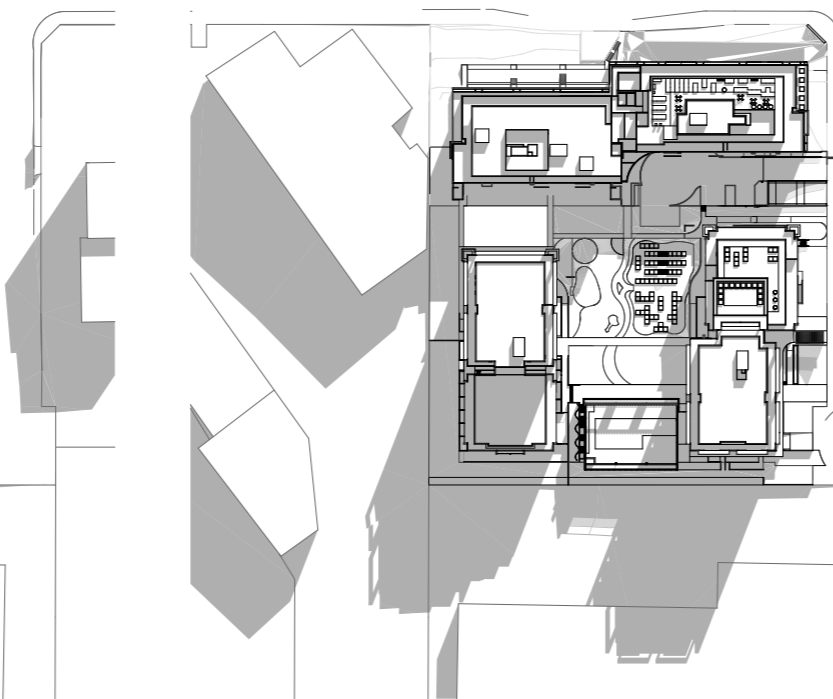
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SUBSET: BASIX COMMITMENTS	
DRAWN BY: SU/WH/SP	ISSUE <b>A</b>



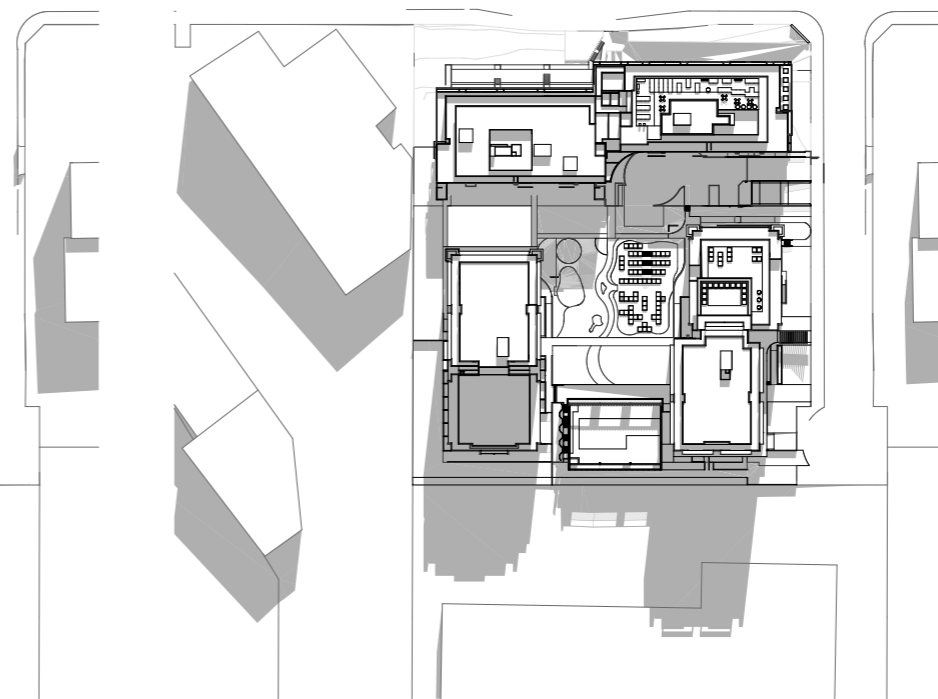
Printed 23-02-2021



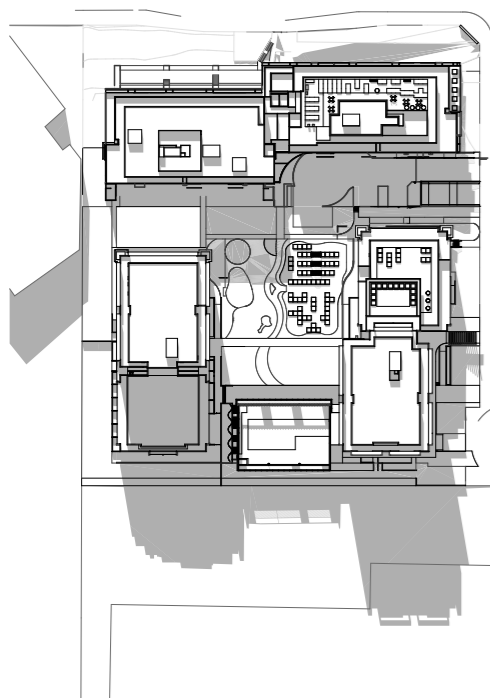
JUNE21 9AM - LOT1 1:2000



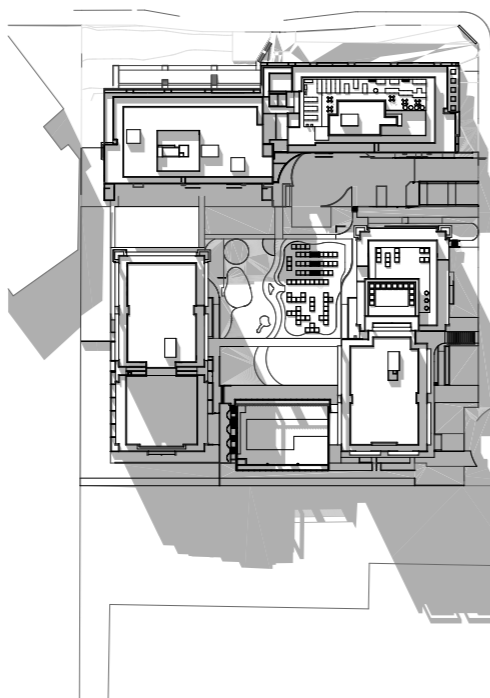
JUNE21 10AM - LOT1 1:2000



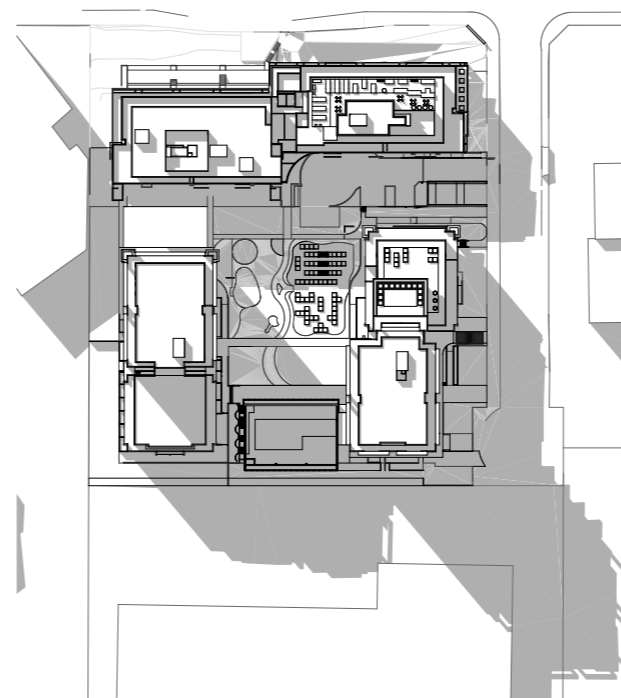
JUNE21 11AM - LOT1 1:2000



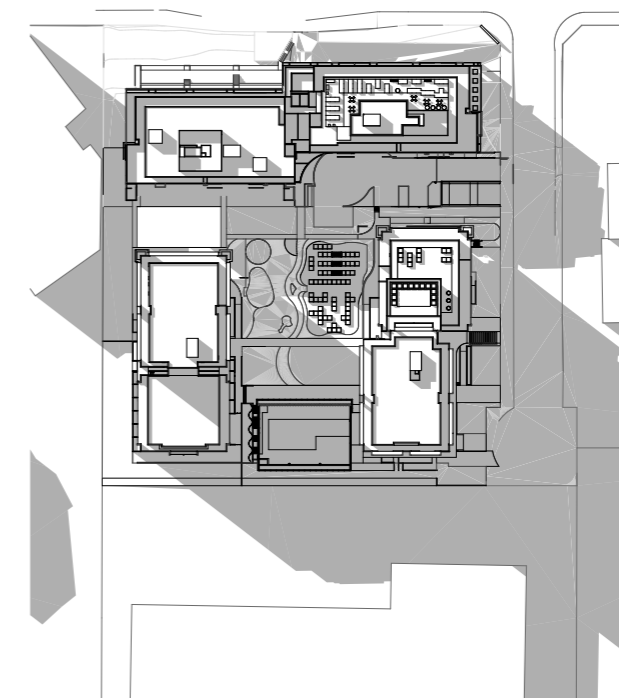
JUNE21 12PM - LOT1 1:2000



JUNE21 1PM - LOT1 1:2000



JUNE21 2PM - LOT1 1:2000



JUNE21 3PM - LOT1 1:2000



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**SHADOW DIAGRAMS -  
 JUNE 21 - MID WINTER**

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

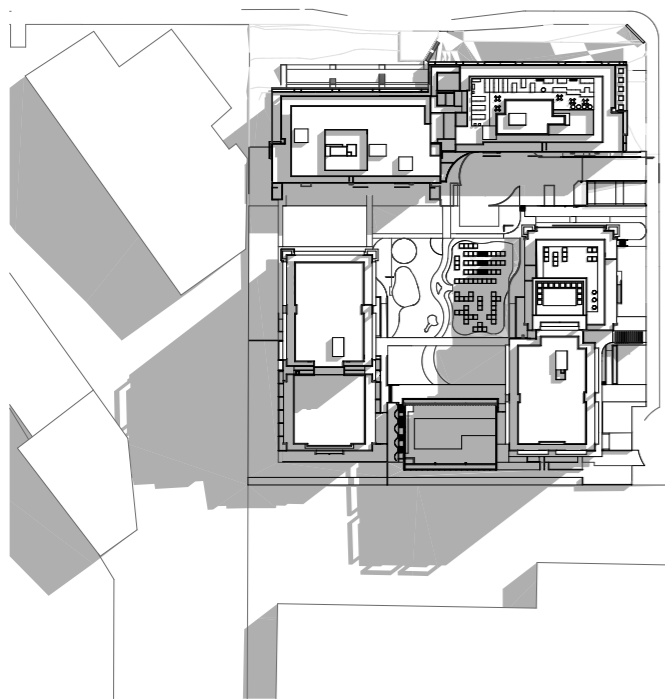
SCALE: SHADOW DIAGRAMS & VIEWS FROM THE SUN	DRAWING <b>DA801</b>
SUBSET: SUN	ISSUE <b>A</b>
DRAWN BY: SU/WH/SP	

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)

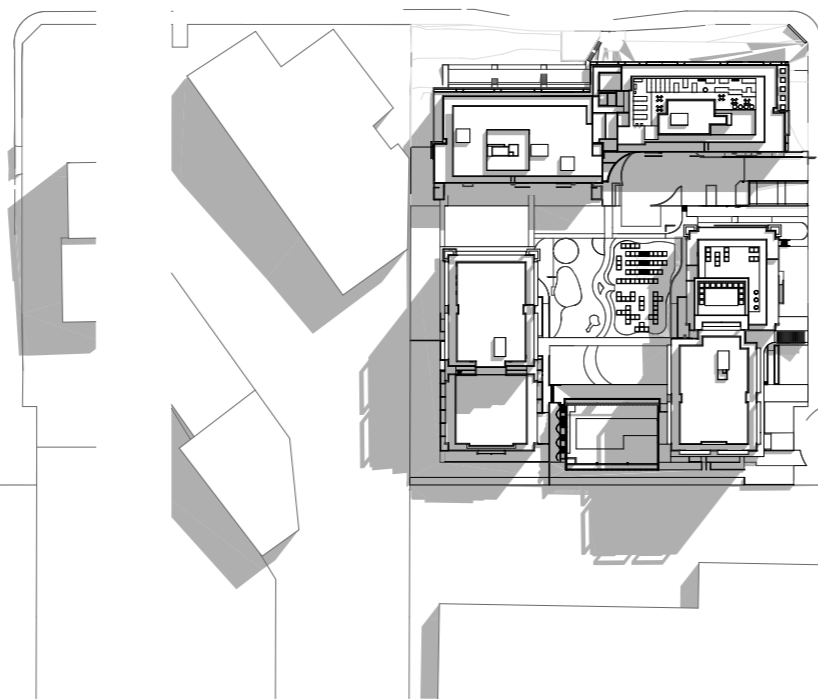




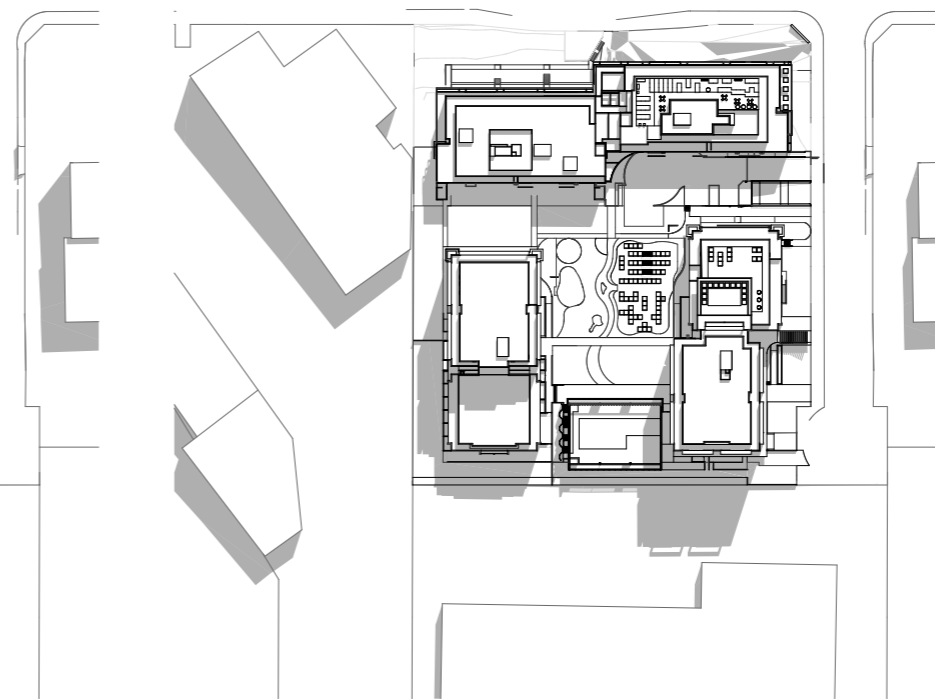
Printed 23-02-2021



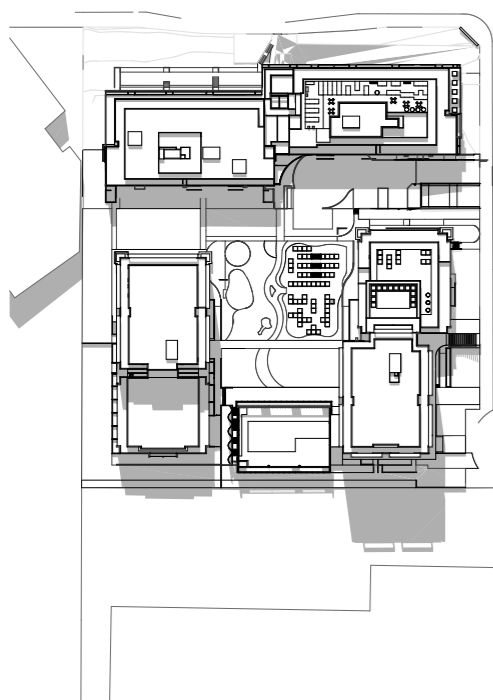
MAR21 9AM - LOT1 1:2000



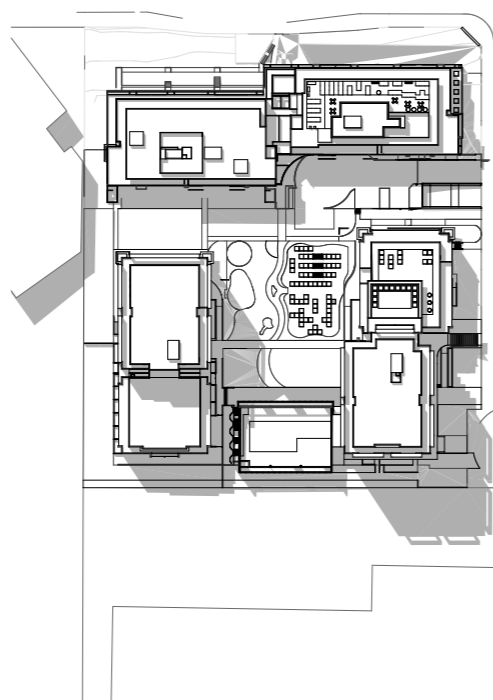
MAR21 10AM - LOT1 1:2000



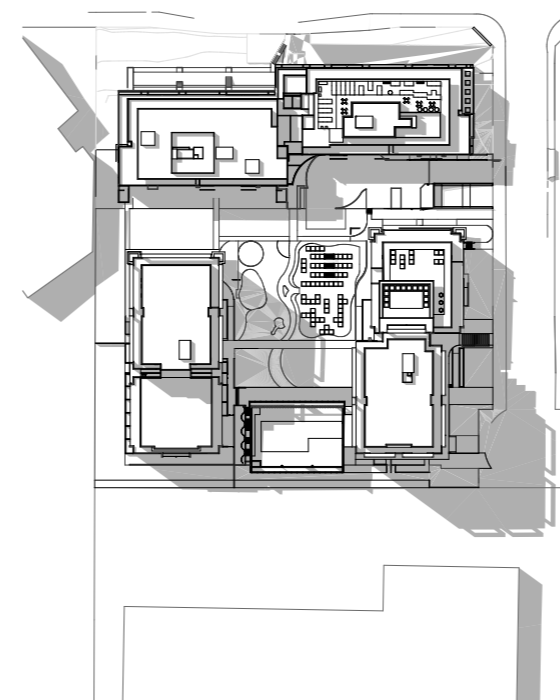
MAR21 11AM - LOT1 1:2000



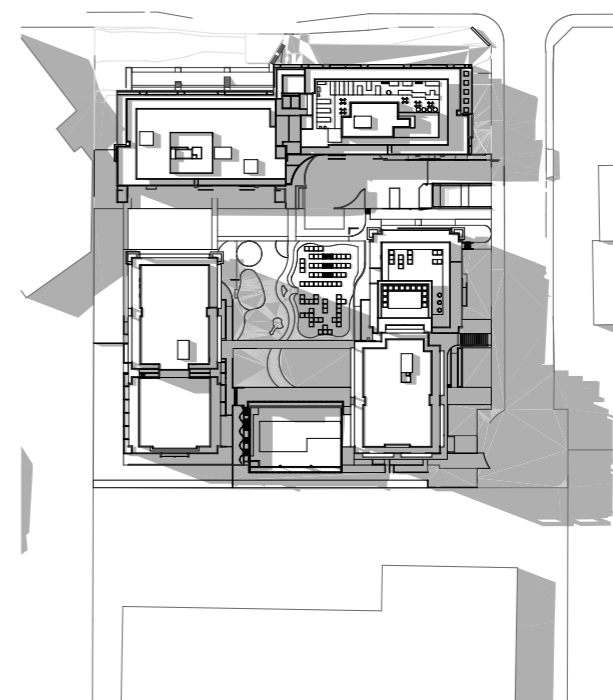
MAR21 12PM - LOT1 1:2000



MAR21 1PM - LOT1 1:2000



MAR21 2PM - LOT1 1:2000



MAR21 3PM - LOT1 1:2000



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**SHADOW DIAGRAMS -  
 MARCH 21 - EQUINOX**

