

DEVELOPMENT APPLICATION

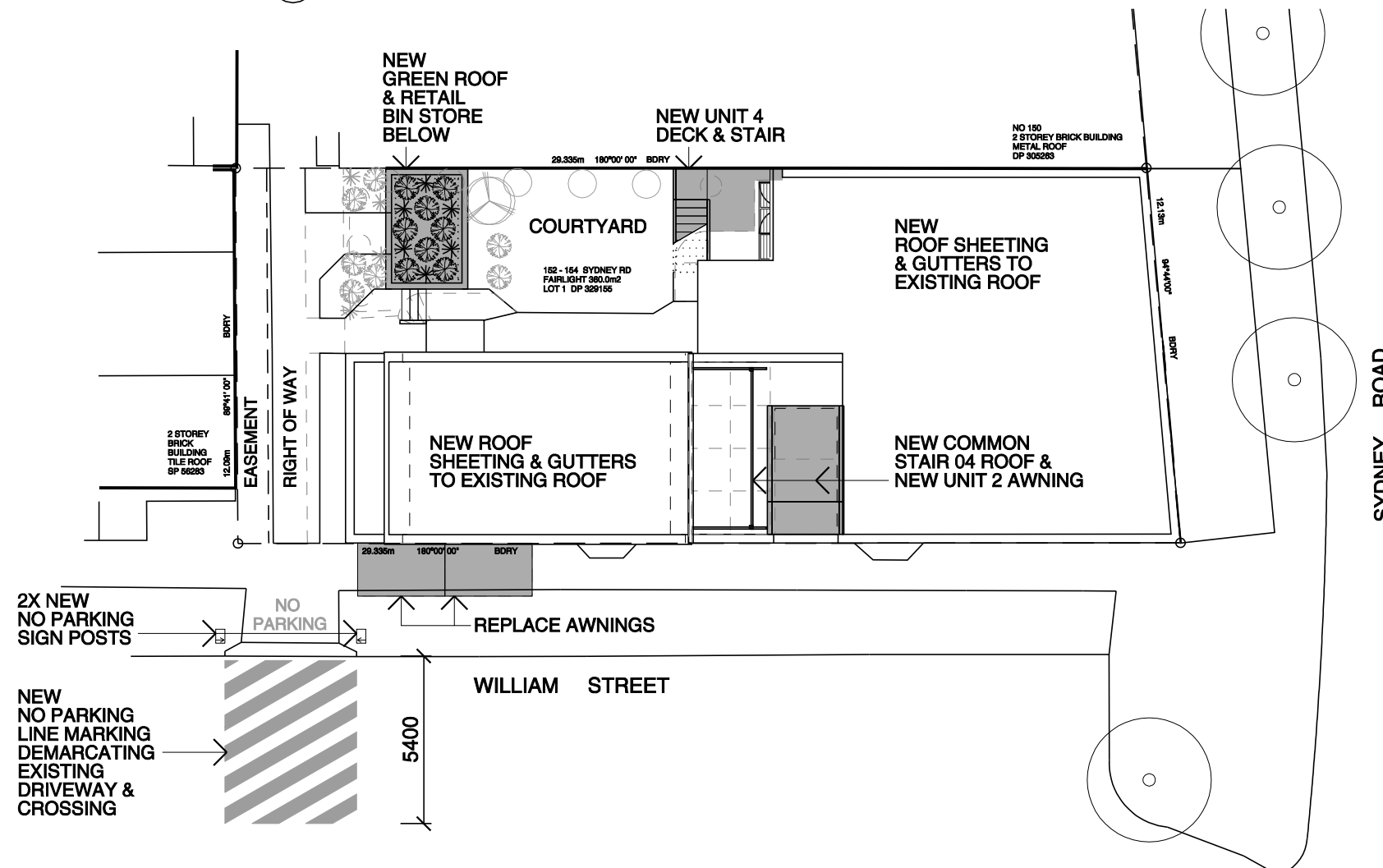
ADDITIONAL BUILDING AREA



02 ELEVATION WEST
SCALE 1:200



03 ELEVATION SOUTH
SCALE 1:200



01 SITE PLAN
SCALE 1:200



04 ELEVATION NORTH
SCALE 1:200

DA SUBMISSION

A	DA SUBMISSION	08/222
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE.
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

0m 2m 4m 8m 12m

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

COSTELLO+GRAHAM DESIGN
Suite 3 /36 Sydney Road, Manly NSW 2095 ©
Sydney, Australia
Telephone (02) 9977 1981
Email: office@costellograhamdesign.com.au
Robert Costello Nominated Architect Registration NSW 6610
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Title	NOTIFICATION PLAN
Scale @ A3	1 : 200
Project Ref No	SRSF 22104
Drawing no.	DA00 A
Revision	

NORTHERN BEACHES COUNCIL (FORMER MANLY) DEVELOPMENT APPLICATION SUMMARY

SITE AREA - 152-154 SYDNEY ROAD FAIRLIGHT = 360.0 m2
DENSITY SUBZONE B1 NEIGHBOURHOOD CENTER
MIN. SITE AREA 250m2
PERMISSIBLE FLOOR SPACE RATIO 1.0 :1
MAXIMUM ALLOWABLE FLOOR SPACE = 360.0m2
LEVEL 1 EXISTING GROSS FLOOR AREA
= 37.2 RETAIL + 7.0 RESIDENTIAL = 44.2m2
LEVEL 2 EXISTING GROSS FLOOR AREA
= 38.4+60.6 RETAIL + 35.9+9.2+80.4 RESIDENTIAL = 224.5m2
LEVEL 3 EXISTING GROSS FLOOR AREA
= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m2
LEVEL 4 EXISTING GROSS FLOOR AREA
= 0.0 RETAIL + 5.2+43.3 RESIDENTIAL = 48.5m2
TOTAL EXISTING GROSS FLOOR AREA
= 136.2m2 RETAIL + 387.3m2 RESIDENTIAL = 523.5m2

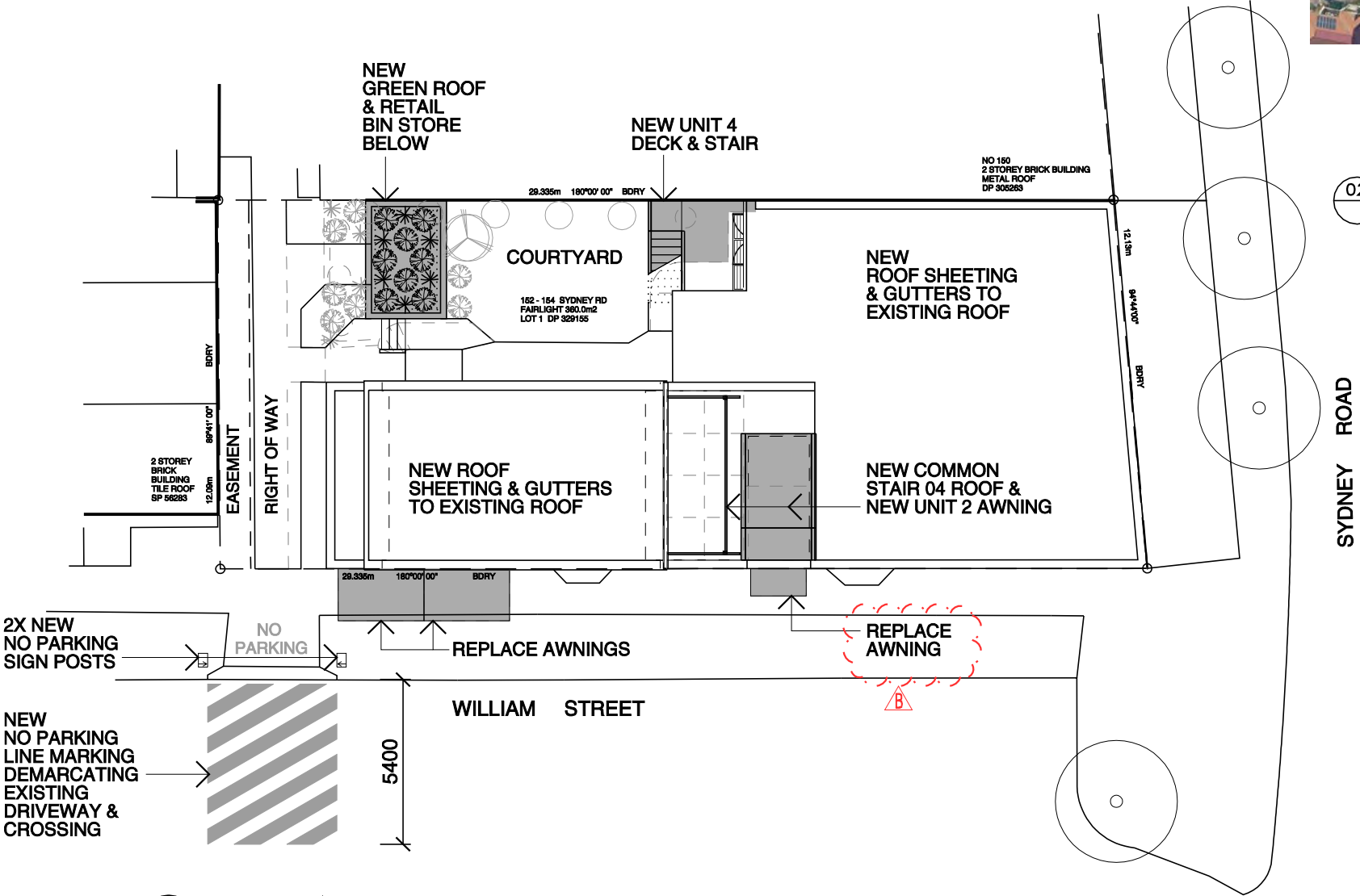
PROPOSED LEVEL 1 GROSS FLOOR AREA
= 37.2 + 6.5 RETAIL + 7.0 RESIDENTIAL = 50.7m2
PROPOSED LEVEL 2 GROSS FLOOR AREA
= 30.7+60.6 RETAIL + 43.9+9.2+80.4 RESIDENTIAL = 224.8m2
PROPOSED LEVEL 3 GROSS FLOOR AREA
= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m2
PROPOSED LEVEL 4 GROSS FLOOR AREA
= 0.0 RETAIL + 40.8 RESIDENTIAL = 40.8m2
TOTAL PROPOSED GROSS FLOOR AREA
= 135.0m2 RETAIL + 387.6m2 RESIDENTIAL = 522.6m2
TOTAL GROSS FLOOR AREA REDUCTION
= -1.2m2 RETAIL + 0.3m2 RESIDENTIAL = -0.9m2
PROPOSED SITE : FLOOR SPACE RATIO
= 360.0m2 / 522.6m2 = 146% = NON-COMPLIANT

REQUIRED TOS TOTAL OPEN SPACE AREA OS3 +3m
= 360.0 X 0.55 = 198.0m2
EXISTING TOS TOTAL OPEN SPACE AREA +3m MIN WIDTH
= 109.8+18.6 = 128.4m2 = 35.6% = NON COMPLIANT
PROPOSED TOS TOTAL OPEN SPACE AREA +3m MIN WIDTH
= 51.1+39.8+18.6= 109.5m2
= 30.4% = NON COMPLIANT
REQUIRED LANDSCAPE OPEN SPACE AREA OS4 +0.5m MIN WIDTH
= 198.0 X 35% = 69.3m2
PROPOSED LANDSCAPE OPEN SPACE +0.5m MIN WIDTH
= 13.3+5.0+3.4+4.0+30.6m2 = 56.3m2 = NON COMPLIANT
MAX TOS TOTAL OPEN SPACE ABOVE GROUND
= MAX 25% OF REQ'D TOS = 198.0 X 0.25 = 49.5m2
PROPOSED TOTAL OPEN SPACE ABOVE GROUND
= 18.6m2 = COMPLIANT