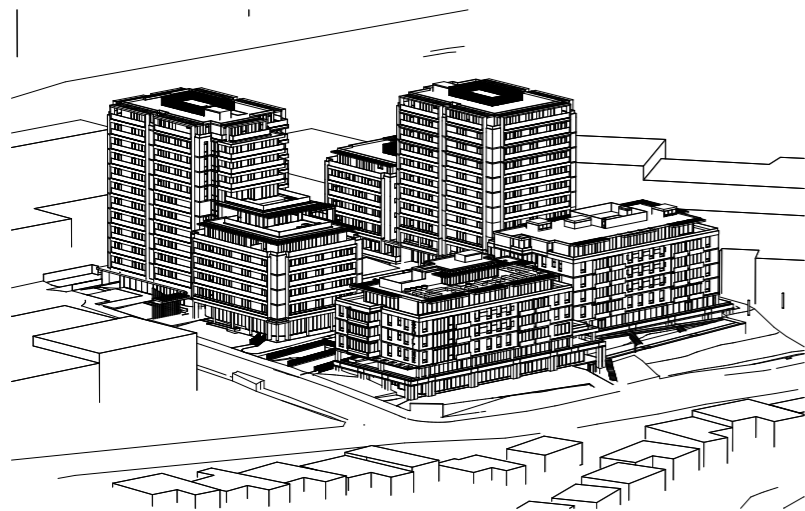
**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: SHADOW DIAGRAMS & VIEWS FROM THE SUN	DRAWING <b>DA802</b>
SUBSET: SUN	ISSUE <b>A</b>
DRAWN BY: SU/WH/SP	

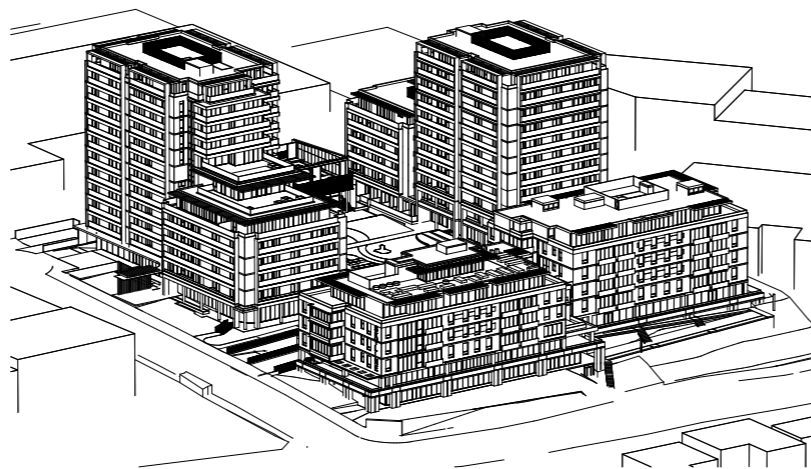
FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



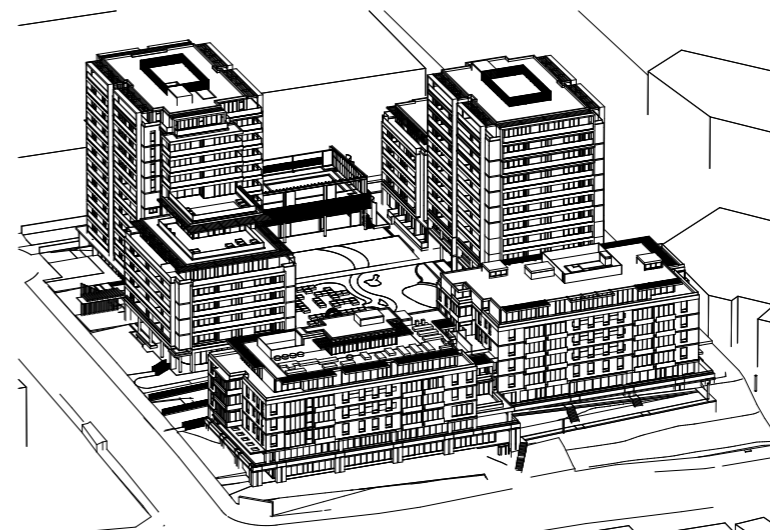
Printed 23-02-2021



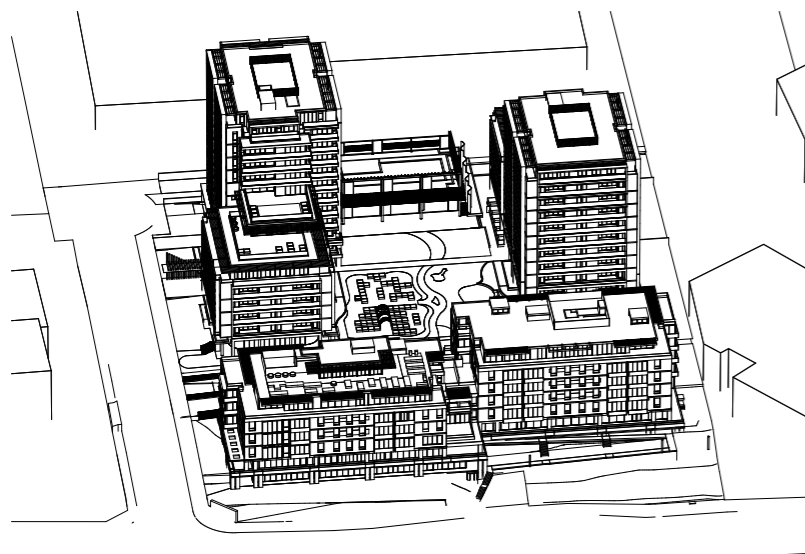
9:00AM 21ST JUNE



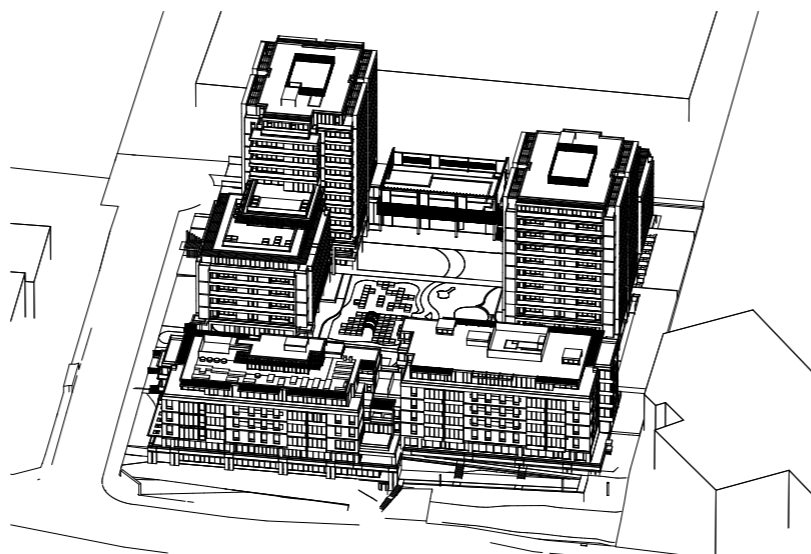
10:00AM 21ST JUNE



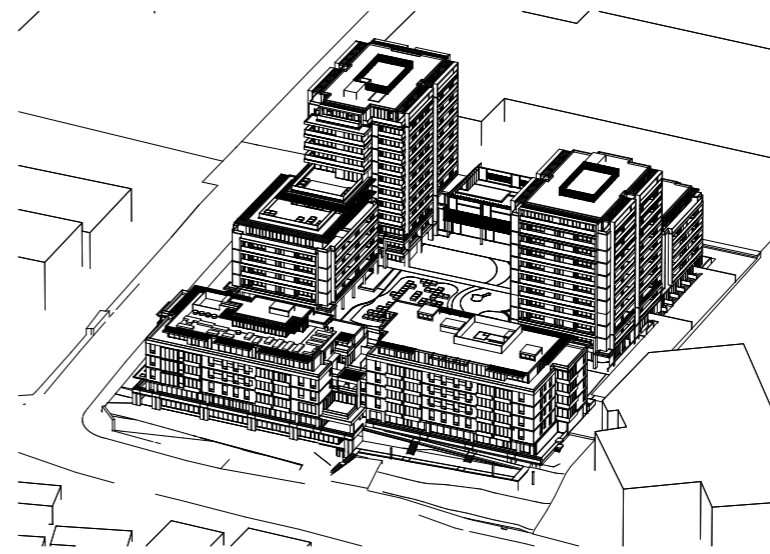
11:00AM 21ST JUNE



12:00AM 21ST JUNE

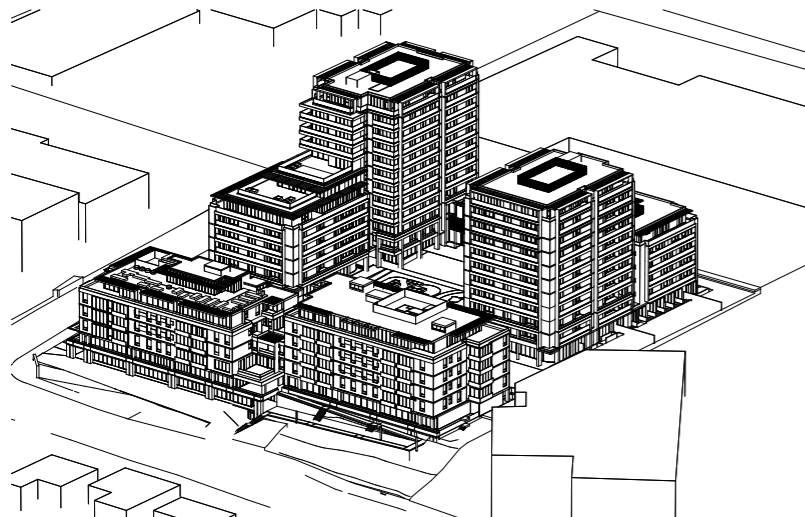


1:00PM 21ST JUNE



2:00PM 21ST JUNE

VIEWS FROM THE SUN  
(location) 3D CAD model viewed  
at the same azimuth and altitude  
angle as the sun at the times  
shown.  
ie: WHAT IS SHOWN IS WHAT  
IS RECEIVING DIRECT  
SUNLIGHT AT THAT TIME



3:00PM 21ST JUNE

NOTE: BUILDINGS WITHIN THE SITE DONOT OVERSHADOW  
EACH OTHER BETWEEN 9:30 AM AND 2:30 PM

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**VIEWS FROM THE SUN -  
JUNE 21 - MID WINTER**

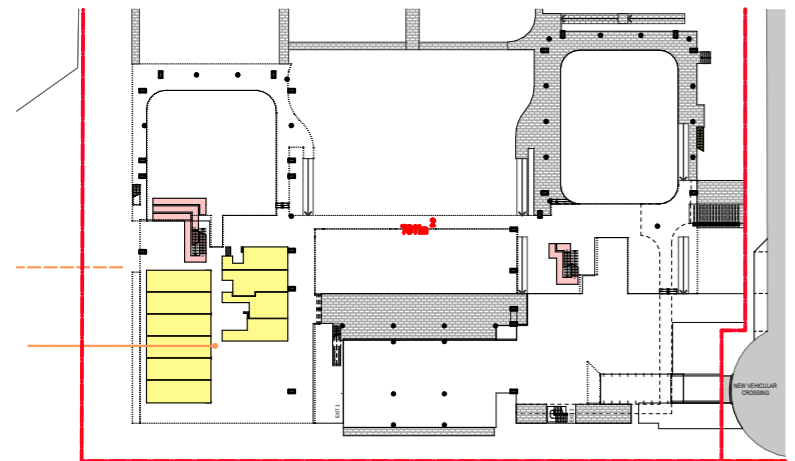
**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	SHADOW DIAGRAMS & VIEWS FROM THE SUN	DRAWING <b>DA803</b>
SUBSET:	SUN	ISSUE A
DRAWN BY:	SU/WH/SP	

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



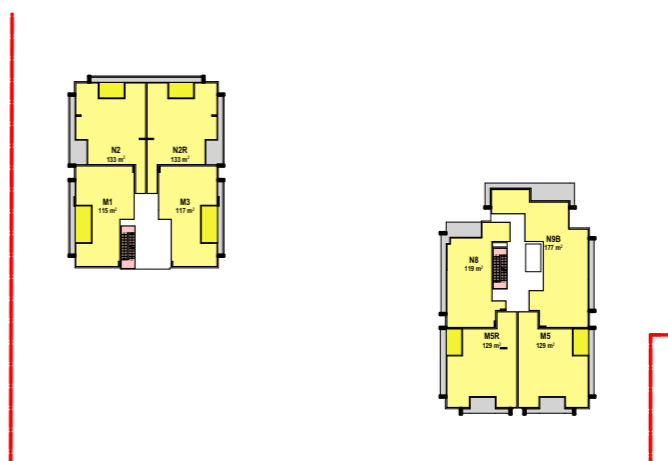
Printed 23-02-2021



GROUND FLOOR



LEVEL 4



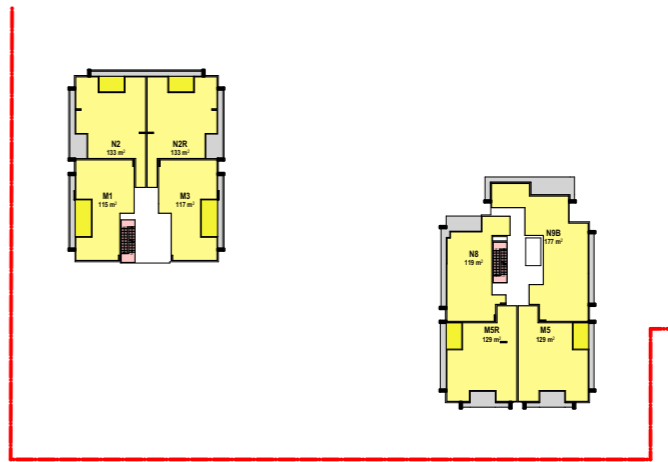
LEVEL 8



LEVEL 1



LEVEL 5



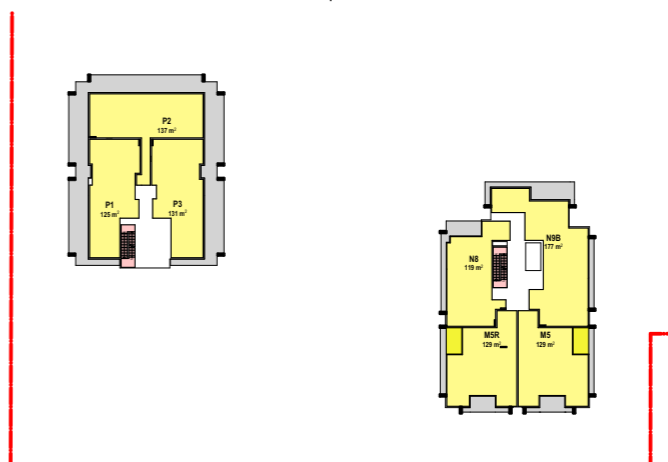
LEVEL 9



LEVEL 2



LEVEL 6



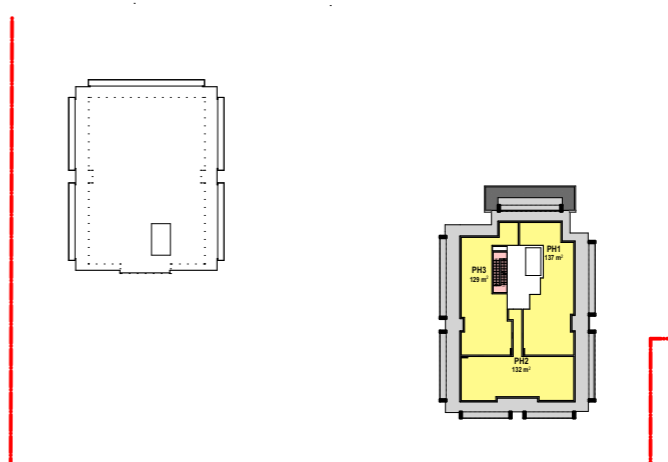
LEVEL 10



LEVEL 3



LEVEL 7



LEVEL 11

APARTMENTS RECEIVING A MINIMUM OF 2 HOURS OF DIRECT SUNLIGHT BETWEEN 9am AND 3pm AT MID WINTER

GROUND LEVEL	10/10
LEVEL 1	15/18
LEVEL 2	15/17
LEVEL 3	13/16
LEVEL 4	13/16
LEVEL 5	14/14
LEVEL 6	8/8
LEVEL 7	8/8
LEVEL 8	8/8
LEVEL 9	8/8
LEVEL 10	7/7
LEVEL 11	3/3
<b>TOTAL</b>	<b>122/133</b>