EXISTING PERVIOUS AREA = 13.5+7.6+5.9+52.2= 79.2m2
EXISTING IMPERVIOUS AREA = 360.0-79.2 = 280.8m2
PROPOSED PERVIOUS AREA = 13.5+5.0+3.4+4.0+41.2= 67.1m2
PROPOSED IMPERVIOUS AREA = 360.0 - 67.1 = 292.9m2
IMPERVIOUS AREA INCREASE = 292.9 - 290.8 = 12.1m2
IMPERVIOUS AREA % OF SITE AREA
= 292.9 / 360.0 = 81.4%
NORTHERN BEACHES COUNCIL OSD CHECKLIST_APPENDIX 16
REGION 3 ZONE 1 PART 4.3.2.2 - DEVELOPMENT PROPOSAL FOR
ALTERATIONS & ADDITIONS TO EXISTING DWELLINGS
POST DEVELOPMENT IMPERVIOUS AREA IS LESS THAN 50m2
POST DEVELOPMENT IMPERVIOUS AREA EXCEEDS 60% SITE AREA
ON SITE STORMWATER DETENTION REQUIRED



02 LOCATION PLAN
SCALE nts






01 SITE PLAN
SCALE 1:200

- DA01 SITE PLAN
- DA02 EXISTING PLANS
- DA03 EXISTING ELEVATIONS
- DA04 EXISTING SECTIONS
- DA05 SITE ANALYSIS SHADOWS & LANDSCAPE PLAN
- DA10 LEVEL 1 PLAN
- DA11 LEVEL 2 PLAN
- DA12 LEVEL 3 PLAN
- DA13 LEVEL 4 PLAN
- DA14 ROOF PLAN
- DA20 ELEVATIONS 01
- DA21 ELEVATIONS 02
- DA22 ELEVATIONS 03
- DA25 SECTIONS 01
- DA26 SECTIONS 02
- DA95 STATEMENT OF ENVIRONMENTAL EFFECTS
- DA96 WASTE MANAGEMENT PLAN

ARCHITECTURAL DOCUMENT LIST

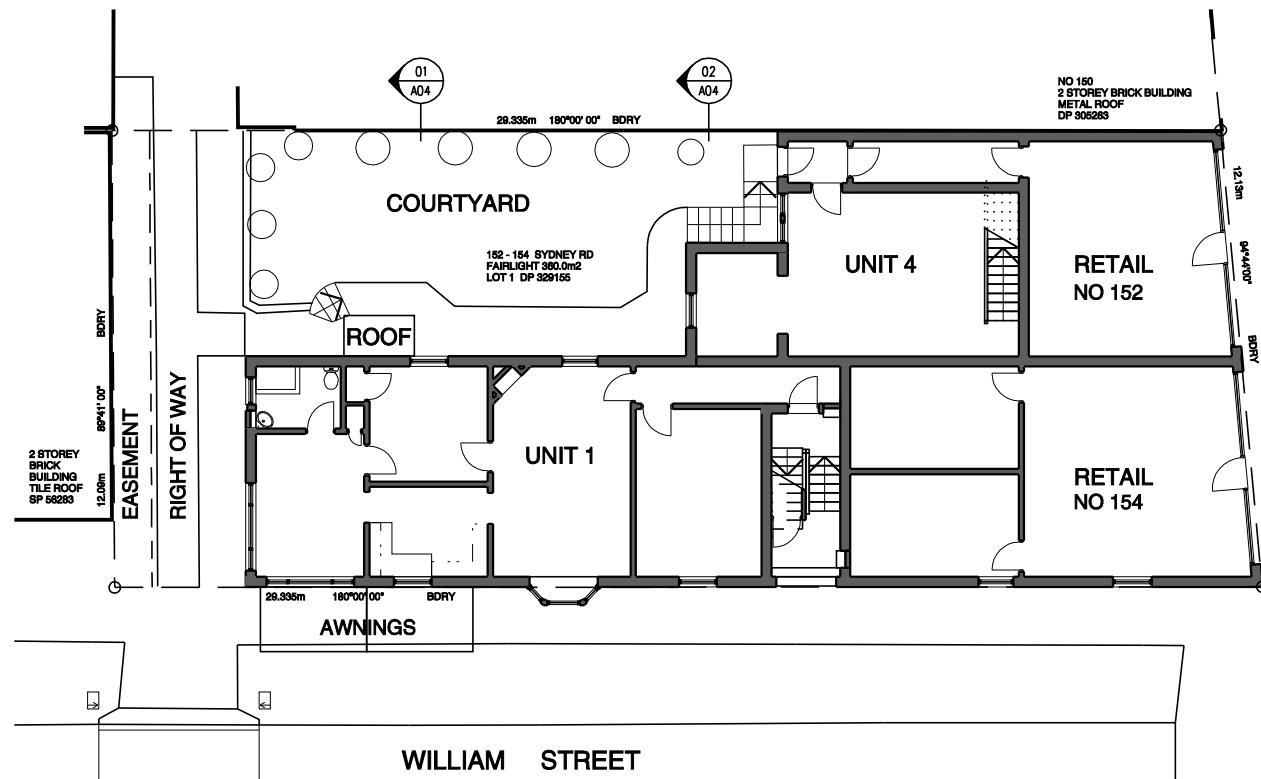
DEVELOPMENT APPLICATION

DA SUBMISSION

B AWININGS WINDOW NOS UPDATED 080223			<div></div> <div></div>	FOR EXISTING AND NEW BUILDING WORKS			PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4 &			COSTELLO+GRAHAM DESIGN			<div></div>	Title SITE PLAN	
A DA SUBMISSION 081222				CONFIRM ALL DIMENSIONS LEVELS SQUARE			COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094			Suite 3 /36 Sydney Road, Manly NSW 2095 © Sydney, Australia				Scale @ A3 1 : 200	
P3 PRE DA MEETING 221108				PLUMB & BOUNDARIES ON SITE.						Telephone (02) 9977 1981				Project Ref No SRFR 22104	
P2 ISSUED FOR CO-ORDINATION 051022				DIMENSIONS SHOW FINISHED WALL THICKNESS			LOT 1 DP 329155			Email: office@costellograhamdesign.com.au				Drawing no.	
P1 INITIAL ISSUE 120922				USE FIGURED DIMENSIONS ONLY DO NOT SCALE			FOR PHILIP & NIGEL ROSE			Robert Costello Nominated Architect Registration NSW 6610				Revision	
Issue Amendment Date										ARCHITECTS				DA01 B	

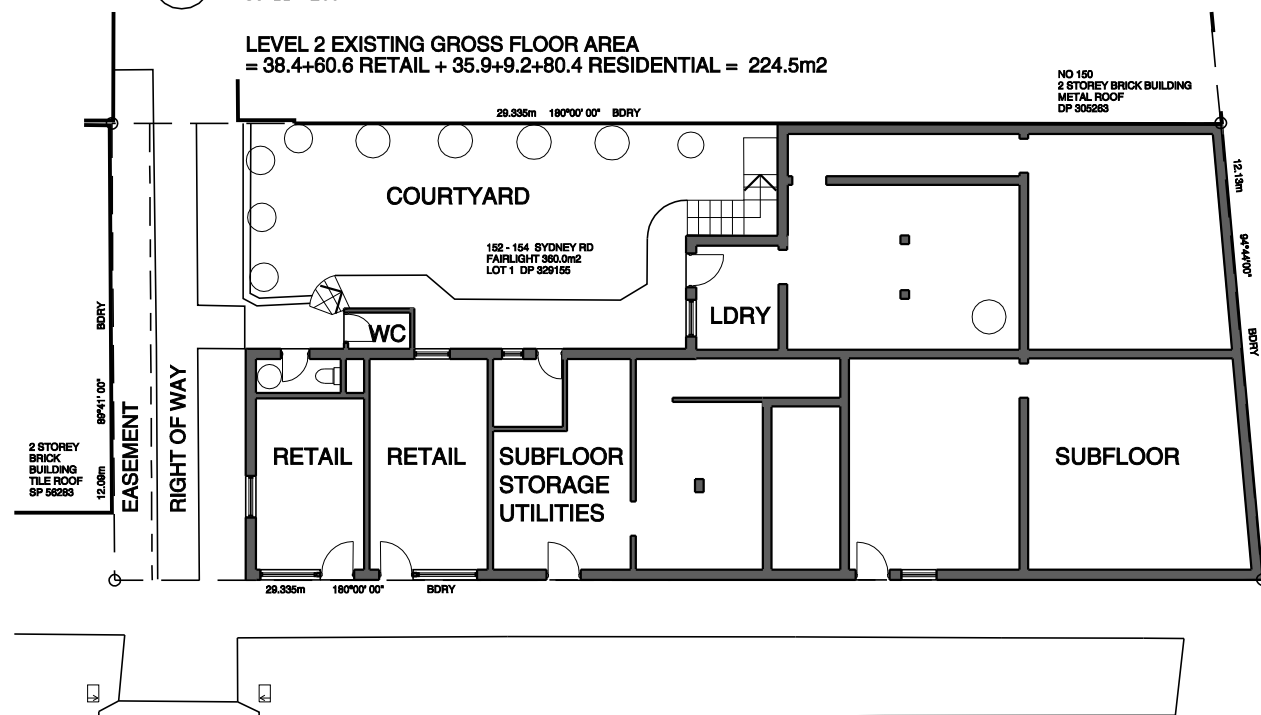
DEVELOPMENT APPLICATION

EXISTING WALL



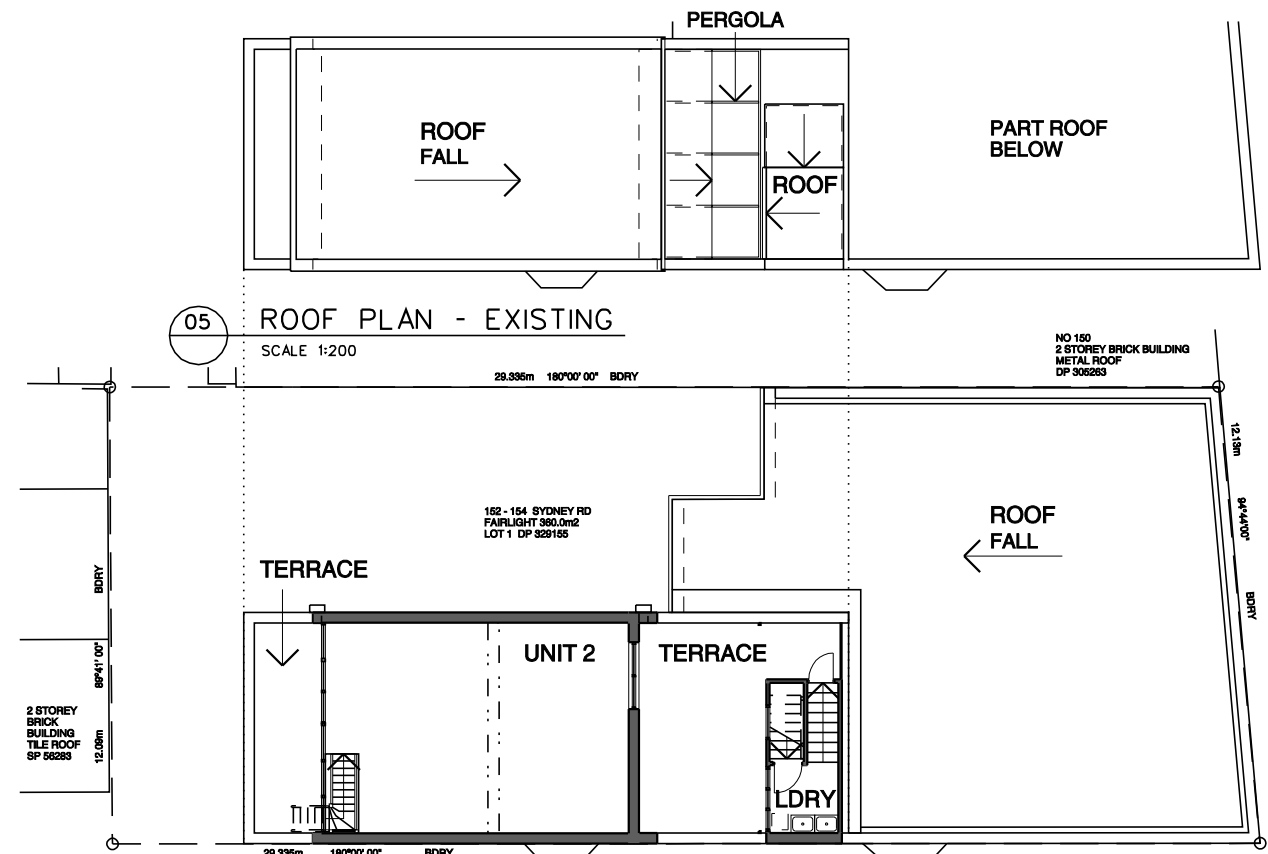
02 LEVEL 2 PLAN - EXISTING
SCALE 1:200

LEVEL 2 EXISTING GROSS FLOOR AREA
= 38.4+60.6 RETAIL + 35.9+9.2+80.4 RESIDENTIAL = 224.5m²



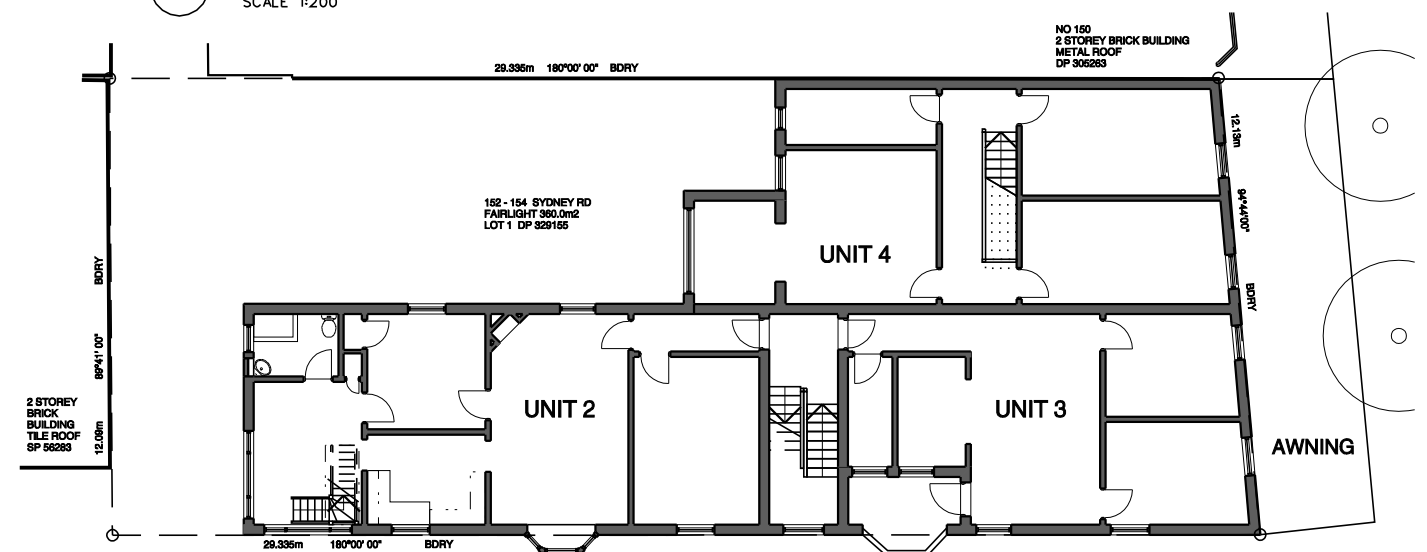
01 LEVEL 1 PLAN - EXISTING
SCALE 1:200

LEVEL 1 EXISTING GROSS FLOOR AREA
= 37.2 RETAIL + 7.0 RESIDENTIAL = 44.2m²



04 LEVEL 4 PLAN - EXISTING
SCALE 1:200

LEVEL 4 EXISTING GROSS FLOOR AREA
= 0.0 RETAIL + 5.2+43.3 RESIDENTIAL = 48.5m²



LEVEL 3 EXISTING GROSS FLOOR AREA
= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m²

TOTAL EXISTING GROSS FLOOR AREA
= 136.2m² RETAIL + 387.3m² RESIDENTIAL = 523.5m²

NOTE:
THE DRAWING INFORMATION SHOWN
REPRESENTS A COMPILATION &
INTERPRETATION OF SURVEY DATA
& EXISTING CONDITION INFORMATION
PROVIDED BY OTHERS + SITE
INFORMATION OBTAINED BY
COSTELLO + GRAHAM DESIGN
CONFIRM THE EXISTING CONDITION
ON SITE AS DISCREPANCIES BETWEEN
DATA MAY HAVE OCCURED

DA SUBMISSION

A	DA SUBMISSION	08/222
P5	PRE DA MEETING	221/08
P4	ISSUED FOR CO-ORDINATION	05/022
P3	ISSUE FOR REVIEW	210722
Issue Amendment	Date	



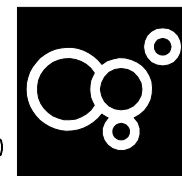
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0m 2m 4m 8m 12m

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COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

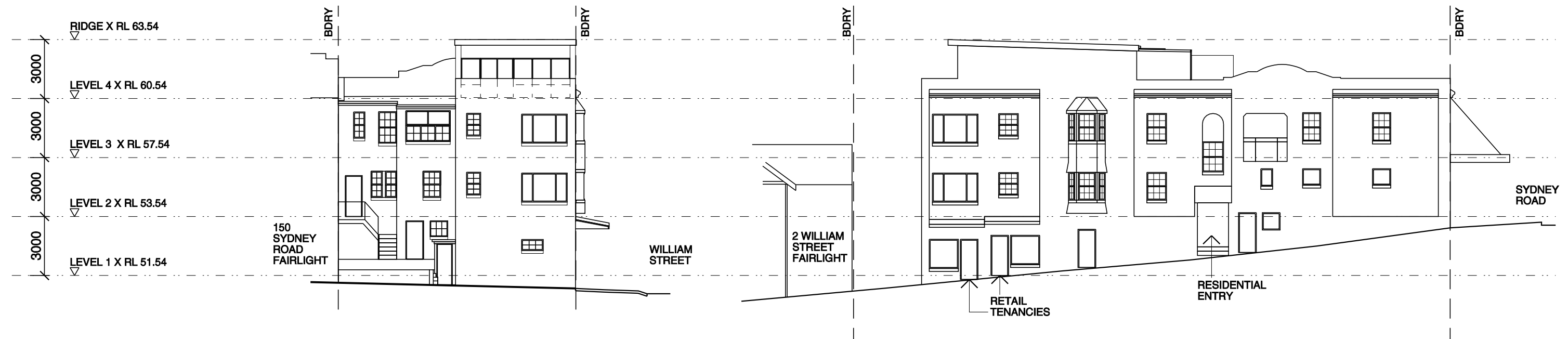
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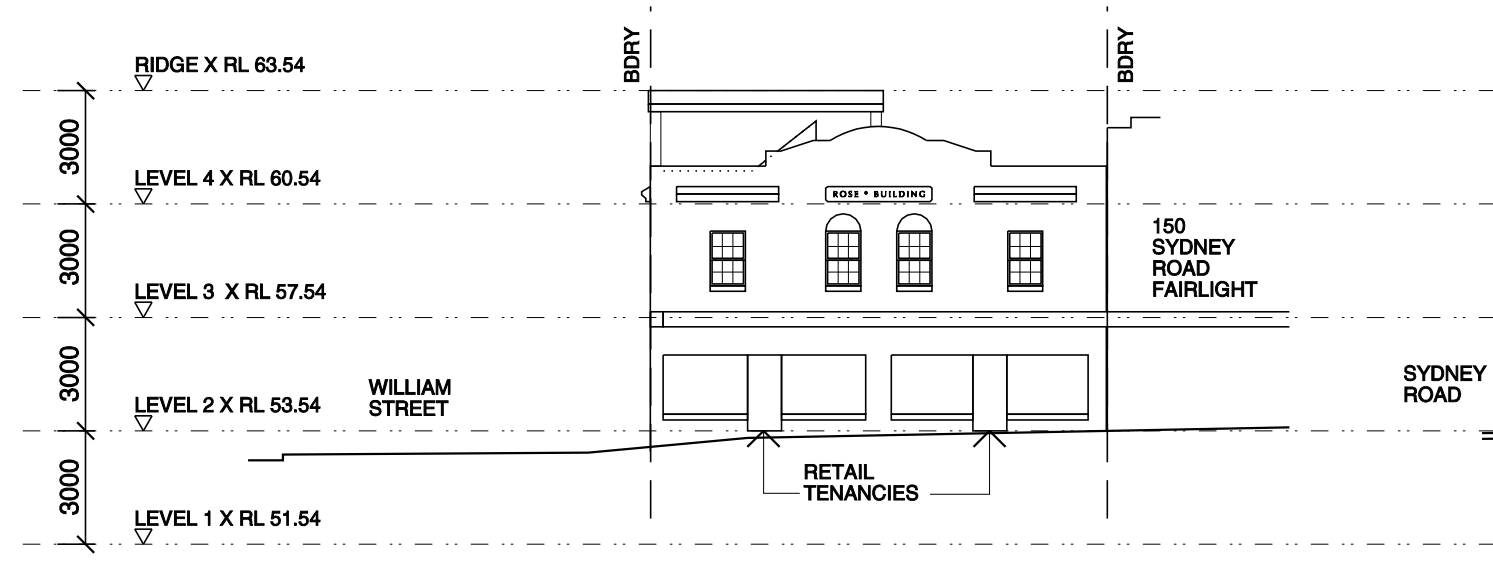
Title	EXISTING PLANS
Scale @ A3	1 : 200
Project Ref No	SRSF 22104
Drawing no.	DA02 A
Revision	