92% OF 133 APARTMENT



A	ORIGINAL ISSUE	23.02.21
	ISSUE REVISIONS	DATE

PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
 SP 49558

**SOLAR ACCESS**

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

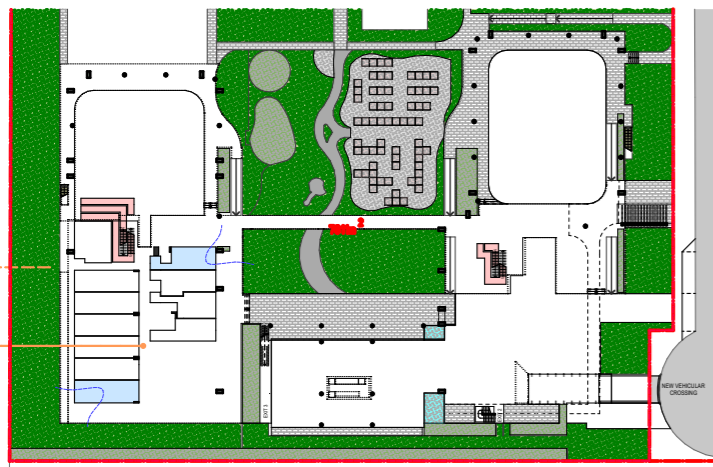
SCALE:	AS SHOWN	DRAWING <b>DA901</b>
SUBSET:	SOLAR ACCESS & CROSS VENT	
DRAWN BY:	SU/WH/SP	ISSUE A

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)

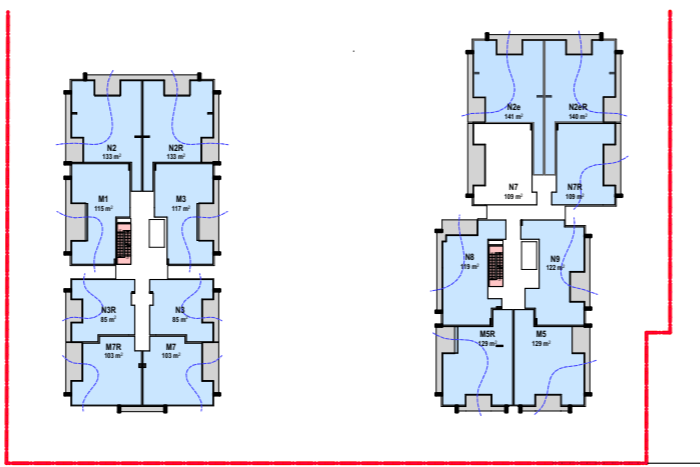




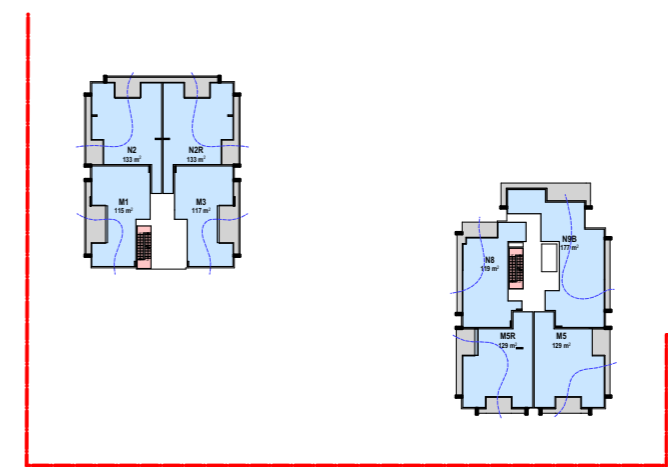
Printed 23-02-2021



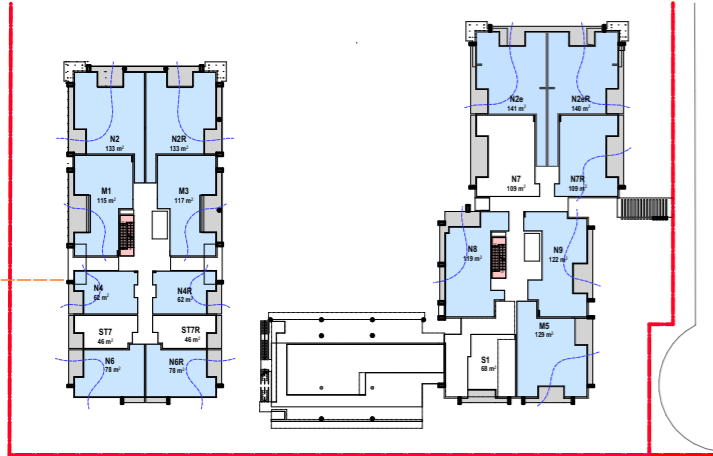
GROUND FLOOR



LEVEL 4



LEVEL 8



LEVEL 1



LEVEL 5



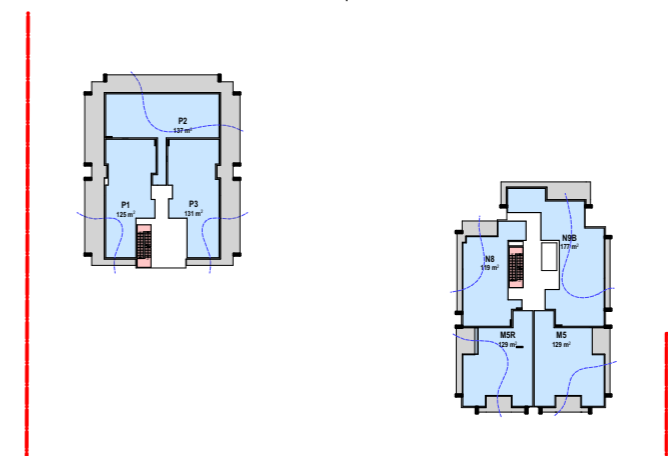
LEVEL 9



LEVEL 2



LEVEL 6



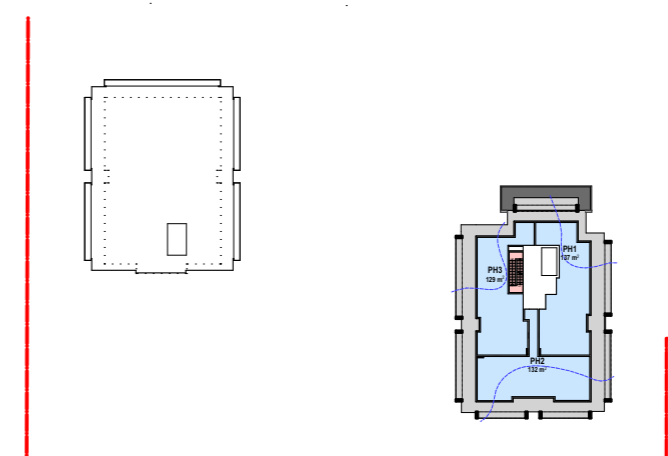
LEVEL 10



LEVEL 3



LEVEL 7



LEVEL 11

APARTMENTS THAT ACHIEVE CROSS VENTILATION

GROUND LEVEL	2/10
LEVEL 1	14/18
LEVEL 2	14/17
LEVEL 3	15/16
LEVEL 4	15/16
LEVEL 5	13/14
LEVEL 6	8/8
LEVEL 7	8/8
LEVEL 8	8/8
LEVEL 9	8/8
LEVEL 10	7/7
LEVEL 11	3/3
<b>TOTAL</b>	<b>115/133</b>

86% OF 133 APARTMENT



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ISSUE REVISIONS		DATE

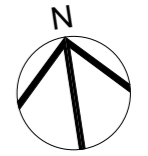
PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
 SP 49558

CROSS VENTILATION

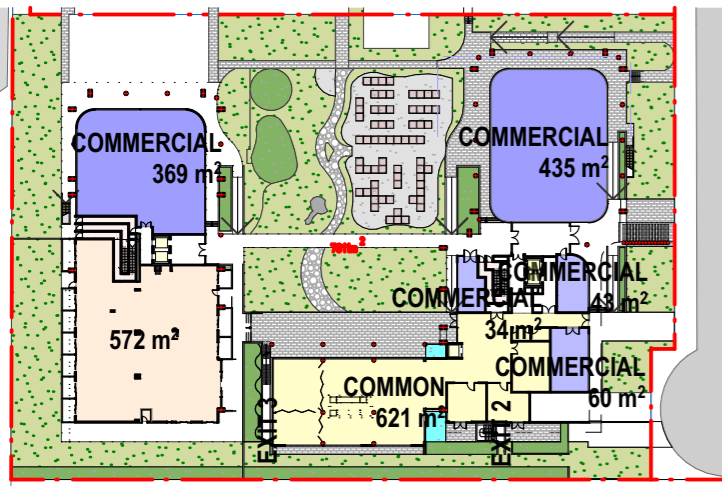
PA STUDIO  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA902</b>
SUBSET:	SOLAR ACCESS & CROSS VENT	
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>

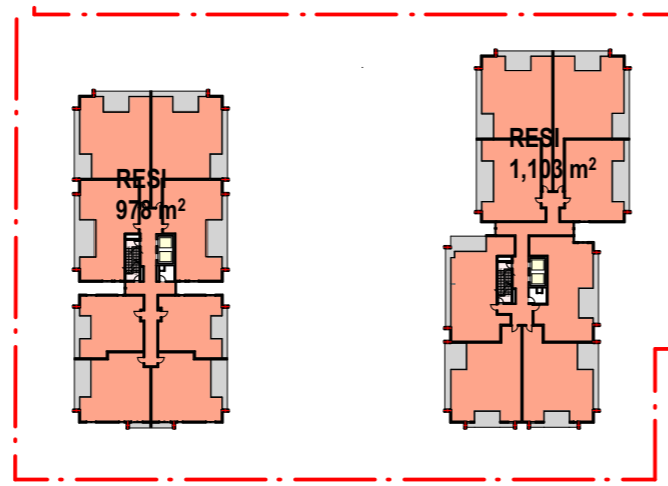
FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