DEVELOPMENT APPLICATION

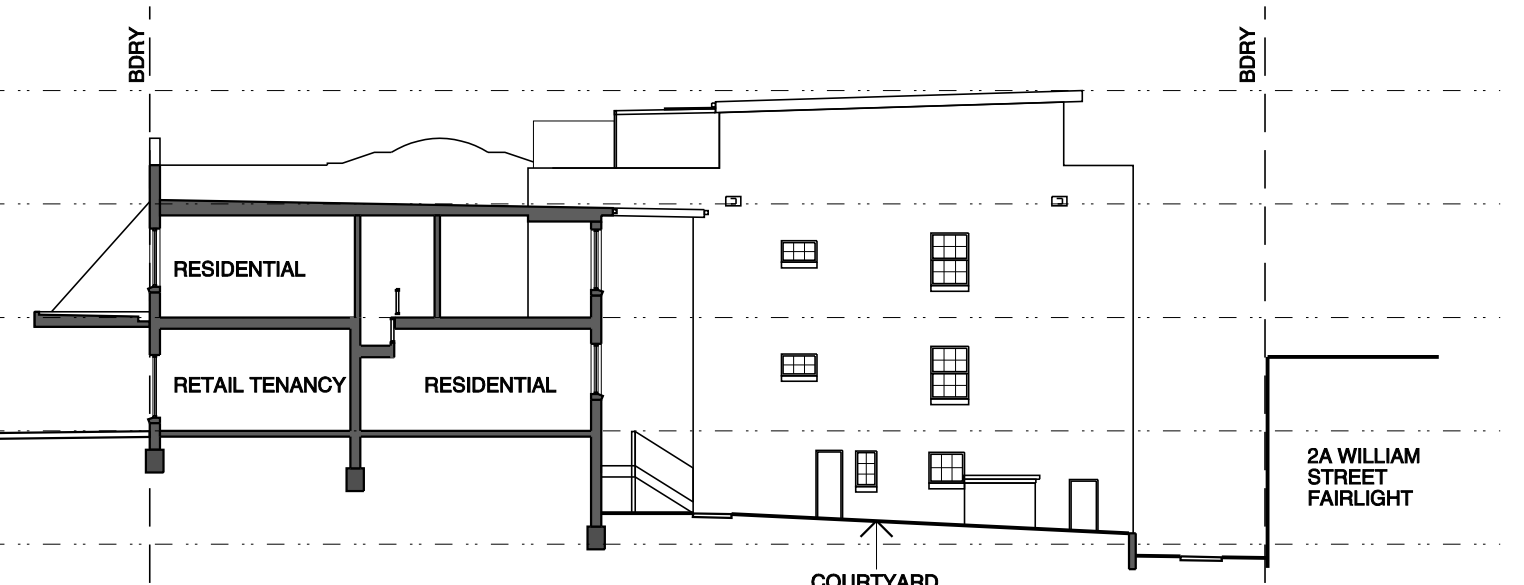


02 ELEVATION NORTH - EXISTING
SCALE 1:200

04 ELEVATION WEST - EXISTING - WILLIAM STREET
SCALE 1:200



03 ELEVATION SOUTH - EXISTING - SYDNEY ROAD
SCALE 1:200



03 ELEVATION EAST - EXISTING
SCALE 1:200



152 SYDNEY RD
UNIT LOCATED AT REAR
OF BLOCK



LOCATION
CNR SYDNEY RD & WILLIAM ST



WEST ELEVATION
WILLIAM ST



ENTRANCE
WILLIAM ST



NORTH WEST VIEW
FROM WILLIAM ST



NORTH ELEVATION

DA SUBMISSION

A	DA SUBMISSION	081222
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
P2	SURVEY DATA ADDED	180722
P1	INITIAL ISSUE	100622
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS
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PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
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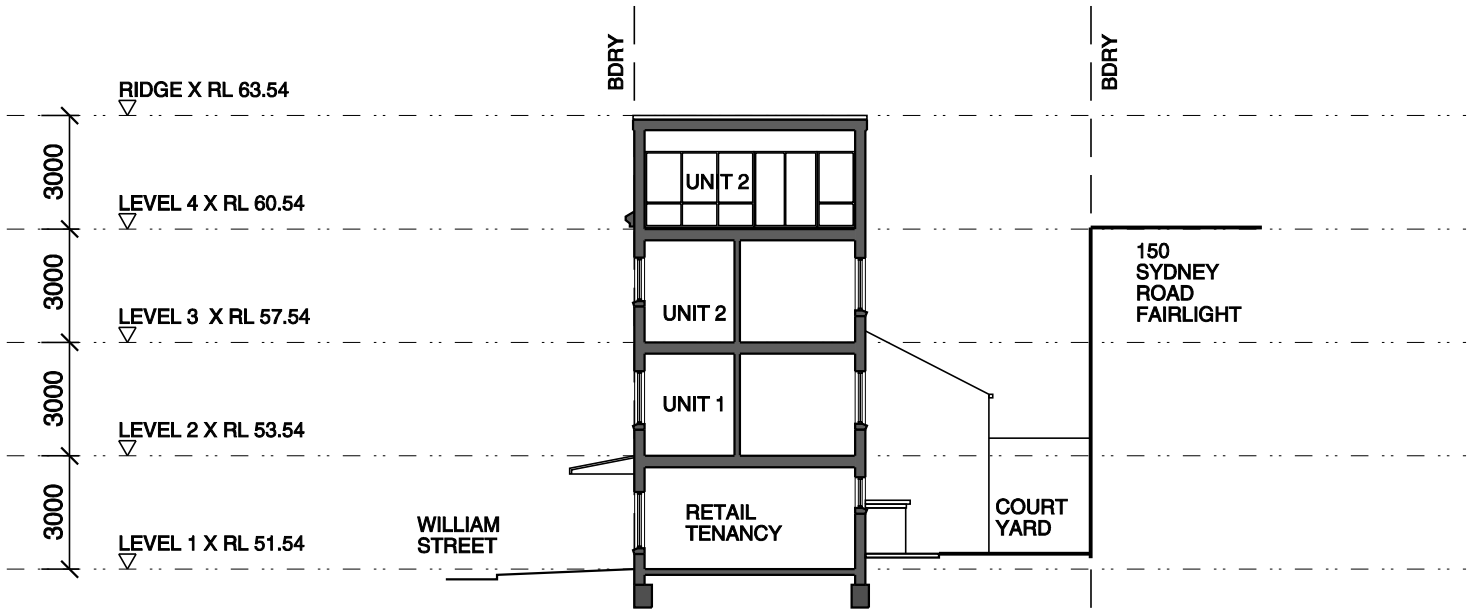


Title	EXISTING ELEVATIONS
Scale @ A3	1 : 200
Project Ref No	SRSF 22104
Drawing no.	DA03 A
Revision	

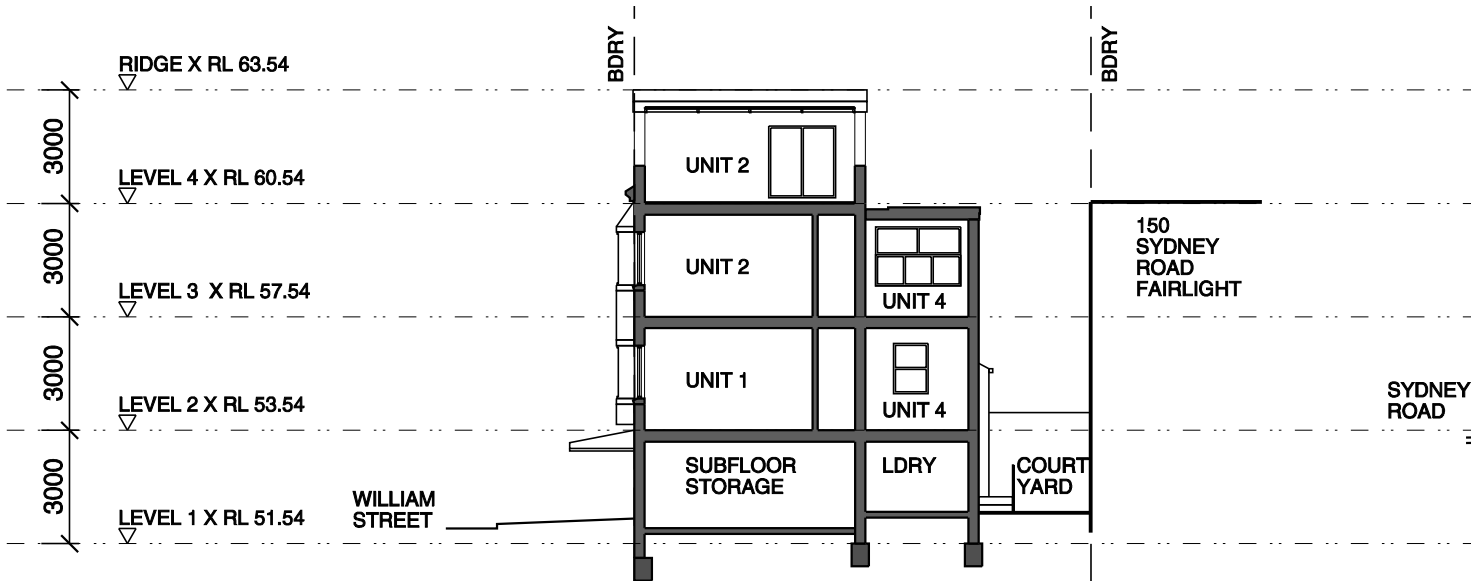
EXISTING WALL

DEVELOPMENT APPLICATION

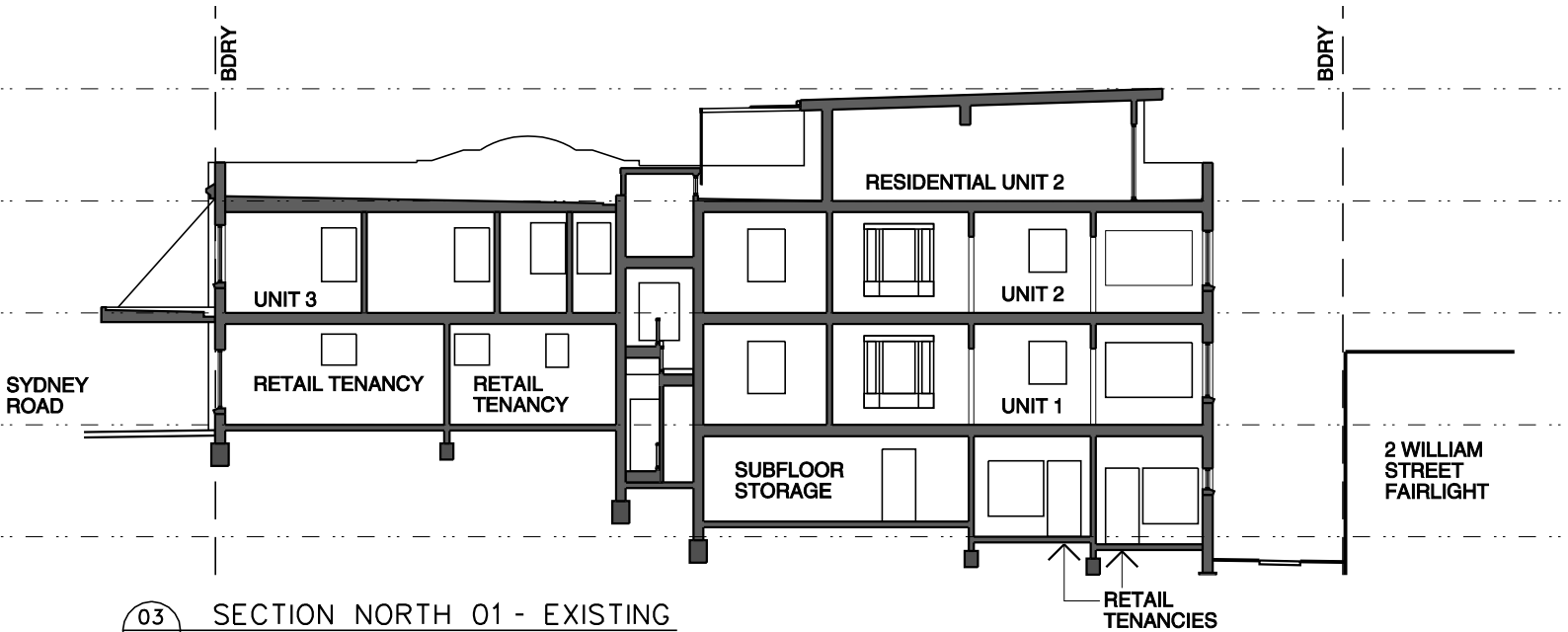
NOTE:
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INFORMATION OBTAINED BY
COSTELLO + GRAHAM DESIGN
CONFIRM THE EXISTING CONDITION
ON SITE AS DISCREPANCIES BETWEEN
DATA MAY HAVE OCCURED



01 SECTION EAST 01 - EXISTING
SCALE 1:200



02 SECTION EAST 02 - EXISTING
SCALE 1:200



03 SECTION NORTH 01 - EXISTING
SCALE 1:200

DA SUBMISSION

A	DA SUBMISSION	081222
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
P2	ISSUE FOR REVIEW	210722
P1	INITIAL ISSUE	180722
Issue Amendment		Date

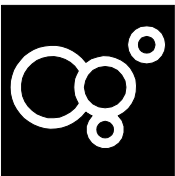
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0m 2m 4m 8m 12m

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
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ARCHITECTS



Title	EXISTING SECTIONS
Scale @ A3	1 : 200
Project Ref No	SRSF 22104
Drawing no.	DA04 A
Revision	

DEVELOPMENT APPLICATION

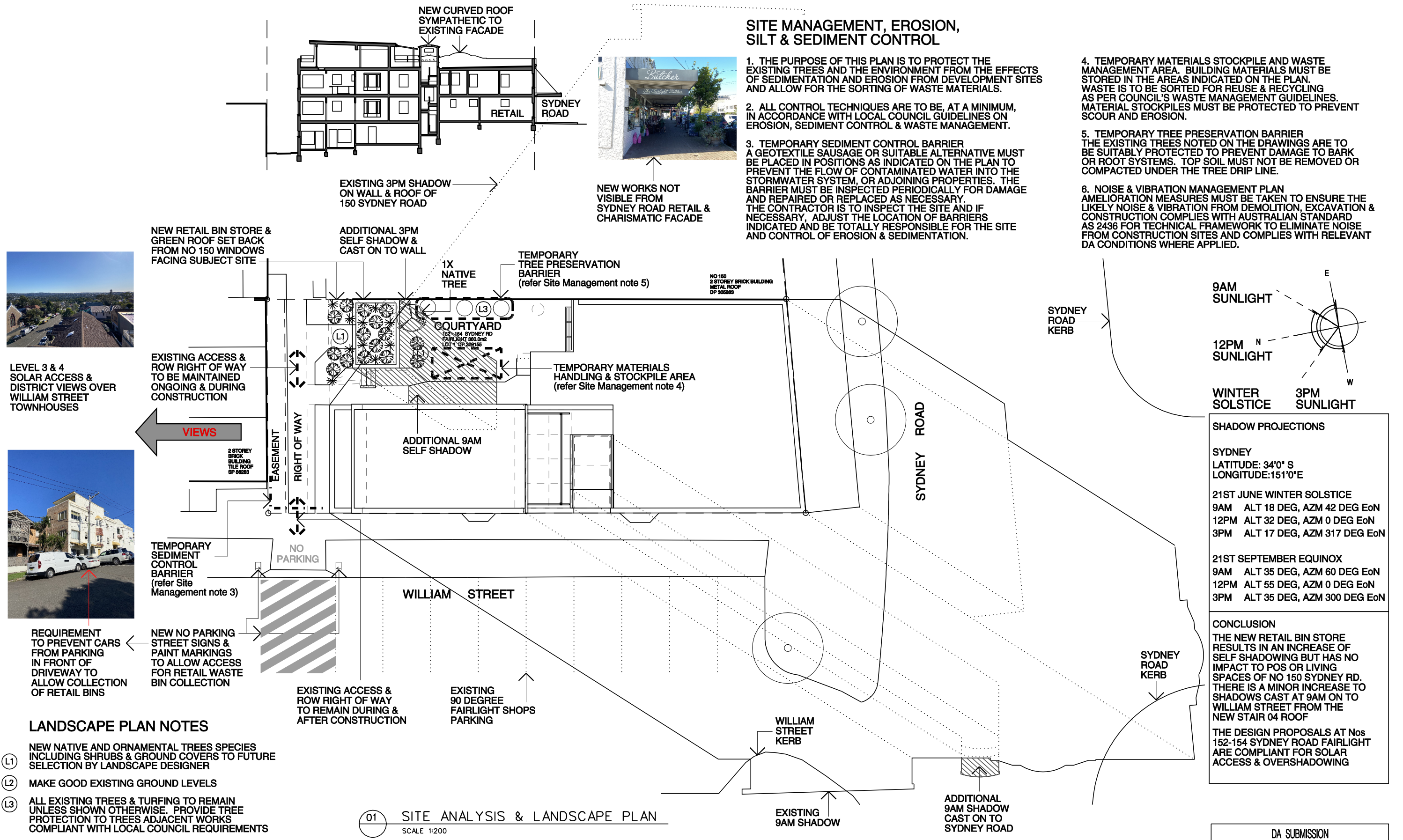
SITE MANAGEMENT, EROSION, SILT & SEDIMENT CONTROL

1. THE PURPOSE OF THIS PLAN IS TO PROTECT THE EXISTING TREES AND THE ENVIRONMENT FROM THE EFFECTS OF SEDIMENTATION AND EROSION FROM DEVELOPMENT SITES AND ALLOW FOR THE SORTING OF WASTE MATERIALS.
2. ALL CONTROL TECHNIQUES ARE TO BE, AT A MINIMUM, IN ACCORDANCE WITH LOCAL COUNCIL GUIDELINES ON EROSION, SEDIMENT CONTROL & WASTE MANAGEMENT.
3. TEMPORARY SEDIMENT CONTROL BARRIER A GEOTEXTILE SAUSAGE OR SUITABLE ALTERNATIVE MUST BE PLACED IN POSITIONS AS INDICATED ON THE PLAN TO PREVENT THE FLOW OF CONTAMINATED WATER INTO THE STORMWATER SYSTEM, OR ADJOINING PROPERTIES. THE BARRIER MUST BE INSPECTED PERIODICALLY FOR DAMAGE AND REPAIRED OR REPLACED AS NECESSARY. THE CONTRACTOR IS TO INSPECT THE SITE AND IF NECESSARY, ADJUST THE LOCATION OF BARRIERS INDICATED AND BE TOTALLY RESPONSIBLE FOR THE SITE AND CONTROL OF EROSION & SEDIMENTATION.

4. TEMPORARY MATERIALS STOCKPILE AND WASTE MANAGEMENT AREA. BUILDING MATERIALS MUST BE STORED IN THE AREAS INDICATED ON THE PLAN. WASTE IS TO BE SORTED FOR REUSE & RECYCLING AS PER COUNCIL'S WASTE MANAGEMENT GUIDELINES. MATERIAL STOCKPILES MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

5. TEMPORARY TREE PRESERVATION BARRIER THE EXISTING TREES NOTED ON THE DRAWINGS ARE TO BE SUITABLY PROTECTED TO PREVENT DAMAGE TO BARK OR ROOT SYSTEMS. TOP SOIL MUST NOT BE REMOVED OR COMPACTED UNDER THE TREE DRIP LINE.

6. NOISE & VIBRATION MANAGEMENT PLAN AMELIORATION MEASURES MUST BE TAKEN TO ENSURE THE LIKELY NOISE & VIBRATION FROM DEMOLITION, EXCAVATION & CONSTRUCTION COMPLIES WITH AUSTRALIAN STANDARD AS 2436 FOR TECHNICAL FRAMEWORK TO ELIMINATE NOISE FROM CONSTRUCTION SITES AND COMPLIES WITH RELEVANT DA CONDITIONS WHERE APPLIED.



A	DA SUBMISSION	08/222
P2	PRE DA MEETING	22/108
P1	INITIAL ISSUE	13/1022
Issue	Amendment	Date



FOR EXISTING AND NEW BUILDING WORKS
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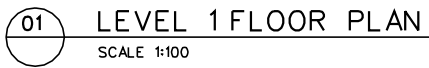
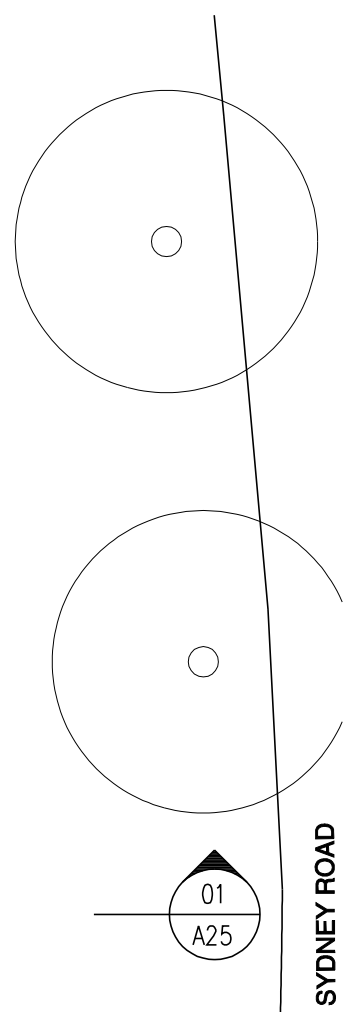
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
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Title	SITE ANALYSIS & LANDSCAPE PLAN
Scale @ A3	1 : 200
Project Ref No	SRSF 22104
Drawing no.	DA05 A
Revision	



DA SUBMISSION

Title	LEVEL 1 PLAN
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA10
Revision	B

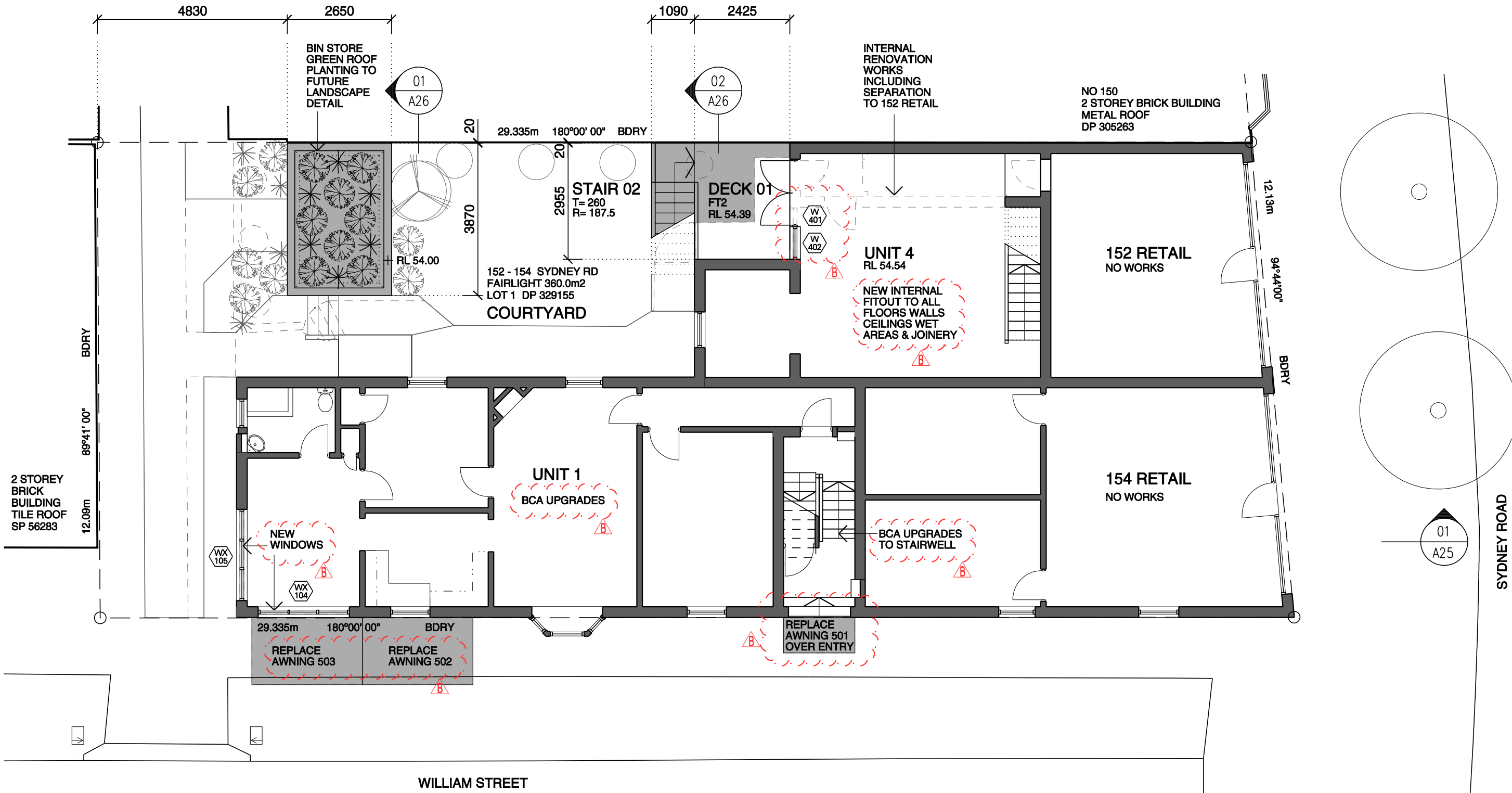
NEW WALL

EXISTING WALL

REMOVE EXISTING

ADDITIONAL BUILDING AREA

DEVELOPMENT APPLICATION



01 LEVEL 2 FLOOR PLAN
SCALE 1:100

LEVEL 2 EXISTING GROSS FLOOR AREA
= 38.4+60.6 RETAIL + 35.9+9.2+80.4 RESIDENTIAL = 224.5m²
PROPOSED LEVEL 2 GROSS FLOOR AREA
= 30.7+60.6 RETAIL + 43.9+9.2+80.4 RESIDENTIAL = 224.8m²

DA SUBMISSION

B	AWNINGS WINDOWS UPDATED	080223
A	DA SUBMISSION	081222
P3	PRE DA MEETING	221108
P2	ISSUED FOR CO-ORDINATION	051022
P1	INITIAL ISSUE	090922
Issue	Amendment	Date