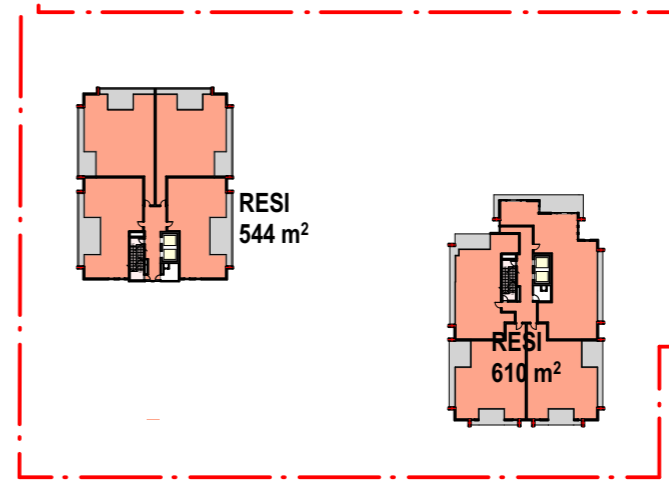
Printed 23-02-2021



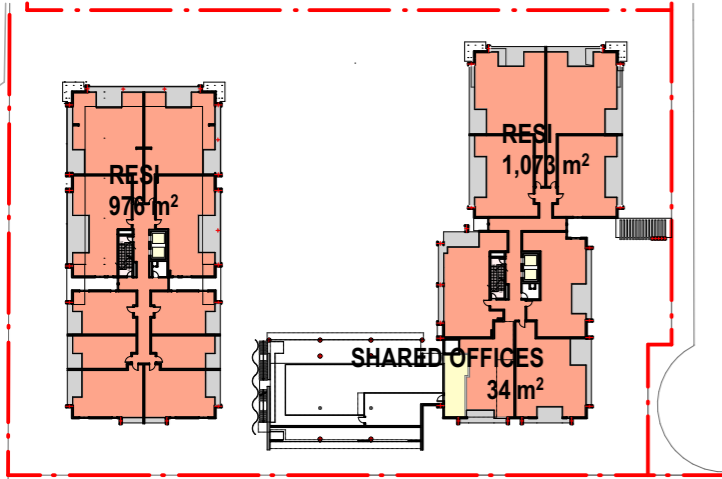
GROUND FLOOR



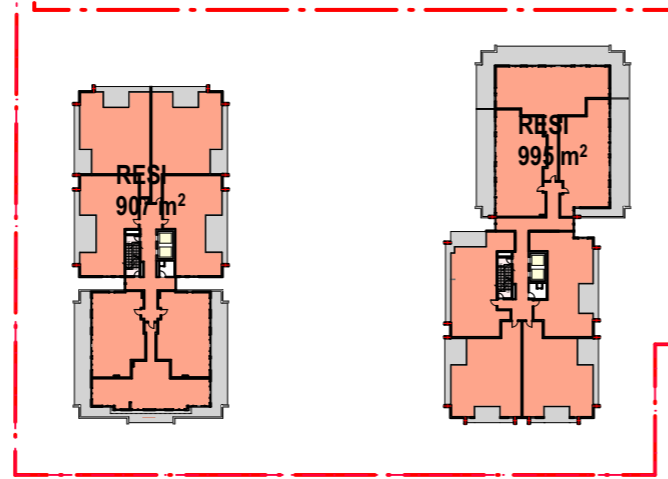
LEVEL 4



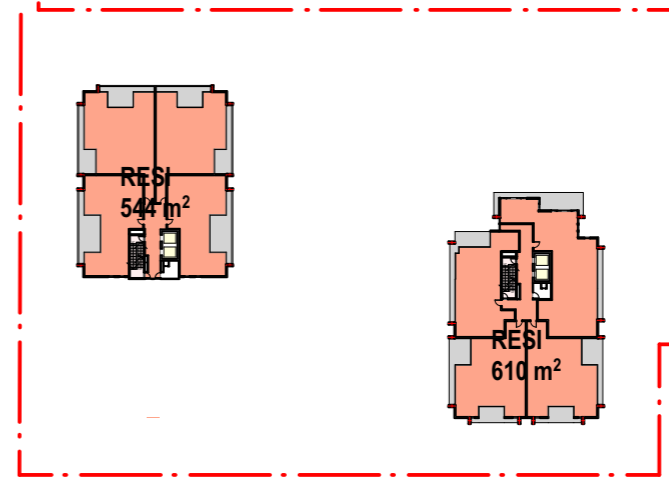
LEVEL 8



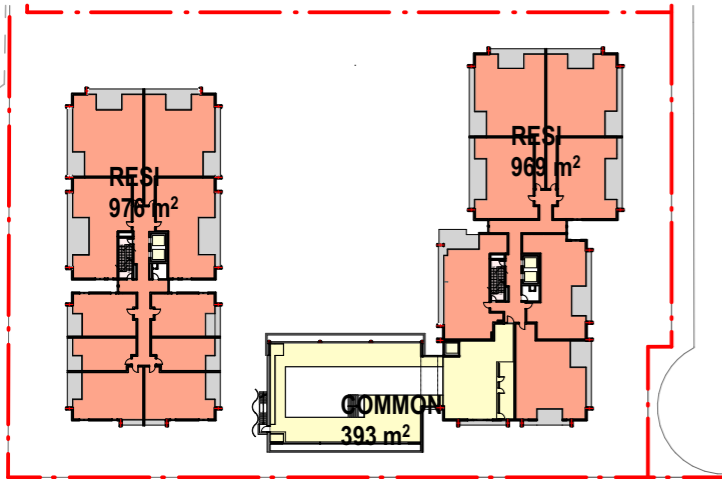
LEVEL 1



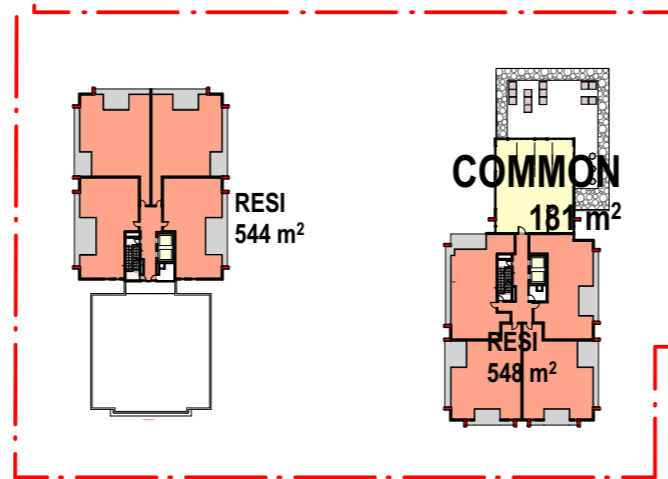
LEVEL 5



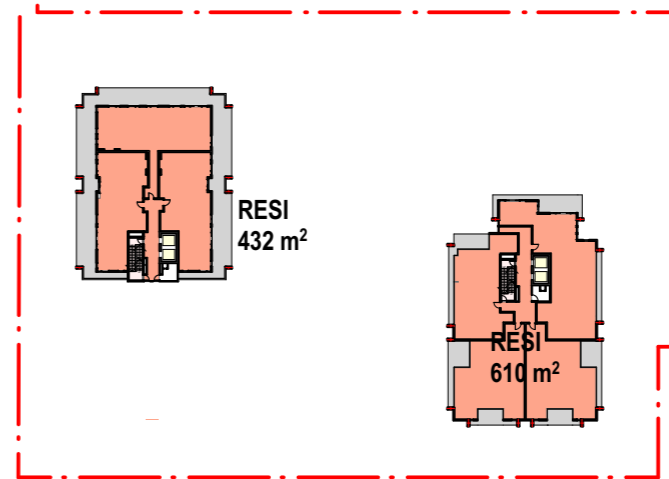
LEVEL 9



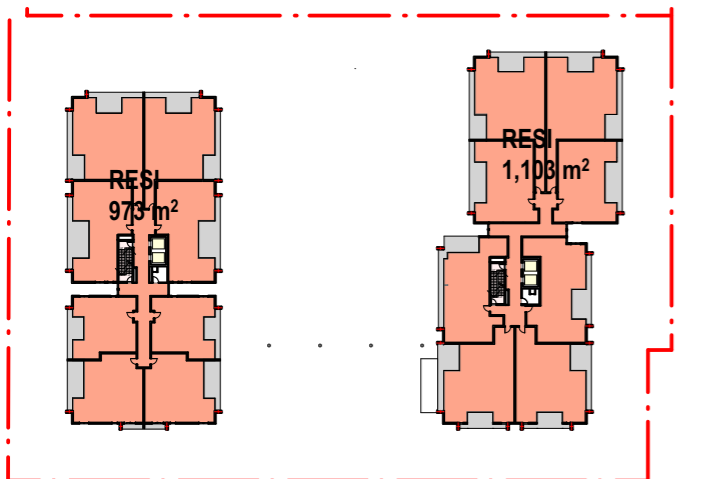
LEVEL 2



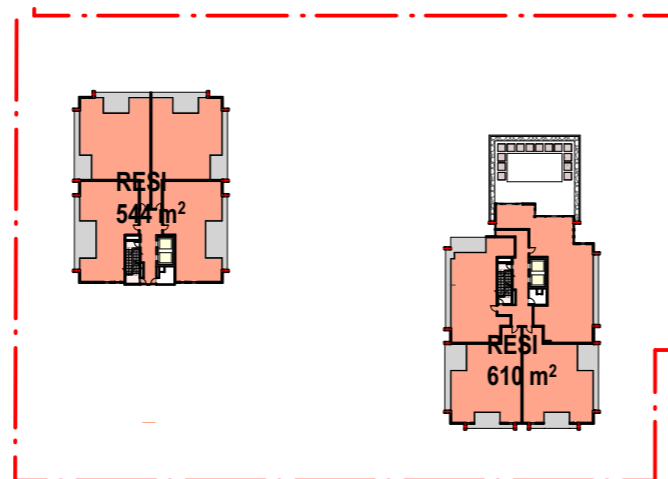
LEVEL 6



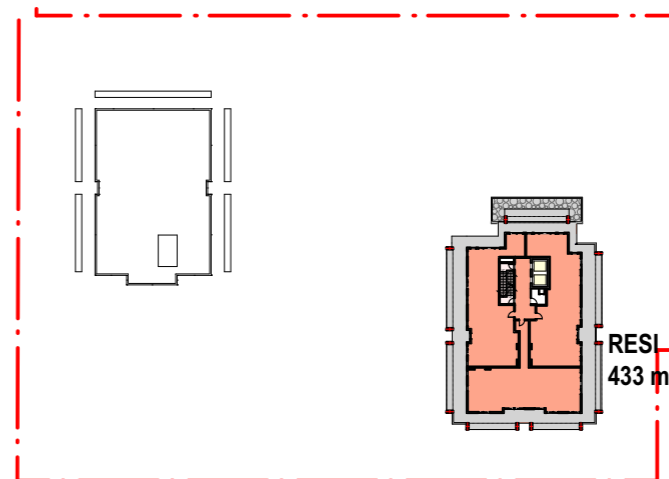
LEVEL 10



LEVEL 3



LEVEL 7

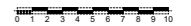


LEVEL 11

GROSS FLOOR AREA		
USE	STOREY	AREA
COMMERCIAL GFA	GROUND FLOOR	34
COMMERCIAL GFA	GROUND FLOOR	43
COMMERCIAL GFA	GROUND FLOOR	60
COMMERCIAL GFA	GROUND FLOOR	369
COMMERCIAL GFA	GROUND FLOOR	435
		<b>941 m²</b>
COMMON GFA	GROUND FLOOR	621
COMMON GFA	LEVEL 1	34
COMMON GFA	LEVEL 2	393
COMMON GFA	LEVEL 6	181
		<b>1,229 m²</b>
PROJ. IND. GFA	GROUND FLOOR	572
		<b>572 m²</b>
RESIDENCE GFA	LEVEL 1	976
RESIDENCE GFA	LEVEL 1	1,073
RESIDENCE GFA	LEVEL 2	969
RESIDENCE GFA	LEVEL 2	976
RESIDENCE GFA	LEVEL 3	973
RESIDENCE GFA	LEVEL 3	1,103
RESIDENCE GFA	LEVEL 4	978
RESIDENCE GFA	LEVEL 4	1,103
RESIDENCE GFA	LEVEL 5	907
RESIDENCE GFA	LEVEL 5	995
RESIDENCE GFA	LEVEL 6	544
RESIDENCE GFA	LEVEL 6	548
RESIDENCE GFA	LEVEL 7	544
RESIDENCE GFA	LEVEL 7	610
RESIDENCE GFA	LEVEL 8	544
RESIDENCE GFA	LEVEL 8	610
RESIDENCE GFA	LEVEL 9	544
RESIDENCE GFA	LEVEL 9	610
RESIDENCE GFA	LEVEL 10	432
RESIDENCE GFA	LEVEL 10	610
RESIDENCE GFA	LEVEL 11	433
		<b>16,082 m²</b>
		<b>18,824 m²</b>

SITE AREA = 7811m²

PROPOSED FLOOR SPACE RATIO:  
(18,824:7,811) OR 2.41:1



A ORIGINAL ISSUE 23.02.21

ISSUE REVISIONS DATE

PROJECT:

**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
5 Skyline Place Frenchs Forest NSW 2086  
SP 49558

**FLOOR AREA CALCULATIONS**

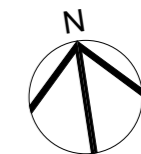
**PA STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA1001</b>
SUBSET:	CALCULATIONS	
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)

UNIT TYPES & AREAS - LOT 1 - WEST BUILDING					
Unit Type	Home Story	Unit Name	Area	Winter Garden	Quantity
0PROJ. IND.+COMMON AREA (West)	GROUND FLOOR	-	572	-	10
			<b>572 m<sup>2</sup></b>		<b>10</b>
1 BED (West)	LEVEL 1	N4	62	-	1
1 BED (West)	LEVEL 1	N4R	62	-	1
1 BED (West)	LEVEL 2	N4	62	-	1
1 BED (West)	LEVEL 2	N4R	62	-	1
			<b>248 m<sup>2</sup></b>		<b>4</b>
2BED (West)	LEVEL 1	N6	78	-	1
2BED (West)	LEVEL 1	N6R	78	-	1
2BED (West)	LEVEL 2	N6	78	-	1
2BED (West)	LEVEL 2	N6R	78	-	1
2BED (West)	LEVEL 3	M7	103	-	1
2BED (West)	LEVEL 3	M7R	103	-	1
2BED (West)	LEVEL 3	N3	85	-	1
2BED (West)	LEVEL 3	N3R	85	-	1
2BED (West)	LEVEL 4	M7	103	-	1
2BED (West)	LEVEL 4	M7R	103	-	1
2BED (West)	LEVEL 4	N3	85	-	1
2BED (West)	LEVEL 4	N3R	85	-	1
2BED (West)	LEVEL 4	M8	104	-	1
2BED (West)	LEVEL 5	M8R	104	-	1
2BED (West)	LEVEL 5	M9	112	-	1
			<b>1,384 m<sup>2</sup></b>		<b>15</b>
2BED+Study (West)	LEVEL 1	M1	115	-	1
2BED+Study (West)	LEVEL 1	M3	117	-	1
2BED+Study (West)	LEVEL 2	M1	115	-	1
2BED+Study (West)	LEVEL 2	M3	117	-	1
2BED+Study (West)	LEVEL 3	M1	115	-	1
2BED+Study (West)	LEVEL 3	M3	117	-	1
2BED+Study (West)	LEVEL 4	M1	115	-	1
2BED+Study (West)	LEVEL 4	M3	117	-	1
2BED+Study (West)	LEVEL 5	M1	115	15	1
2BED+Study (West)	LEVEL 5	M3	117	15	1
2BED+Study (West)	LEVEL 6	M1	115	15	1
2BED+Study (West)	LEVEL 6	M3	117	15	1
2BED+Study (West)	LEVEL 7	M1	115	15	1
2BED+Study (West)	LEVEL 7	M3	117	15	1
2BED+Study (West)	LEVEL 8	M1	115	15	1
2BED+Study (West)	LEVEL 8	M3	117	15	1
2BED+Study (West)	LEVEL 9	M1	115	15	1
2BED+Study (West)	LEVEL 9	M3	117	15	1
			<b>2,088 m<sup>2</sup></b>		<b>18</b>
3BED (West)	LEVEL 1	N2	133	-	1
3BED (West)	LEVEL 1	N2R	133	-	1
3BED (West)	LEVEL 2	N2	133	-	1
3BED (West)	LEVEL 2	N2R	133	-	1
3BED (West)	LEVEL 3	N2	133	-	1
3BED (West)	LEVEL 3	N2R	133	-	1
3BED (West)	LEVEL 4	N2	133	-	1
3BED (West)	LEVEL 4	N2R	133	-	1
3BED (West)	LEVEL 5	N2	133	10	1
3BED (West)	LEVEL 5	N2R	133	10	1
3BED (West)	LEVEL 6	N2	133	10	1
3BED (West)	LEVEL 6	N2R	133	10	1
3BED (West)	LEVEL 7	N2	133	10	1
3BED (West)	LEVEL 7	N2R	133	10	1
3BED (West)	LEVEL 8	N2	133	10	1
3BED (West)	LEVEL 8	N2R	133	10	1
3BED (West)	LEVEL 9	N2	133	10	1
3BED (West)	LEVEL 9	N2R	133	10	1
3BED (West)	LEVEL 10	P1	125	-	1
3BED (West)	LEVEL 10	P2	137	-	1
3BED (West)	LEVEL 10	P3	131	-	1
			<b>2,787 m<sup>2</sup></b>		<b>21</b>
STUDIO (West)	LEVEL 1	ST7	46	-	1
STUDIO (West)	LEVEL 1	ST7R	46	-	1
STUDIO (West)	LEVEL 2	ST7	46	-	1
STUDIO (West)	LEVEL 2	ST7R	46	-	1
			<b>184 m<sup>2</sup></b>		<b>4</b>
			<b>7,263 m<sup>2</sup></b>		<b>63</b>

UNIT TYPES & AREAS - LOT 1 - EAST BUILDING					
Unit Type	Home Story	Unit Name	Area	Winter Garden	Quantity
1 BED (East)	LEVEL 1	S1	68	-	1
			<b>68 m<sup>2</sup></b>		<b>1</b>
2BED (East)	LEVEL 1	N7	109	-	1
2BED (East)	LEVEL 1	N7R	109	-	1
2BED (East)	LEVEL 2	N7	109	-	1
2BED (East)	LEVEL 2	N7R	109	-	1
2BED (East)	LEVEL 3	N7	109	-	1
2BED (East)	LEVEL 3	N7R	109	-	1
2BED (East)	LEVEL 4	N7	109	-	1
2BED (East)	LEVEL 4	N7R	109	-	1
			<b>872 m<sup>2</sup></b>		<b>8</b>
3BED (East)	LEVEL 1	M5	129	-	1
3BED (East)	LEVEL 1	N2e	141	-	1
3BED (East)	LEVEL 1	N2eR	140	-	1
3BED (East)	LEVEL 1	N8	119	-	1
3BED (East)	LEVEL 1	N9	122	-	1
3BED (East)	LEVEL 2	M5	129	-	1
3BED (East)	LEVEL 2	N2e	141	-	1
3BED (East)	LEVEL 2	N2eR	140	-	1
3BED (East)	LEVEL 2	N8	119	-	1
3BED (East)	LEVEL 2	N9	122	-	1
3BED (East)	LEVEL 3	M5	129	-	1
3BED (East)	LEVEL 3	M5R	129	-	1
3BED (East)	LEVEL 3	N2e	141	-	1
3BED (East)	LEVEL 3	N2eR	140	-	1
3BED (East)	LEVEL 3	N8	119	-	1
3BED (East)	LEVEL 3	N9	122	-	1
3BED (East)	LEVEL 4	M5	129	-	1
3BED (East)	LEVEL 4	M5R	129	-	1
3BED (East)	LEVEL 4	N2e	141	-	1
3BED (East)	LEVEL 4	N2eR	140	-	1
3BED (East)	LEVEL 4	N8	119	-	1
3BED (East)	LEVEL 4	N9	122	-	1
3BED (East)	LEVEL 5	M5	129	10	1
3BED (East)	LEVEL 5	M5R	129	10	1
3BED (East)	LEVEL 5	N8	119	-	1
3BED (East)	LEVEL 5	N8B	126	-	1
3BED (East)	LEVEL 5	N8C	143	-	1
3BED (East)	LEVEL 5	N8D	124	-	1
3BED (East)	LEVEL 5	N9	122	10	1
3BED (East)	LEVEL 6	M5	129	10	1
3BED (East)	LEVEL 6	M5R	129	10	1
3BED (East)	LEVEL 6	N8	119	-	1
3BED (East)	LEVEL 6	N9	122	10	1
3BED (East)	LEVEL 7	M5	129	10	1
3BED (East)	LEVEL 7	M5R	129	10	1
3BED (East)	LEVEL 7	N8	119	-	1
3BED (East)	LEVEL 7	N9B	177	-	1
3BED (East)	LEVEL 8	M5	129	10	1
3BED (East)	LEVEL 8	M5R	129	10	1
3BED (East)	LEVEL 8	N8	119	-	1
3BED (East)	LEVEL 8	N9B	177	-	1
3BED (East)	LEVEL 9	M5	129	10	1
3BED (East)	LEVEL 9	M5R	129	10	1
3BED (East)	LEVEL 9	N8	119	-	1
3BED (East)	LEVEL 9	N9B	177	-	1
3BED (East)	LEVEL 10	M5	129	10	1
3BED (East)	LEVEL 10	M5R	129	10	1
3BED (East)	LEVEL 10	N8	119	-	1
3BED (East)	LEVEL 10	N9B	177	-	1
3BED (East)	LEVEL 11	PH1	137	-	1
3BED (East)	LEVEL 11	PH2	132	-	1
3BED (East)	LEVEL 11	PH3	129	-	1
			<b>6,867 m<sup>2</sup></b>		<b>52</b>
			<b>7,807 m<sup>2</sup></b>		<b>61</b>



Printed 23-02-2021

-- TABLE SHOWING INTERNAL AREAS OF APARTMENTS AND NO. OF APARTMENTS

**NOTE: ALL APARTMENTS EXCEED THE MINIMUM AREAS PRESCRIBED BY ADG**



A ORIGINAL ISSUE 23.02.21

ISSUE REVISIONS DATE

PROJECT:

**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
5 Skyline Place Frenchs Forest NSW 2086  
SP 49558

**DWELLING TYPES AND NET FLOOR AREAS**

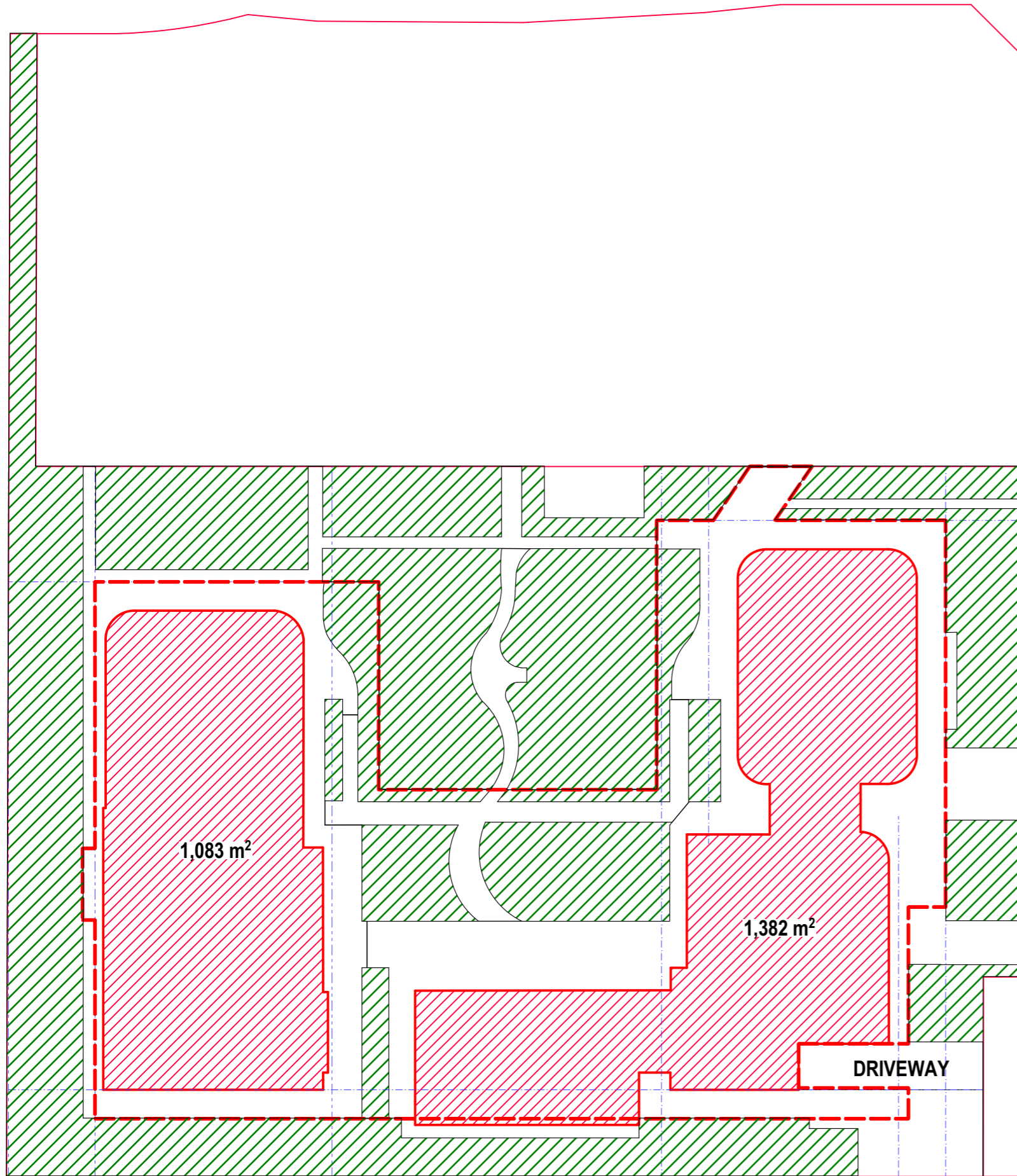
**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

TOTAL UNITS	
UNIT TYPE	QUANTITY
PROJ. IND. STUDIO	10
STUDIO	4
1 BED	5
2 BED	23
2 BED + STUDY	18
3 BED	73

SCALE: AS SHOWN	DRAWING <b>DA1002</b>
SUBSET: CALCULATIONS	
DRAWN BY: SU/WH/SP	ISSUE <b>A</b>

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)





Warringah LEP:

landscaped area means a part of a site used for growing plants, grasses and trees, but does not include any building, structure or hard paved area.

No definition of deep soil.

Warringah DCP:

To measure the area of landscaped open space:

a) Driveways, paved areas, roofed areas, tennis courts, car parking and stormwater structures, decks, etc, and any open space areas with a dimension of less than 2 metres are excluded from the calculation;

b) The water surface of swimming pools and impervious surfaces which occur naturally such as rock outcrops are included in the calculation;

c) Landscaped open space must be at ground level (finished); and

d) The minimum soil depth of land that can be included as landscaped open space is 1 metre.

33% of the site must be landscaped area.

Deep soil landscape area means that area of a site with no above ground, ground level or subterranean development.

## DCP LANDSCAPE CALC

SITE AREA OF LOT 1 = 7811 m<sup>2</sup>

**TOTAL LANDSCAPE AREA : 3280 m<sup>2</sup> (42%)**

More than 33% of Site Area



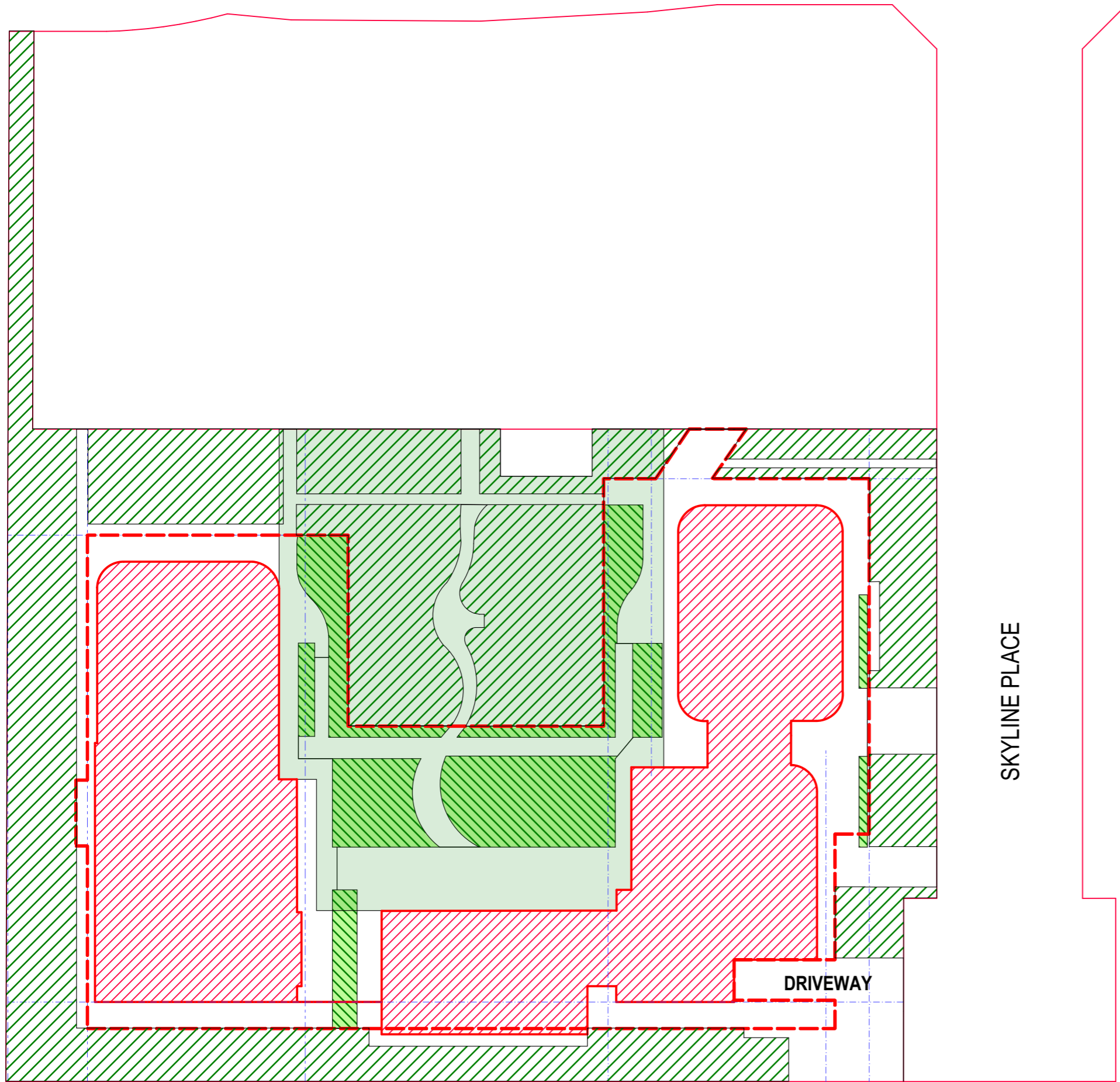
A	ORIGINAL ISSUE	23.02.21
ISSUE	REVISIONS	DATE

PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
 SP 49558

### DCP LANDSCAPE CALCULATION

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING	<b>DA1003</b>
SUBSET:	CALCULATIONS	ISSUE	<b>A</b>
DRAWN BY:	SU/WH/SP		



**ADG:**

Deep soil zones are areas of soil not covered by buildings or structures within a development. They exclude basement car parks, services, swimming pools, tennis courts and impervious surfaces including car parks, driveways and roof areas.

- 10% of the site as deep soil on sites with an area of 650m<sup>2</sup> - 1,500m<sup>2</sup>
- 15% of the site as deep soil on sites greater than 1,500m<sup>2</sup>


Communal open space has a minimum area equal to 25% of the site. Where developments are unable to achieve the design criteria, such as on small lots, sites within business zones, or in a dense urban area, they should:

- provide communal spaces elsewhere such as a landscaped roof top terrace or a common room
- provide larger balconies or increased private open space for apartment

# ADG LANDSCAPE CALC

**SITE AREA OF LOT 1 = 7811 m<sup>2</sup>**

 OUTLINE OF CARPARK BELOW GROUND **4,411 m<sup>2</sup>**

 AREA OCCUPIED BY BUILDINGS AT GROUND FLOOR LEVEL **2,465 m<sup>2</sup>**

## LANDSCAPING

**DEEP SOIL ZONE, AS DEFINED IN APARTMENT DESIGN GUIDE (ADG): Minimum 15% of Site Area, i.e 1172 m<sup>2</sup>**

**DEEP SOIL ZONE PROVIDED: 2,711 m<sup>2</sup>**  
i.e 34.7% of Site Area (more than 15% of Site Area)

**LANDSCAPE AREA WITH SOIL DEPTH OF 0.5m - 1m 569 m<sup>2</sup>**

**COMMUNAL OPEN SPACE: 2,188 m<sup>2</sup>**  
i.e 28.01% of Site Area (more than 25% of Site Area)

SKYLINE PLACE



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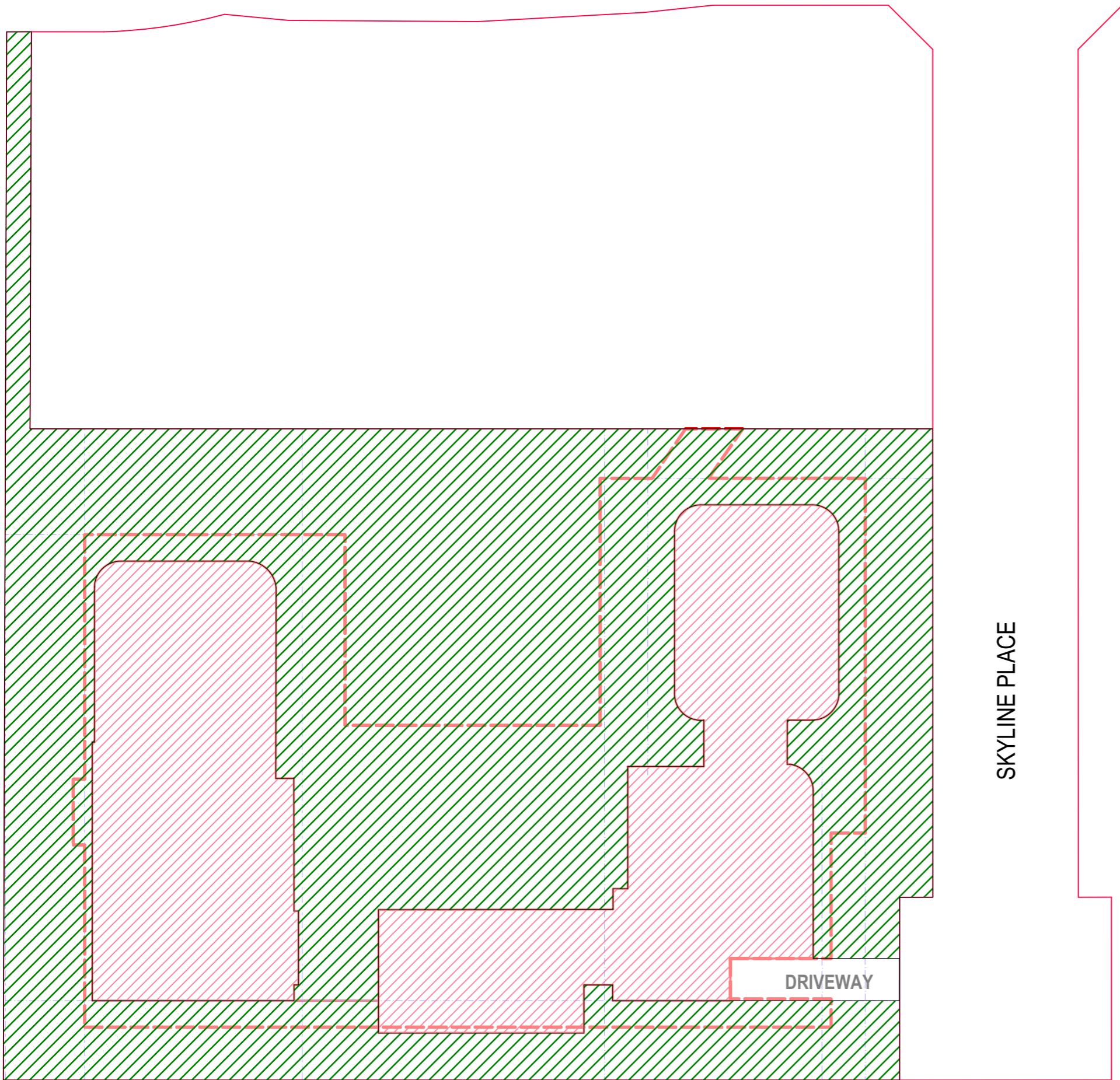
PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
5 Skyline Place Frenchs Forest NSW 2086  
SP 49558

## ADG LANDSCAPE CALCULATION

**PA STUDIO**  
LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING
SUBSET:	CALCULATIONS	<b>DA1004</b>
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>







SEPP (Seniors):  
 landscaped area means that part of the site area that is not occupied by any building and includes so much of that part as is used or to be used for rainwater tanks, swimming pools or open-air recreation facilities, but does not include so much of that part as is used or to be used for driveways or parking areas.

There is no definition for deep soil.  
 Under the Urban Design Guidelines for infill development, the minimum requirement for landscaped area is 30%. Minimum deep soil is 15%.

## SEPP LANDSCAPE CALC

**SITE AREA OF LOT 1 = 7811 m<sup>2</sup>**

-  OUTLINE OF CARPARK BELOW GROUND **4,411 m<sup>2</sup>**
-  AREA OCCUPIED BY BUILDINGS AT GROUND FLOOR LEVEL **2,465 m<sup>2</sup>**

### LANDSCAPING

LANDSCAPE AREA, AS DEFINED IN SEPP (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004:  
**Minimum, 30% of Site Area.**

**LANDSCAPE AREA PROVIDED: 5,252 m<sup>2</sup>**  
 i.e 67.2% of Site Area (more than 30% of Site Area)



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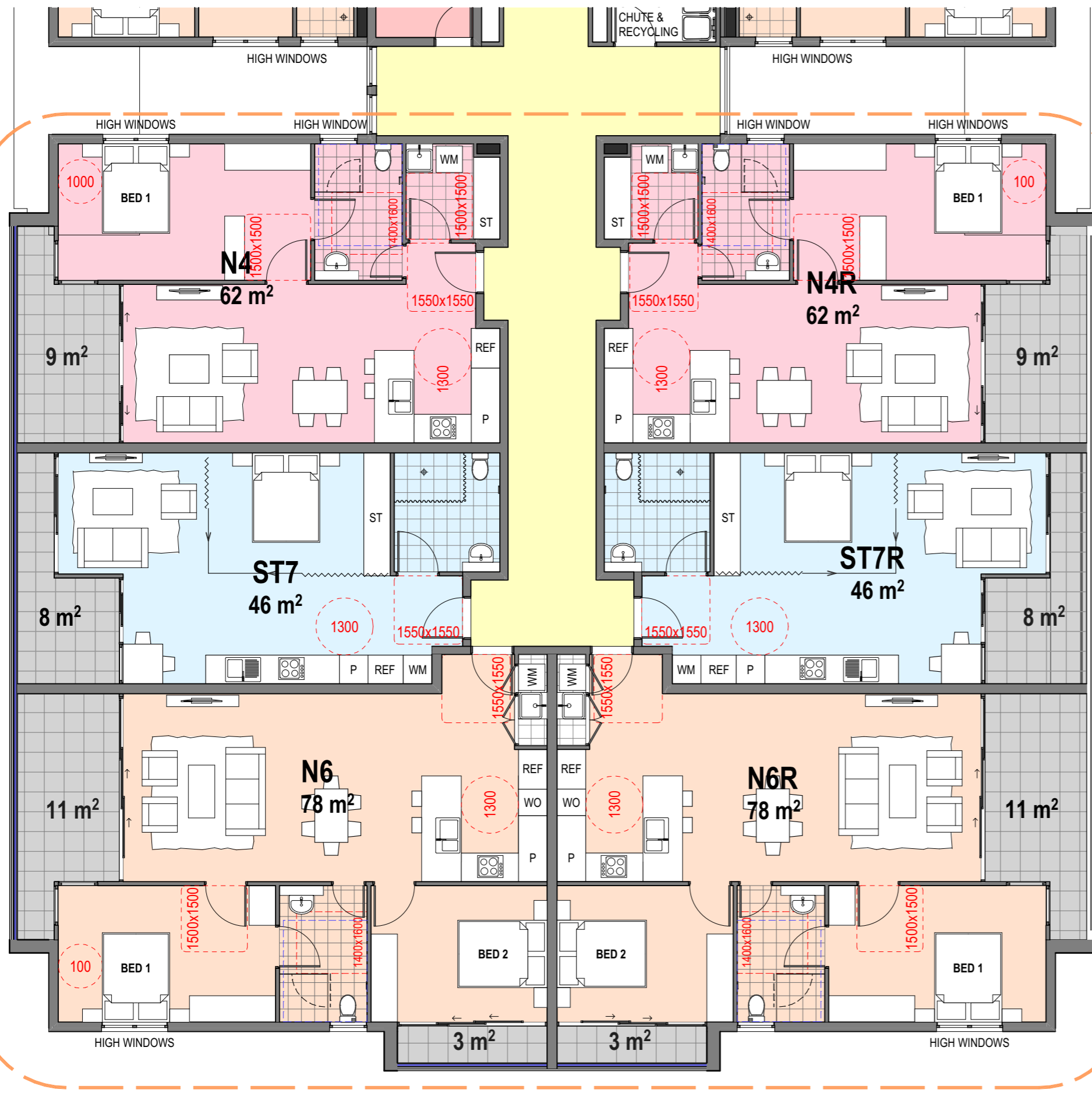
### SEPP LANDSCAPE CALCULATION