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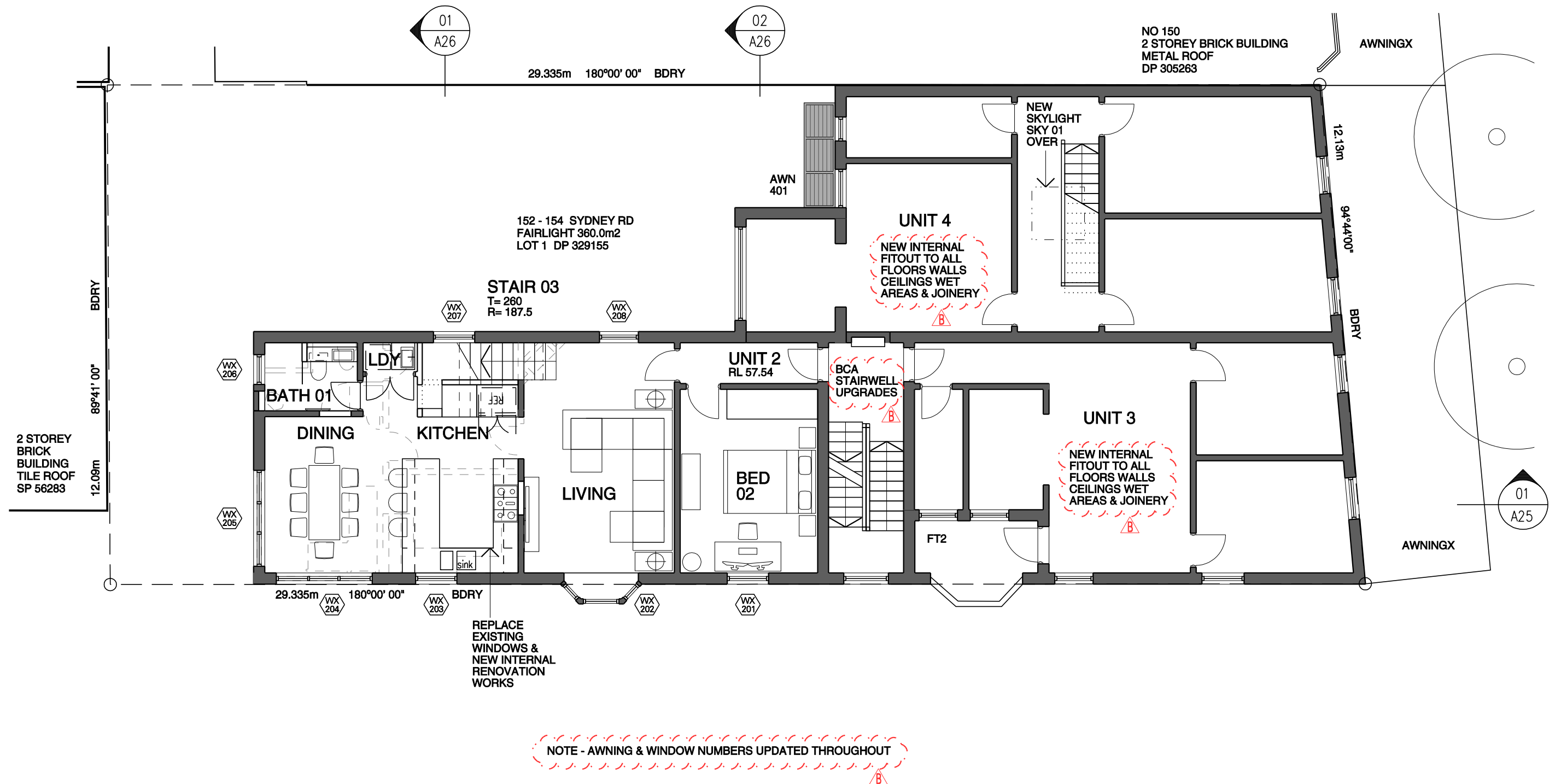
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Title	LEVEL 2 PLAN
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA11
Revision	B

DEVELOPMENT APPLICATION



01 LEVEL 3 FLOOR PLAN
SCALE 1:100

LEVEL 3 EXISTING GROSS FLOOR AREA
= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m²

PROPOSED LEVEL 3 GROSS FLOOR AREA
= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m²

DA SUBMISSION

B	AWNINGS WINDOW NOS UPDATED	080223
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0m 1m 2m 4m 6m

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
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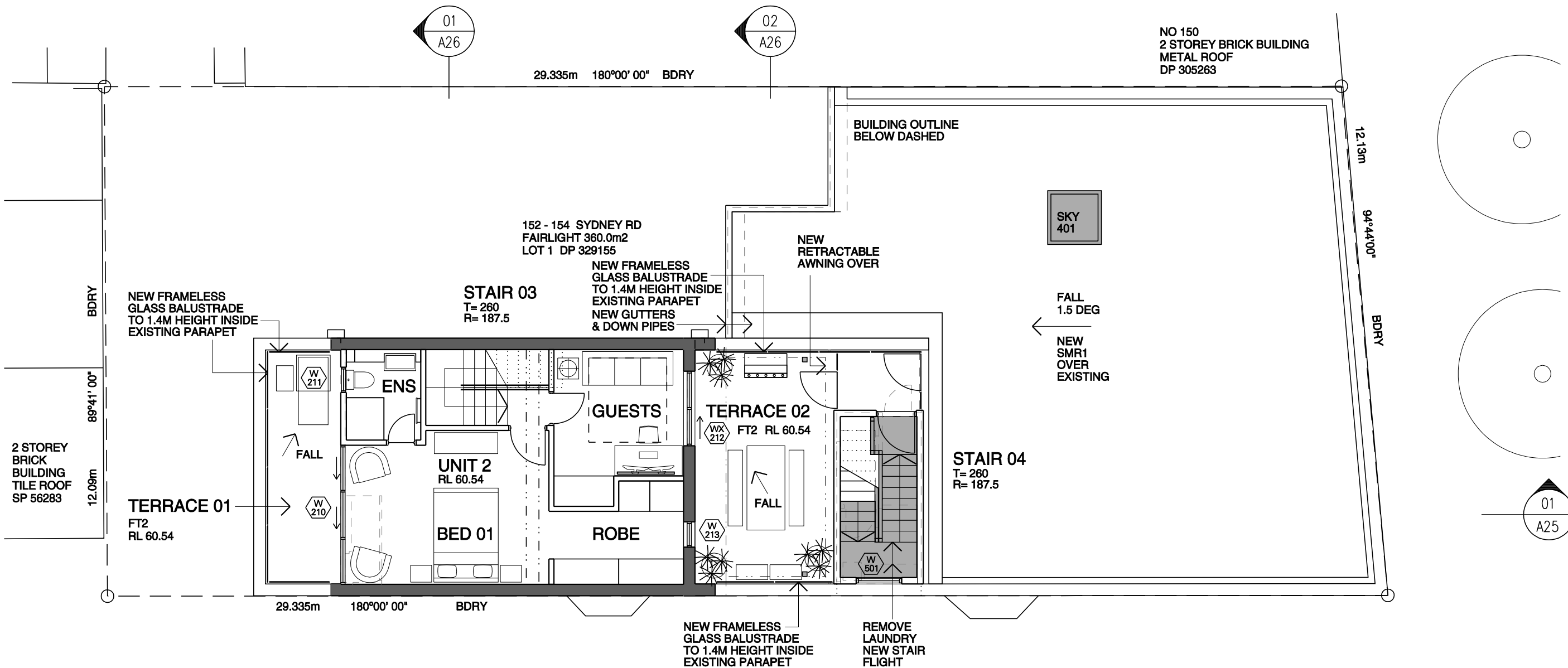
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Title	LEVEL 3 PLAN
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA12 B
Revision	

DEVELOPMENT APPLICATION



NOTE - AWNING WINDOW & SKYLIGHT NUMBERS UPDATED THROUGHOUT

01 LEVEL 4 FLOOR PLAN
SCALE 1:100

LEVEL 4 EXISTING GROSS FLOOR AREA
= 0.0 RETAIL + 5.2+43.3 RESIDENTIAL = 48.5m2

PROPOSED LEVEL 4 GROSS FLOOR AREA
= 0.0 RETAIL + 40.8 RESIDENTIAL = 40.8m2

DA SUBMISSION

B	AWNINGS WINDOW NOS UPDATED	080223
A	DA SUBMISSION	081222
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
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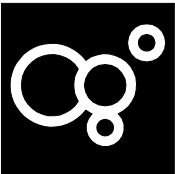


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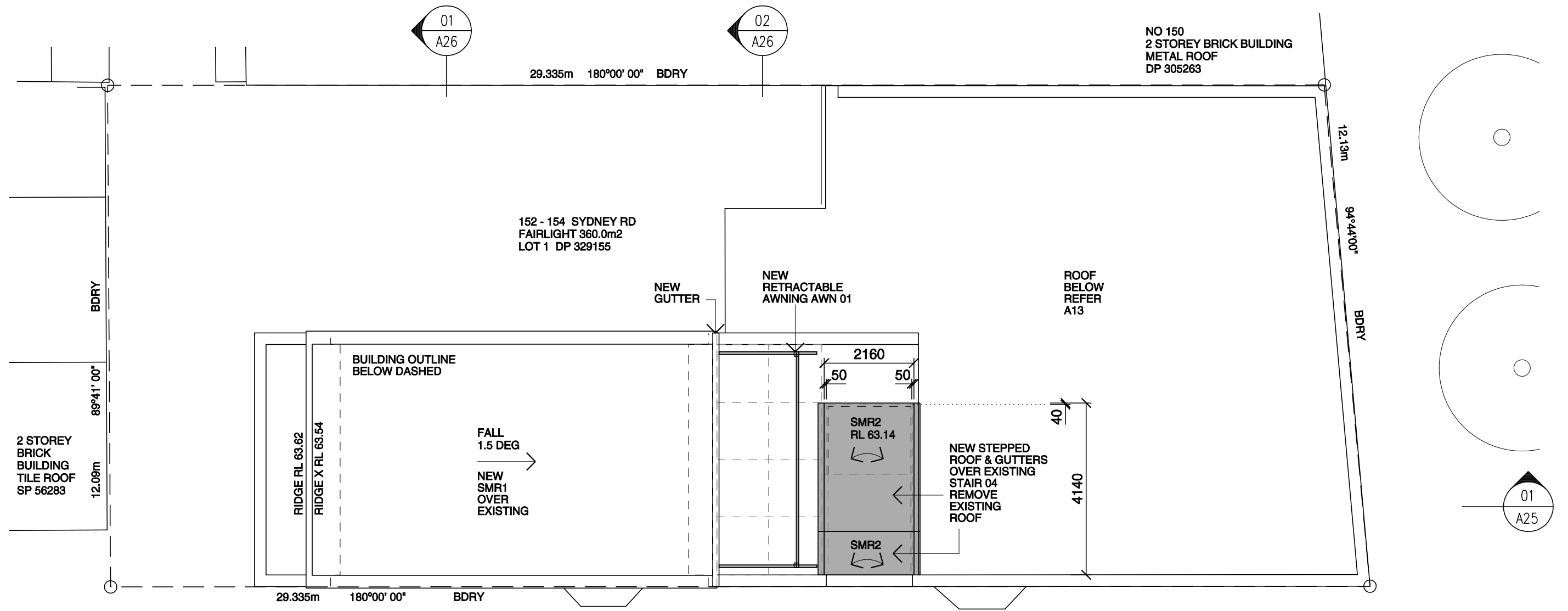
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ARCHITECTS



Title	LEVEL 4 PLAN
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA13 B
Revision	