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: AS SHOWN	DRAWING <b>DA1005</b>
SUBSET: CALCULATIONS	
DRAWN BY: SU/WH/SP	
ISSUE <b>A</b>	



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UNITS N4, N4R, ST7, ST7R, N6 & N6R - WEST BUILDING

1:100



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PROJECT:  
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**UNITS N4, N4R, ST7, ST7R, N6 & N6R**

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING
SUBSET:	1:100 UNIT LAYOUT PLANS	<b>DA1101</b>
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



UNITS M1 & M3 - WEST BUILDING

1:100



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PROJECT:

**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
 SP 49558

**UNITS M1 & M3**

**P A STUDIO**

LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: AS SHOWN

SUBSET: LAYOUT PLANS

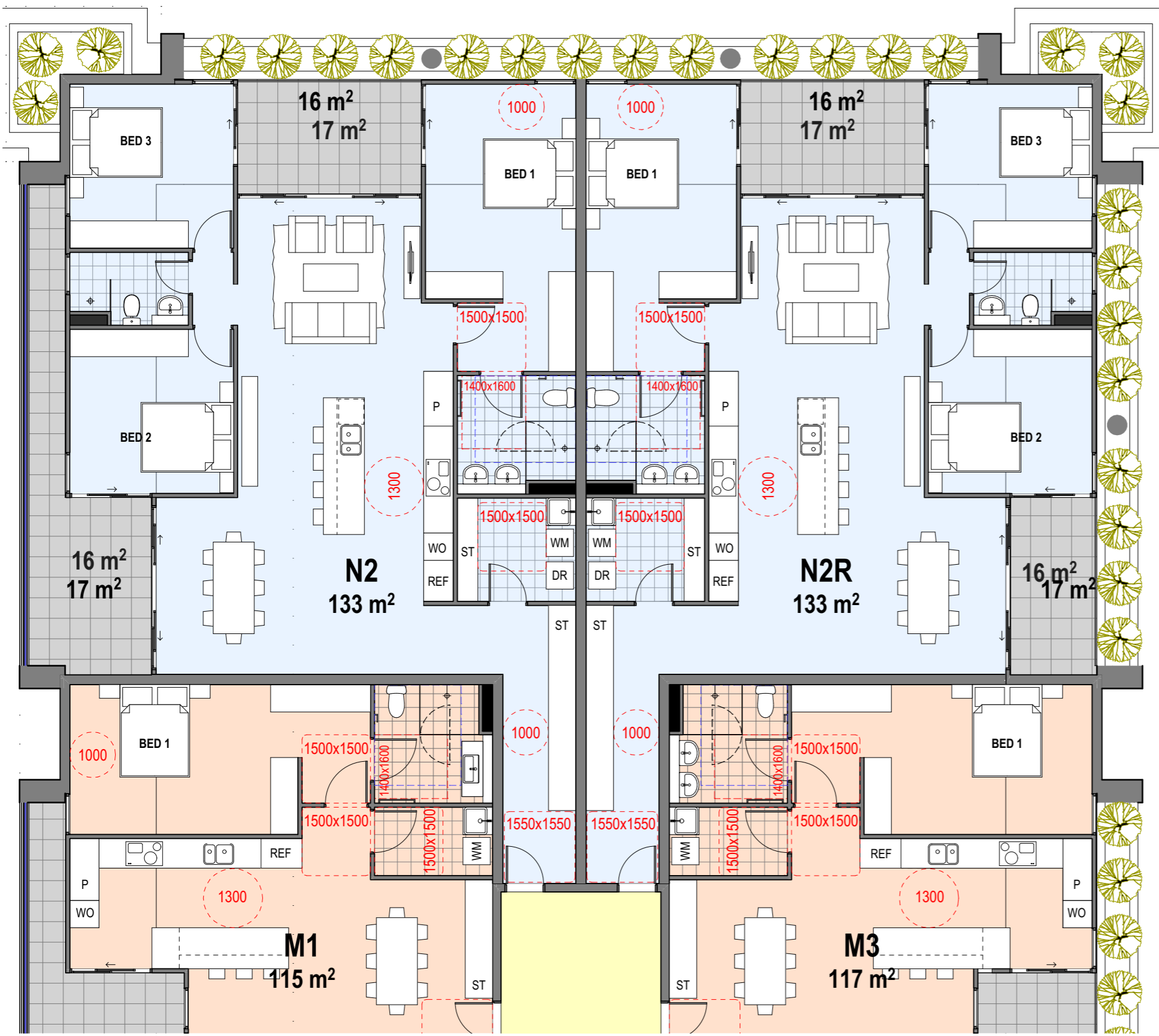
DRAWN BY: SU/WH/SP

DRAWING

**DA1102**

ISSUE **A**





UNITS N2 & N2R - WEST BUILDING

1:100



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PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
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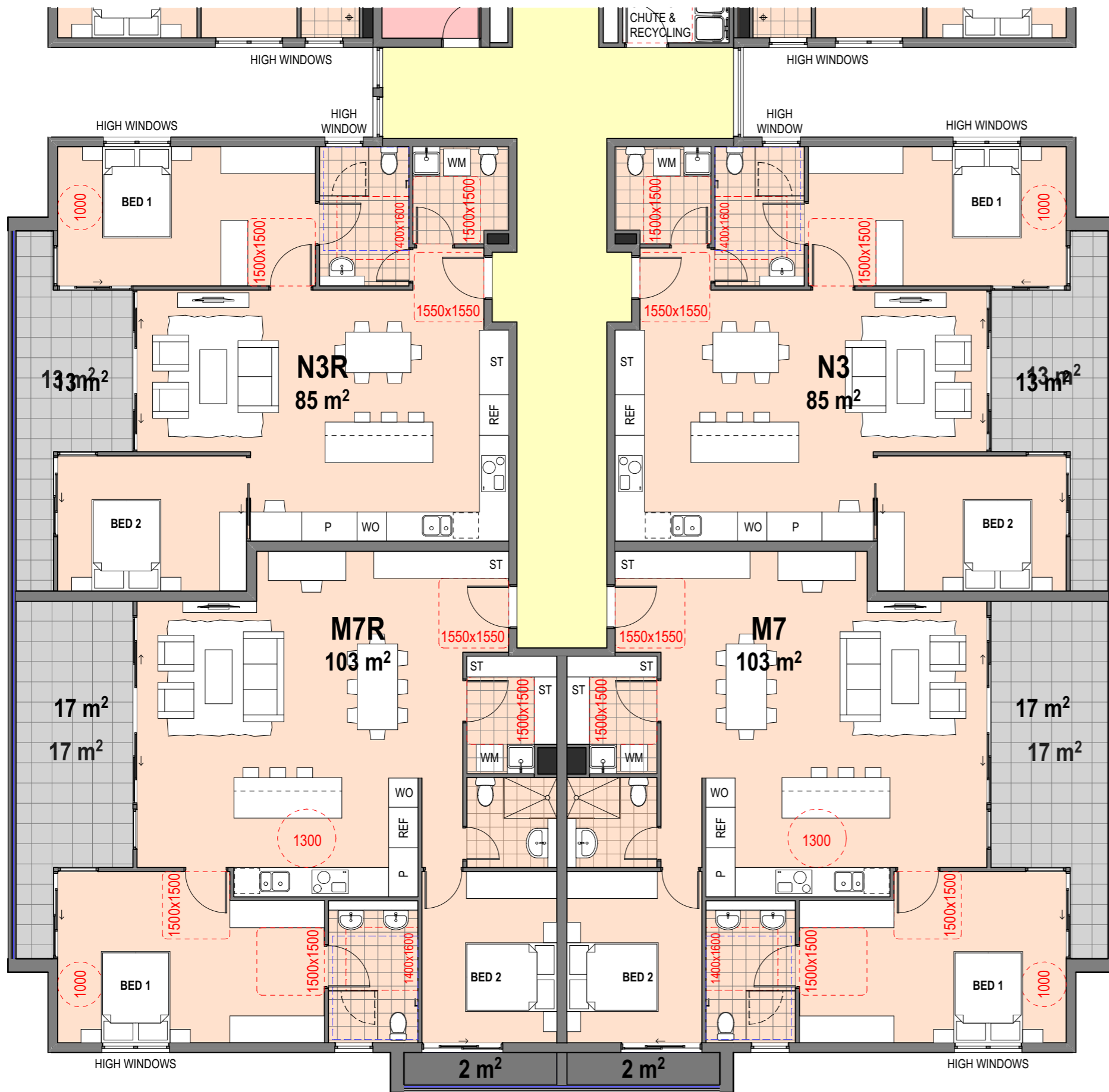
**UNIT TYPES N2 & N2R**

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA1103</b>
SUBSET:	LAYOUT PLANS	
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>



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UNITS N3, N3R, M7 & M7R - WEST BUILDING

1:100



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 5 Skyline Place Frenchs Forest NSW 2086  
 SP 49558

**UNITS N3, N3R, M7 & M7R**

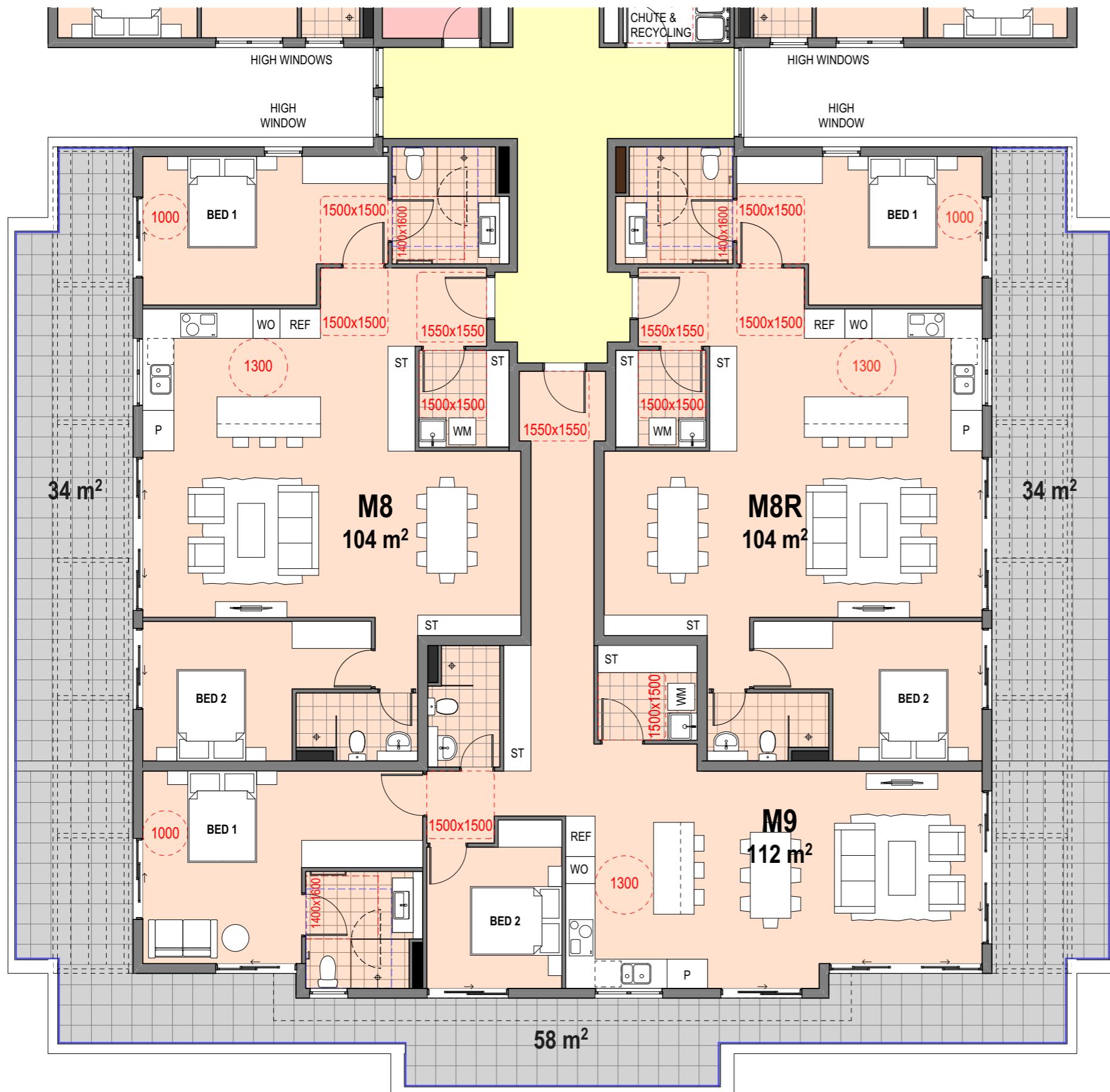
**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

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SUBSET:	1:100 UNIT LAYOUT PLANS	
DRAWN BY:	SU/WH/SP	ISSUE A

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



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UNITS M8, M8R & M9 - WEST BUILDING

1:100



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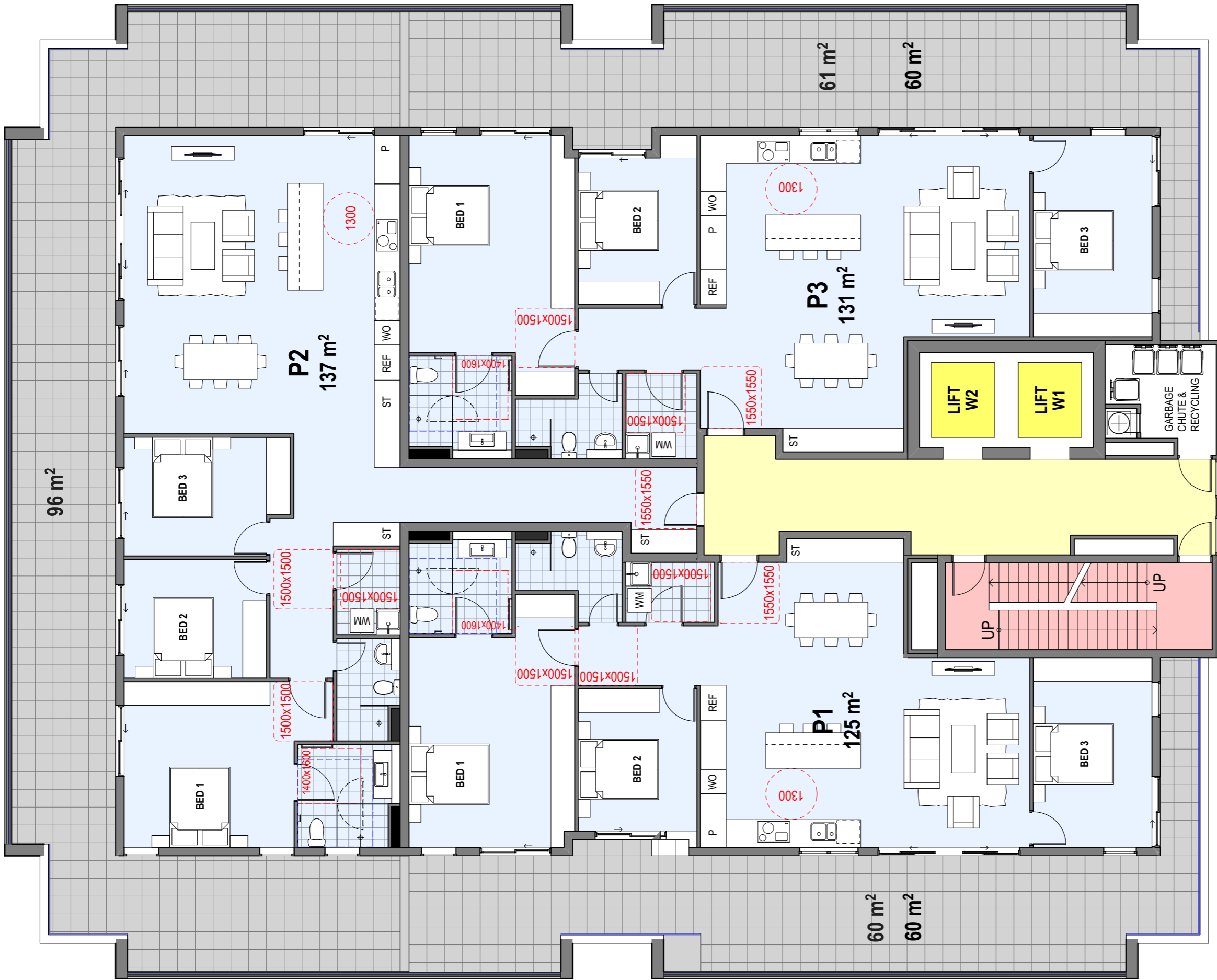
**UNITS M8, M8R & M9**

**P A STUDIO**  
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 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

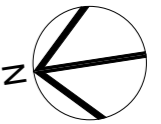
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DRAWN BY:	SU/WH/SP		

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



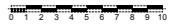


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UNITS P1, P2 & P3 - WEST BUILDING




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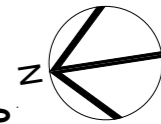
PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
 5 Skyline Place Frenchs Forest NSW 2086  
 SP 49558

UNITS P1, P2 & P3

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

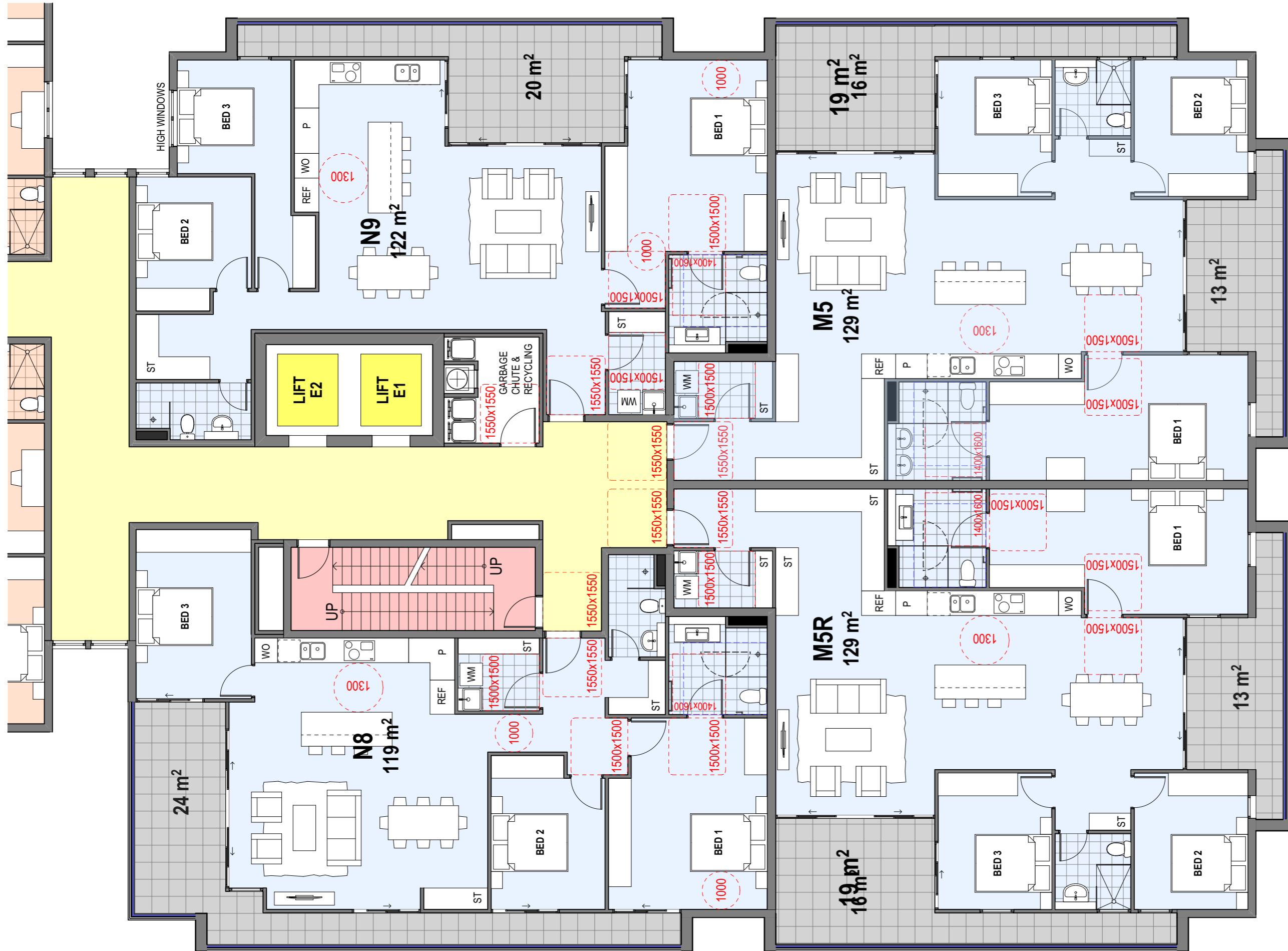
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SUBSET:		ISSUE	A
DRAWN BY:	SU/WH/SP		

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



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UNITS M5, M5R, N8 & N9 - EAST BUILDING



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PROJECT:  
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 SP 49558

UNITS M5, M5R, N8 & N9

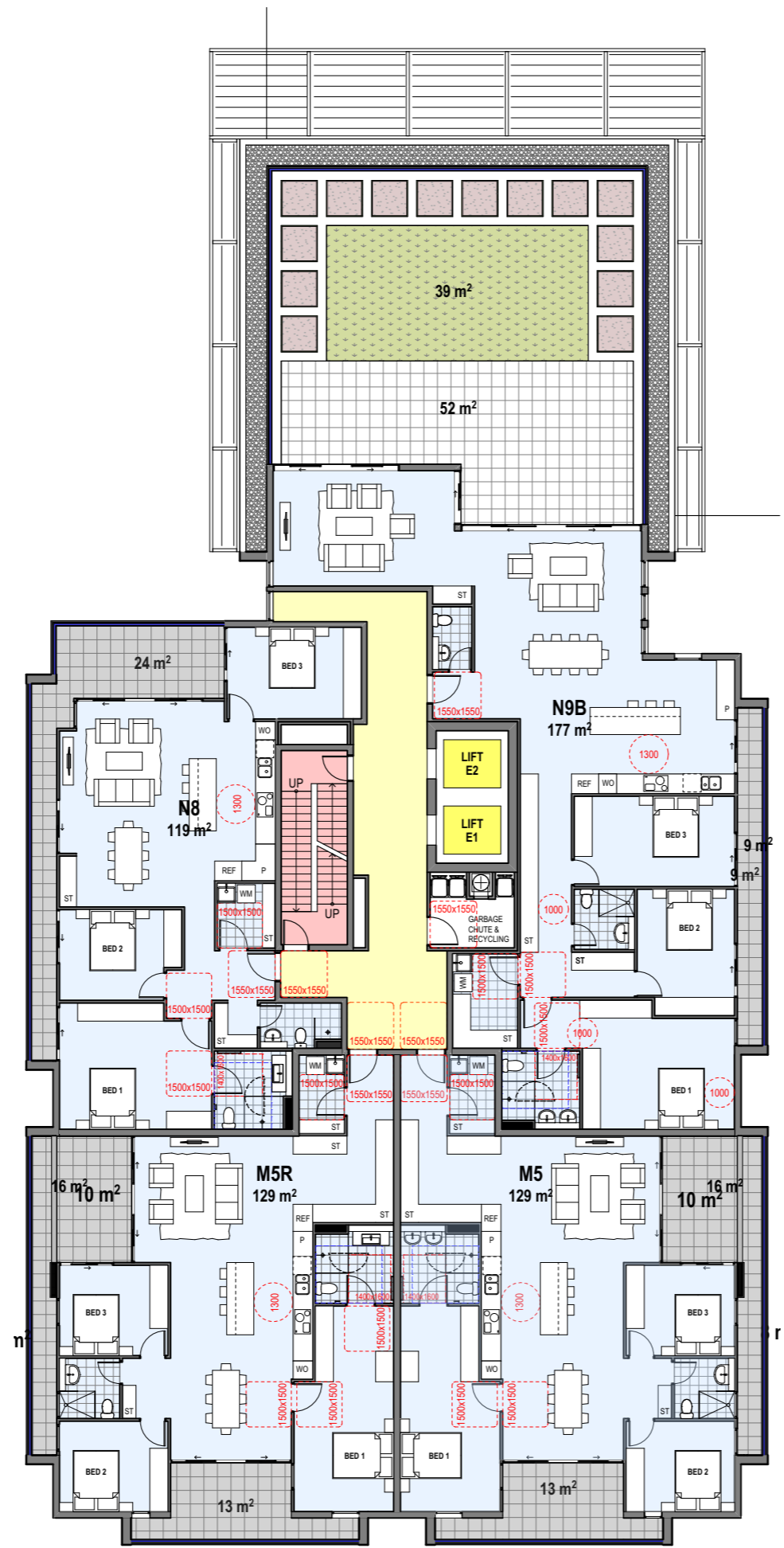
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DRAWN BY:	SU/WH/SP	ISSUE A

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



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UNITS M5, M5R, N8 & N9B - EAST BUILDING 1:200



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PROJECT:  
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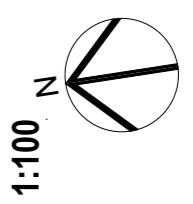
**UNITS M5, M5R, N8 & N9B**

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

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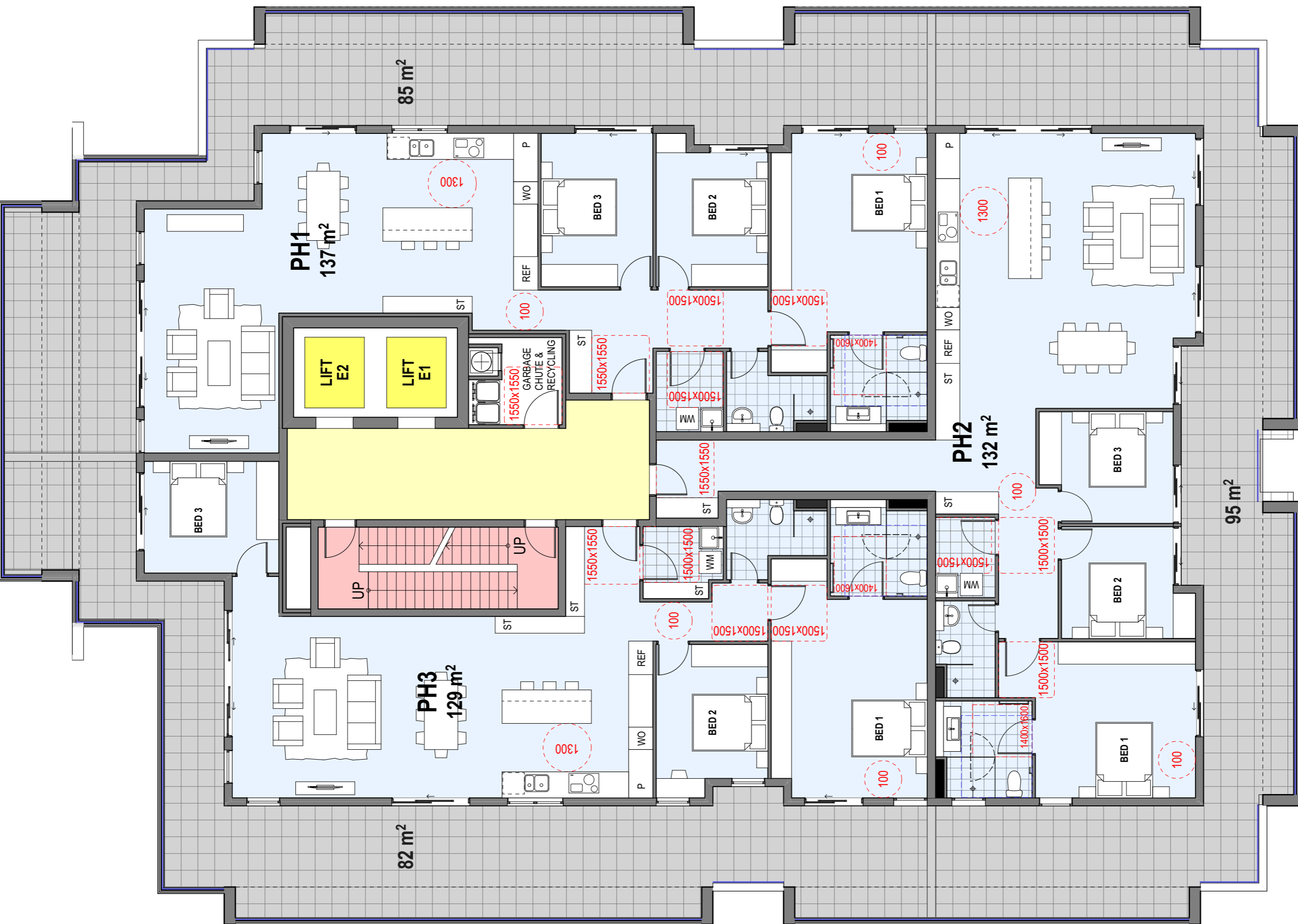
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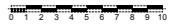


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UNITS PH1, PH2 & PH3 - EAST BUILDING



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UNITS PH1, PH2 & PH3

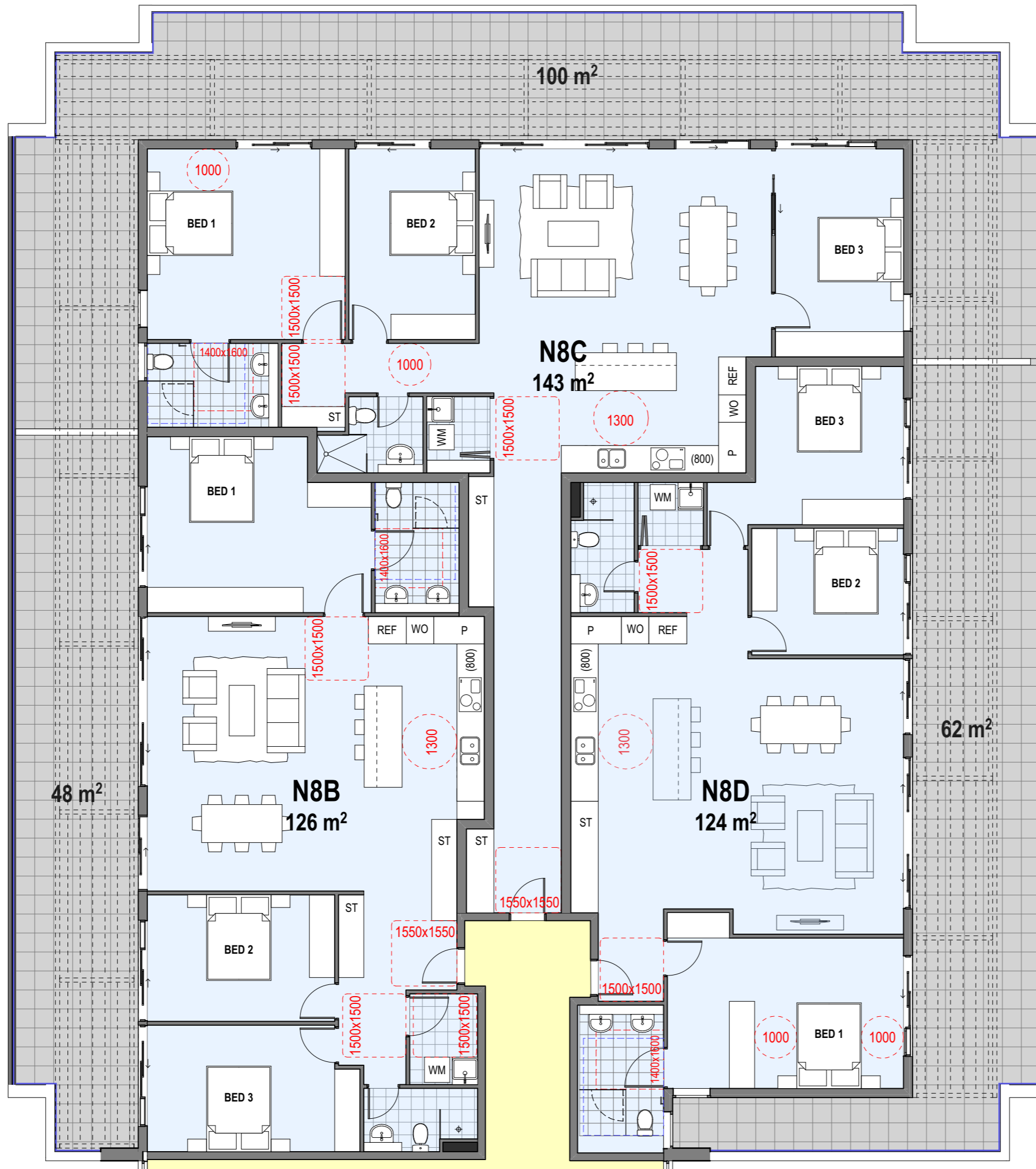
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 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

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FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



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UNITS N8B, N8C & N8D - EAST BUILDING

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PROJECT:  
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**UNITS N8B, N8C & N8D**