DEVELOPMENT APPLICATION



01 ROOF PLAN
SCALE 1:100

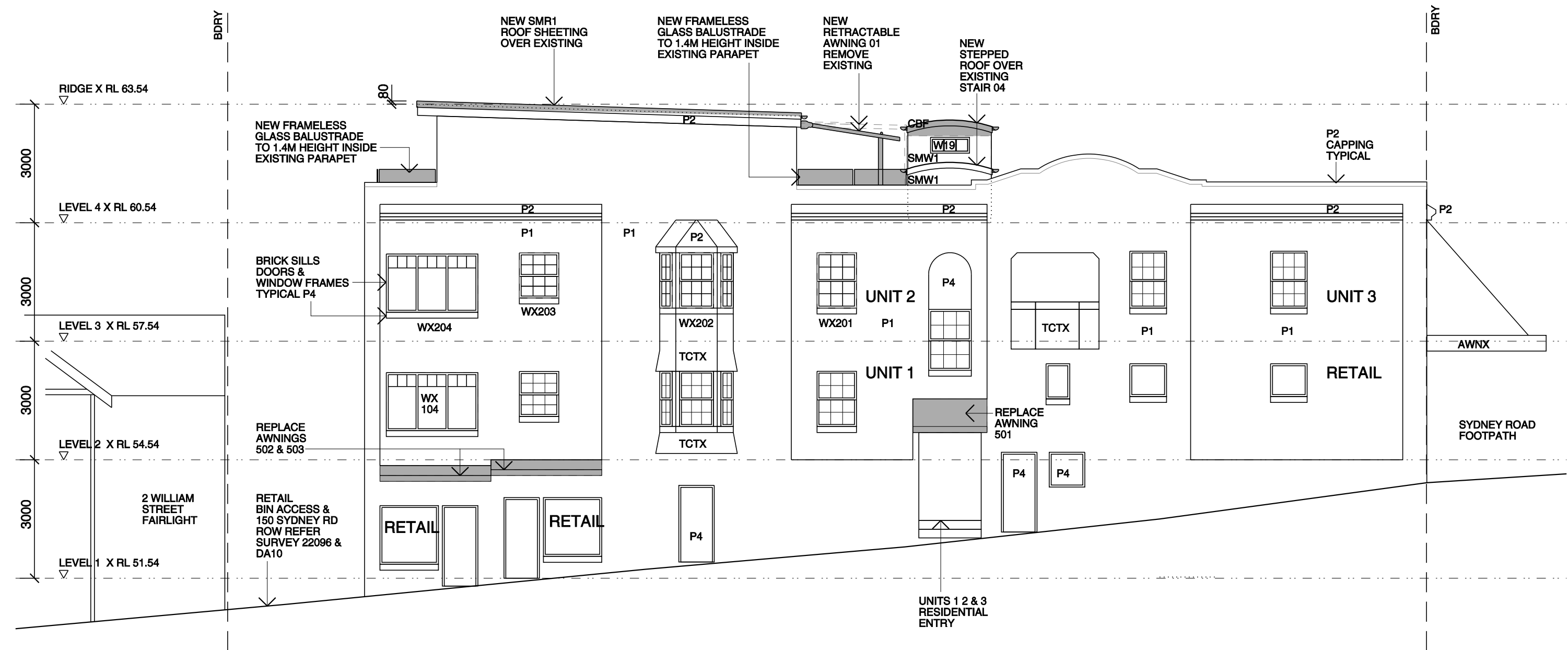
DA SUBMISSION

AWN_ = AWNING NUMBER_
CBF = COLORBOND FASCIA
CJ = CONTROL JOINT
CLL = CLOTHES LINE
COS = CONFIRM ON SITE
D_ = DOOR NUMBER_
DP = DOWN PIPE
EMTR = ELECTRICAL METER
EFW = EXHAUST FAN WALL MOUNTED
FCU = FAN CONDENSOR UNIT
FGB = FRAMELESS GLASS BALUSTRADE
FGL = FINISHED GROUND LEVEL
G_ = GATE NUMBER_
L_ = LOUVRE NUMBER_
MTB = METAL & TIMBER BALUSTRADE
NCS = NON COMBUSTIBLE SOFFIT
OPQ = OPAQUE
OSD = ON SITE STORM WATER DETENTION
P_ = PAINT TYPE_
PP = PITCHING POINT
PRS = POLYCARBONATE ROOF SHEETING
PVP = PHOTOVOLTAIC PANEL
RC = REINFORCED CONCRETE
RL = RELATIVE LEVEL TO AHD
RP_ = RENDER & PAINT TYPE_
RT_ = ROOF TILE TYPE_
RWH = RAIN WATER HEAD
RWT = RAIN WATER TANK
SF = STEEL FRAMING
SKY_ = SKYLIGHT NUMBER_
SMR_ = SHEET METAL ROOFING TYPE_
SMW_ = SHEET METAL WALLING TYPE_
SPR = SPREADER & DRIP CUSHION
TCT = TERRACOTTA TILE
TMB = TIMBER
TOW = TOP OF WALL
TP = TIMBER POST
W_ = WINDOW NUMBER_
X = EXISTING
P1 = SIMILIAR TO DULUX BUFFED BEIGE SN3F4
P2 = SIMILIAR TO DULUX RAKU SN4H7
P4 = SIMILIAR TO DULUX LEXICON 1/4 SW1E1
SMR1 = SIMILIAR TO COLORBOND BASALT MATT
SMR2
SMW1

ELEVATIONS LEGEND

SCHEDULE OF EXTERNAL FINISHES

DEVELOPMENT APPLICATION



01 ELEVATION WEST
SCALE 1:100

NOTE - AWNING & WINDOW NUMBERS UPDATED THROUGHOUT
FINISHES CODES & WX104 ADDED

DA SUBMISSION

B	AWNINGS WINDOW CODES UPDATED	080223
A	DA SUBMISSION	081222
P5	STAIR 05 ROOF LOWERED	221116
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE.
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE



PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4 &
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

COSTELLO+GRAHAM DESIGN

Suite 3 /36 Sydney Road, Manly NSW 2095 ©
Sydney, Australia
Telephone (02) 9977 1981
Email: office@costellograhamdesign.com.au
Robert Costello Nominated Architect Registration NSW 6610
ARCHITECTS



Title	ELEVATIONS 01
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA20
Revision	B

NEW WALL

EXISTING WALL

REMOVE EXISTING

ADDITIONAL BUILDING AREA

AWN_ = AWNING NUMBER_
CBF = COLORBOND FASCIA
CJ = CONTROL JOINT
CLL = CLOTHES LINE
COS = CONFIRM ON SITE
D_ = DOWN PIPE
DP = DOWN PIPE
EMTR = ELECTRICAL METER
EFW = EXHAUST FAN WALL MOUNTED
FCU = FAN CONDENSOR UNIT
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TOW = TOP OF WALL
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W_ = WINDOW NUMBER_
X = EXISTING

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NCS = NON COMBUSTIBLE SOFFIT
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TCT = TERRACOTTA TILE
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W_ = WINDOW NUMBER_
X = EXISTING

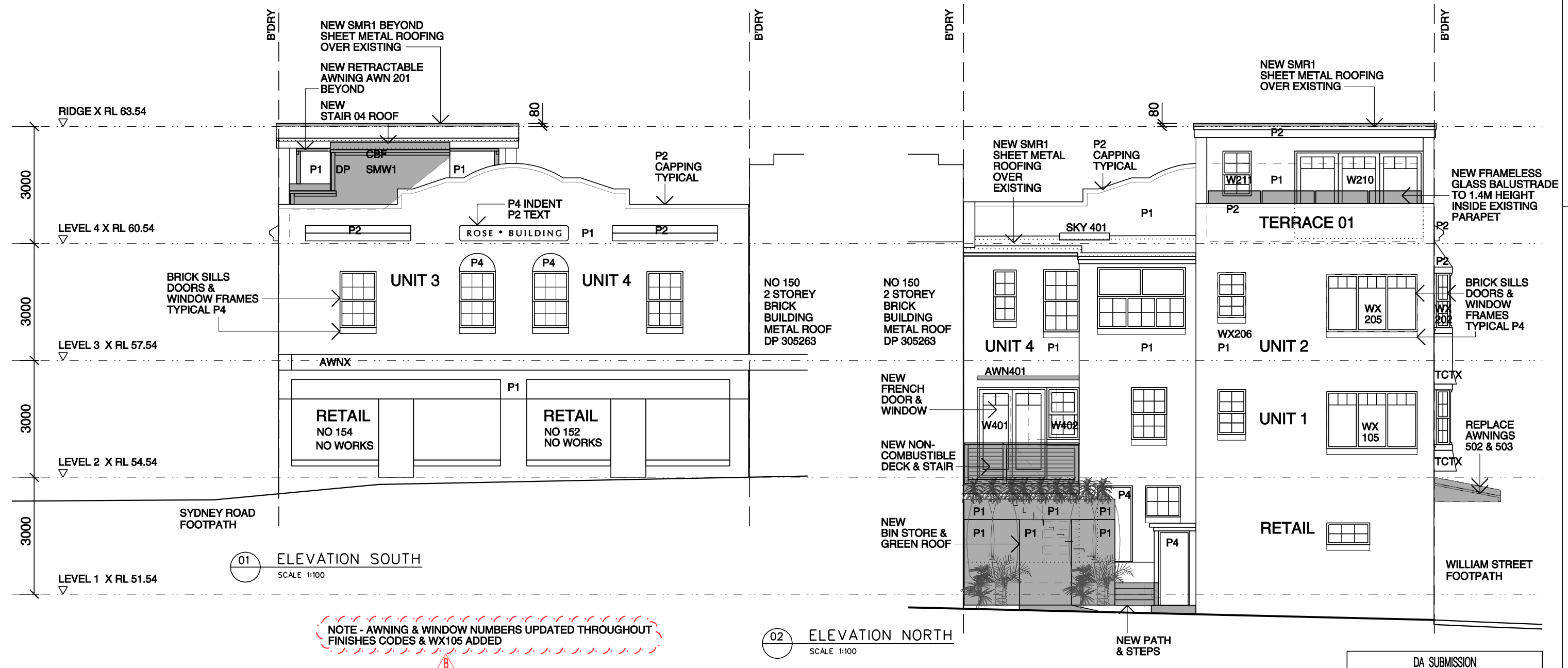
SF = STEEL FRAMING
SKY_ = SKYLIGHT NUMBER_
SMR_ = SHEET METAL ROOFING TYPE_
SMW_ = SHEET METAL WALLING TYPE_
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P1 = SIMILIAR TO DULUX BUFFED BEIGE SN3F4
P2 = SIMILIAR TO DULUX RAKU SN4H7
P4 = SIMILIAR TO DULUX LEXICON 1/4 SW1E1
SMR1 = SIMILIAR TO COLORBOND BASALT MATT
SMR2
SMW1

SCHEDULE OF EXTERNAL FINISHES

DEVELOPMENT APPLICATION

ELEVATIONS LEGEND



B	AWNINGS WINDOWS CODES UPDATED	080223
A	DA SUBMISSION	081222
P3	PRE DA MEETING	221108
P2	ISSUED FOR CO-ORDINATION	051022
P1	INITIAL ISSUE	090922
Issue	Amendment	Date