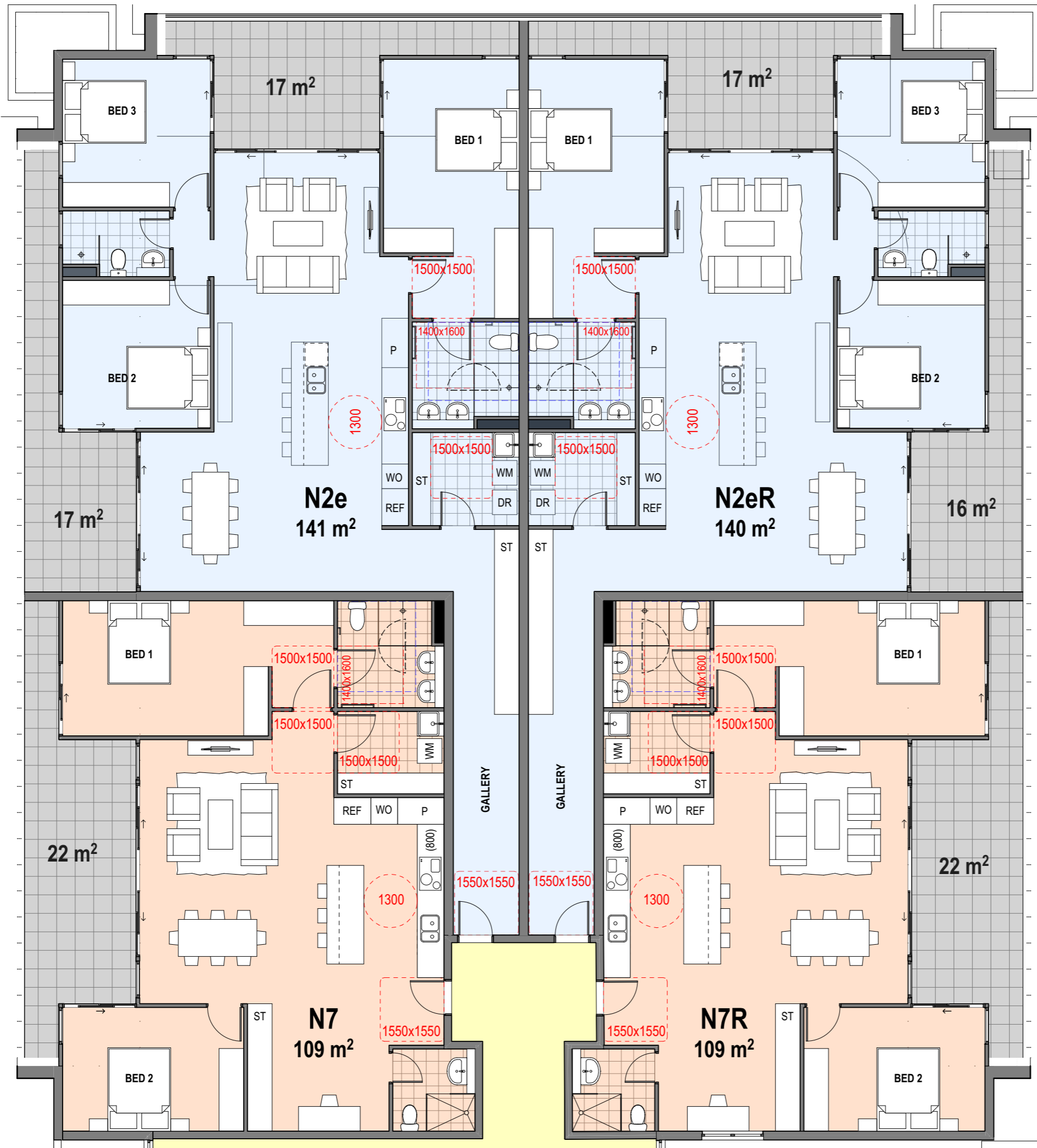
**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA1110</b>
SUBSET:	LAYOUT PLANS	
DRAWN BY:	SU/WH/SP	ISSUE <b>A</b>

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)



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UNITS N2e, N2eR, N7 & N7R - EAST BUILDING

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**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
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**UNIT TYPES N2e, N2eR, N7 & N7R**

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING <b>DA1111</b>
SUBSET:	1:100 UNIT LAYOUT PLANS	
DRAWN BY:	SU/WH/SP	ISSUE A

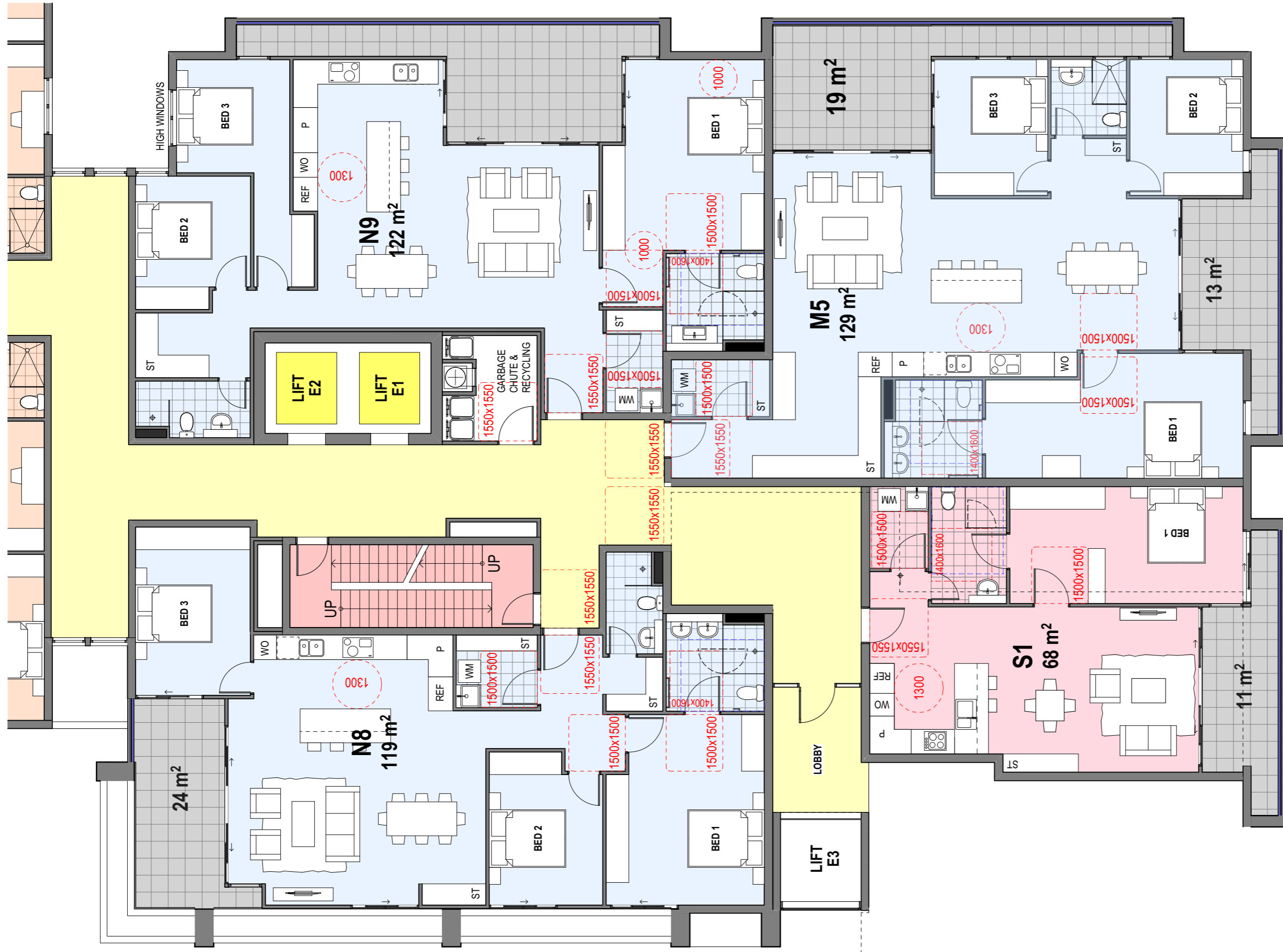
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UNITS S1, M5, N8 & N9 - EAST BUILDING



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**UNITS S1, M5, N8 & N9**

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

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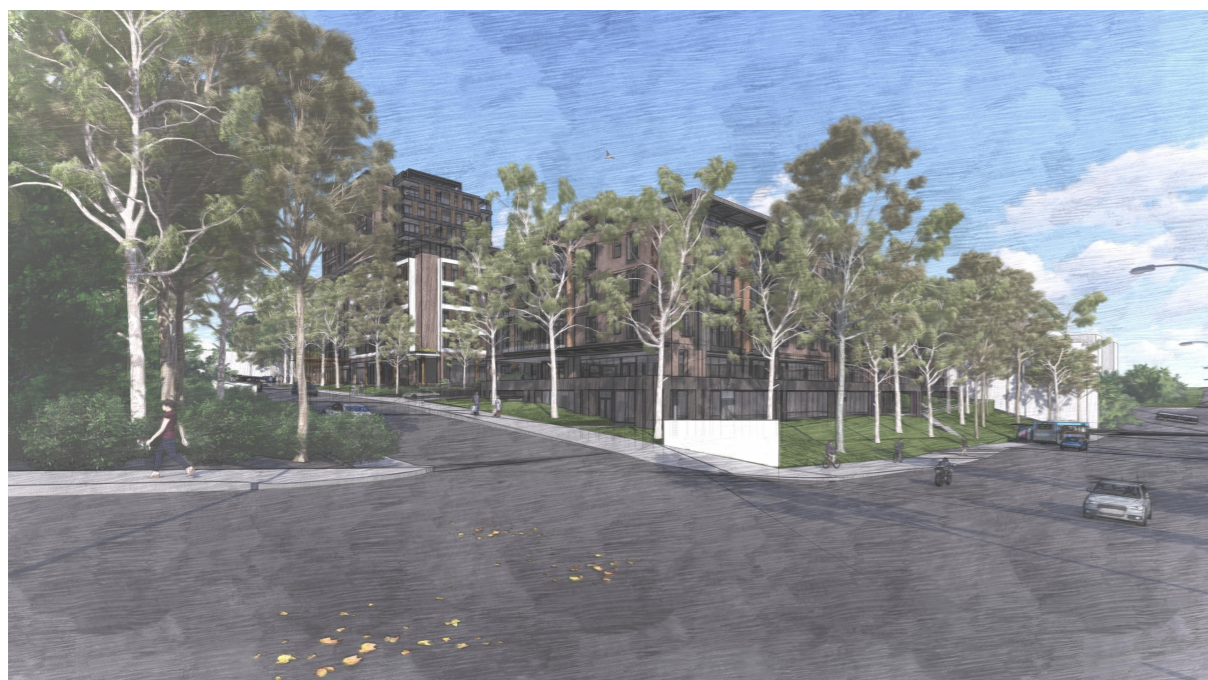




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VIEW FROM SKYLINE PL



VIEW FROM FRENCHS FOREST RD



ENTRANCE FROM SKYLINE PL

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 5 Skyline Place Frenchs Forest NSW 2086  
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**EXTERNAL VIEWS**

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING	<b>DA1201</b>
SUBSET:	3D VIEWS	ISSUE	<b>A</b>
DRAWN BY:	SU/WH/SP		

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)





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VIEW LOOKING SOUTH



GRADED TURF AREA WITH DENSE PLANTATION



COMMUNITY GARDEN



VIEW LOOKING NORTH




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 5 Skyline Place Frenchs Forest NSW 2086  
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**LANDSCAPED AREAS**

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE: AS SHOWN	DRAWING <b>DA1202</b>
SUBSET: 3D VIEWS	
DRAWN BY: SU/WH/SP	ISSUE <b>A</b>





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COMMON LOUNGE



COMMON LOUNGE



SWIMMING POOL



TERRACE LOUNGE



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PROJECT:  
**MIXED USE AND SENIORS LIVING DEVELOPMENT**  
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**COMMON AREAS**

**P A STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

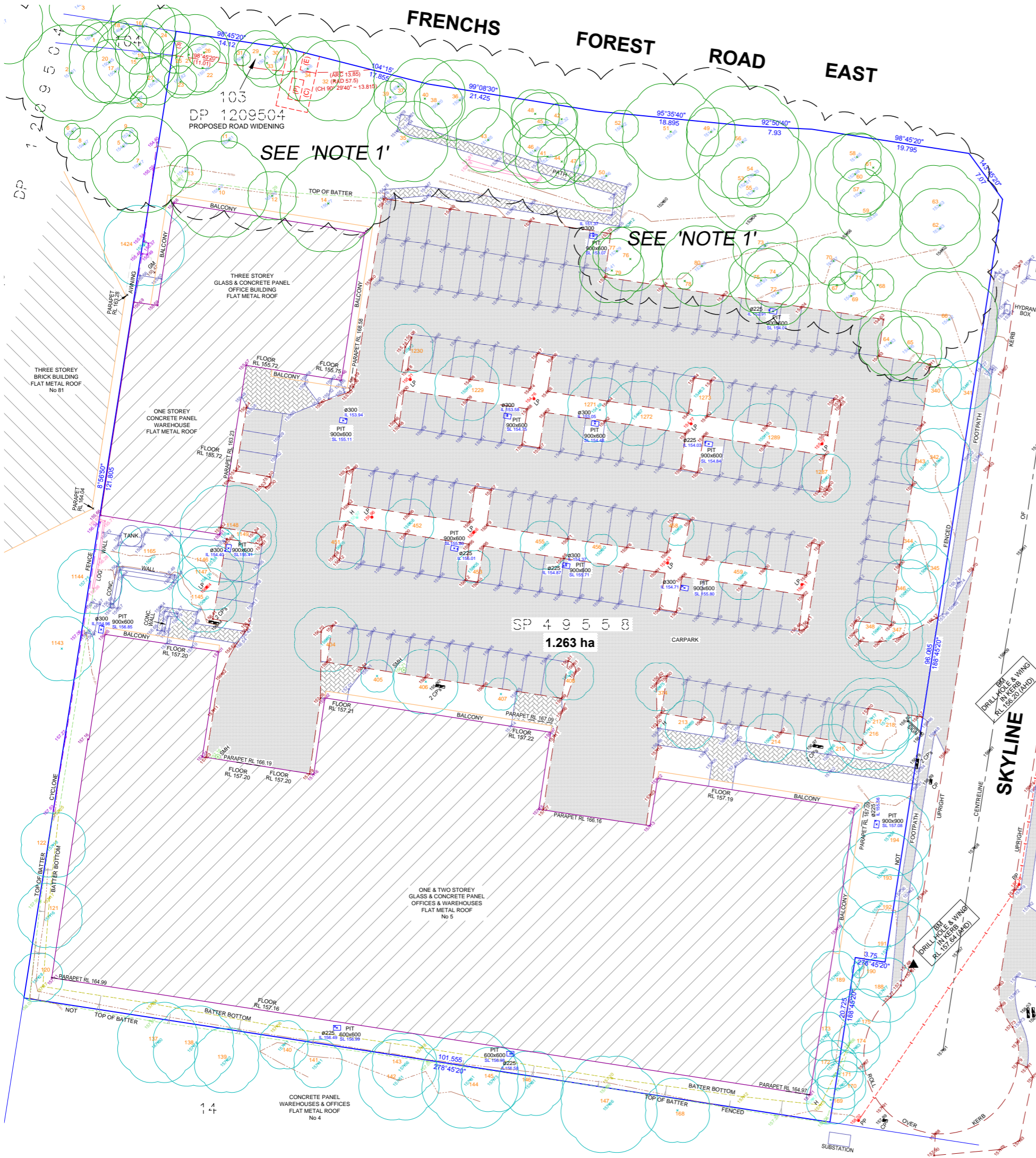
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SUBSET:	3D VIEWS	ISSUE	<b>A</b>
DRAWN BY:	SU/WH/SP		

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1)





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NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE. DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

LEGEND:

	PAVED AREA
	CONCRETE
	BUILDING
	ELECTRICITY LINE
IL	INVERT LEVEL
SL	PIT SURFACE LEVEL
PP	POWER POLE
CP	COMMUNICATION PIT
H	HYDRANT
LP	LIGHT POLE
GM	GAS METER
SMH	SEWER MANHOLE



- (E) PROPOSED EASEMENT FOR ELECTRICITY PURPOSES 2 WIDE (VIDE DP1174210)
- (C) PROPOSED RIGHT OF WAY & EASEMENT FOR ELECTRICITY PURPOSES 2 & 4 WID (VIDE DP1174210)
- (P) SUBSTATION PREMISES No 16373 (VIDE DP1174210)

NOTE 1: AREA INACCESSIBLE. DETAIL INFORMATION FROM SURVEY DATED 26.09.2015

NOTE: THIS PLAN IS PREPARED FOR DETAIL AND LEVEL PURPOSES ONLY AND AS SUCH THE BOUNDARIES OF THE LAND HAVE NOT BEEN SURVEYED OR MARKED. ANY STRUCTURES RELATED TO PHYSICAL FEATURES (BUILDINGS, TREES, ETC.) MUST BE CONFIRMED PRIOR TO FINAL DESIGN.

ALL SERVICES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THIS DETAIL SURVEY IS NOT A 'SURVEY' AS DEFINED BY THE SURVEYORS ACT 1929. IF ANY CONSTRUCTION IS PLANNED IT WOULD BE ADVISABLE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

AUSTRALIAN HEIGHT DATUM (AHD) HAS BEEN OBTAIN FROM GNSS OBSERVATIONS UTILISING CORS net - NSW. IF AHD HEIGHT IS CRITICAL ADDITIONAL SURVEY CONNECTIONS TO LOCAL CO-ORDINATED MARKS SHOULD BE MADE.

DISCLAIMER OF LIABILITIES TO ANY THIRD PARTIES: THIS PLAN IS MADE SOLELY FOR THE USE AND BENEFIT OF THE CLIENT NAMED ABOVE AND NO LIABILITY OR RESPONSIBILITY WHATSOEVER IS ACCEPTED TO ANY THIRD PARTY WHO MAY RELY ON THIS PLAN WHOLLY OR IN PART. ANY THIRD PARTIES ACTING OR RELYING ON THIS PLAN WHETHER WHOLLY OR IN PART ARE IN BREACH OF OUR COPYRIGHT AND DO SO AT THEIR OWN RISK.

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 5 Skyline Place Frenchs Forest NSW 2086  
 SP 49558

### SURVEY PLAN

**PA STUDIO**  
 LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

SCALE:	AS SHOWN	DRAWING	DA1301
SUBSET:	SURVEY	ISSUE	A

**chadwickcheng** consulting surveyors  
 suite 317/5 celebration drive newest business park new 2153  
 po box 7979 bailluhurst hills business centre new 2153  
 p: 88832622 f: 88832633 e: admin@ccca.net.au

PLAN SHOWING DETAILS & LEVELS OVER	SHEET 1 OF 2 SHEETS
No 5 SKYLINE PLACE, FRENCHS FOREST	REFERENCE
DATE: AHD 11.12.2017	37125 / D-MGA
DATE: PLATINO PROPERTIES	PRINCIPAL:

1/4