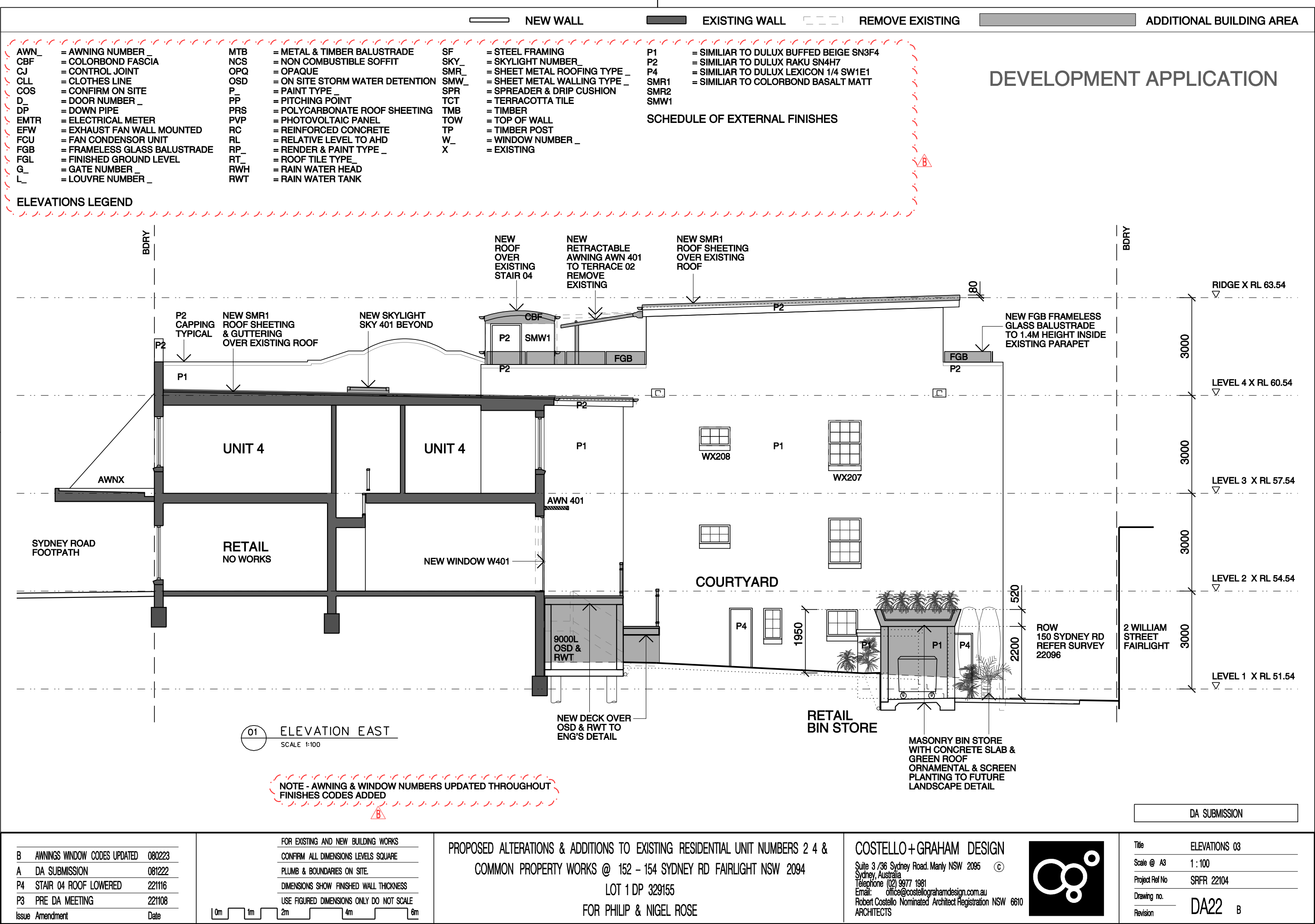
FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4 & COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

COSTELLO+GRAHAM DESIGN
Suite 3 / 36 Sydney Road, Manly NSW 2095
Sydney, Australia
Telephone (02) 9977 1981
Email: office@costellograhamdesign.com.au
Robert Costello Nominated Architect Registration NSW 6610
ARCHITECTS



Title	ELEVATIONS 02
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA21
Revision	B



DEVELOPMENT APPLICATION



EXISTING WEST ELEVATION
WILLIAM STREET



01 ELEVATION NORTH
SCALE 1:200

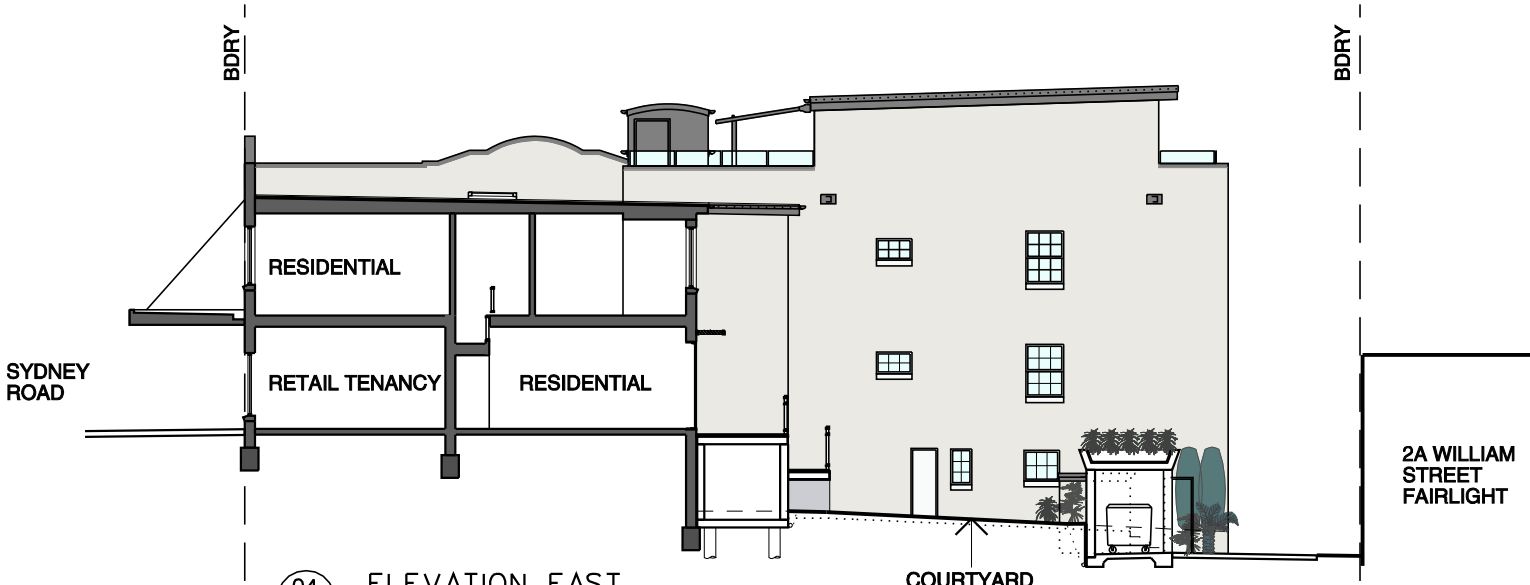


02 ELEVATION WEST - WILLIAM STREET
SCALE 1:200

EXAMPLE COLOUR SCHEME
RAGLAN STREET MANLY



03 ELEVATION SOUTH - SYDNEY ROAD
SCALE 1:200



04 ELEVATION EAST
SCALE 1:200

AWN 201
AWNING SIMILAR TO PEREA P60 BY WAREMA
FABRIC & POWDERCOAT
LYSAGHT BASALT MATT

AWN 501.502 & 503
AWNINGS SIMILAR TO DROPARM 355 BY WAREMA
CHARCOAL FABRIC &
BASALT MATT FRAME

AWN 401
AWNING SIMILAR TO
MAXIM MF600
FIXED BLADE LOUVRES
LYSAGHT BASALT MATT

SMR2 & SMW1
SHEET METAL ROOFING TYPE 2
SIMILAR TO
CORRIGATED CUSTOM ORB
LASAGHT BASALT MATT

SMR1
SHEET METAL ROOFING TYPE 1
SIMILAR TO
LONGLINE 305
LASAGHT BASALT MATT

P4
PAINT TYPE 4
TIMBER WINDOWS DOORS
FRAMES BRICK SILLS &
INSET PANELS SIMILAR TO
DULUX LEXICON 14 SW1E1

TCTX
EXISTING TILES
FACE FINISH TERRACOTTA
TO REMAIN

P1
PAINT TYPE 1
SIMILAR TO
DULUX BUFFED BEIGE
SN3F4



P2
PAINT TYPE 2
SIMILAR TO DULUX
RAKU SN4H7

COURTYARD
GREENARY

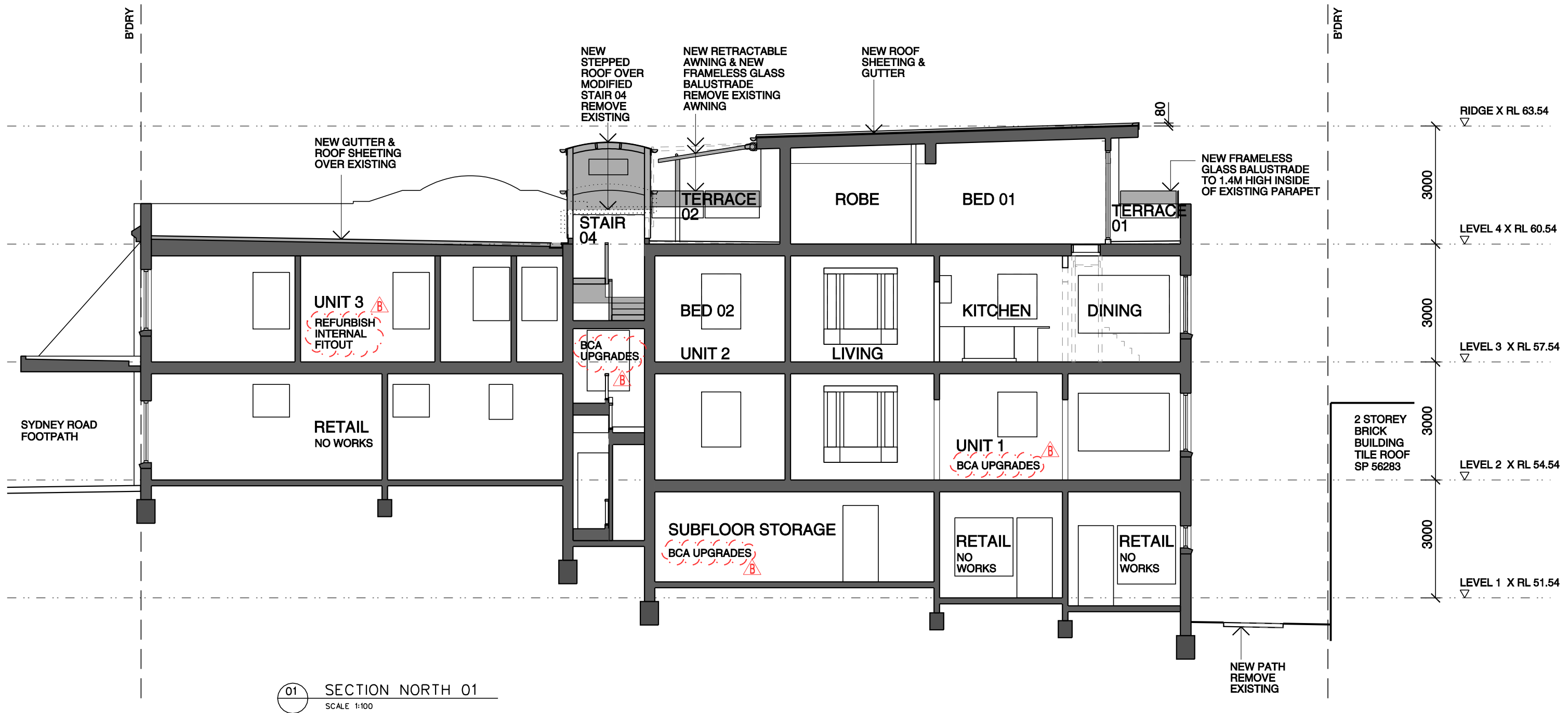
COLOURS & MATERIALS
LEGEND

NOTE - REFER ELEVATIONS DA20 DA21 & DA22
FOR CODES AND LEGENDS

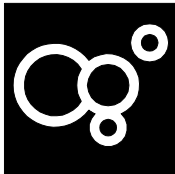

DA SUBMISSION

			FOR EXISTING AND NEW BUILDING WORKS CONFIRM ALL DIMENSIONS LEVELS SQUARE PLUMB & BOUNDARIES ON SITE. DIMENSIONS SHOW FINISHED WALL THICKNESS USE FIGURED DIMENSIONS ONLY DO NOT SCALE		PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 & COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094 LOT 1 DP 329155 FOR PHILIP & NIGEL ROSE		COSTELLO+GRAHAM DESIGN Suite 3 /36 Sydney Road, Manly NSW 2095 © Sydney, Australia Telephone (02) 9977 1981 Email: office@costellograhamdesign.com.au Robert Costello Nominated Architect Registration NSW 6610 ARCHITECTS				Title COLOURED ELEVATIONS & MATERIALS Scale @ A3 1 : 200 Project Ref No SRFR 22104 Drawing no. DA23 A Revision	
A	DA SUBMISSION	080323										
P1	INITIAL ISSUE	040323										
Issue	Amendment	Date										

DEVELOPMENT APPLICATION

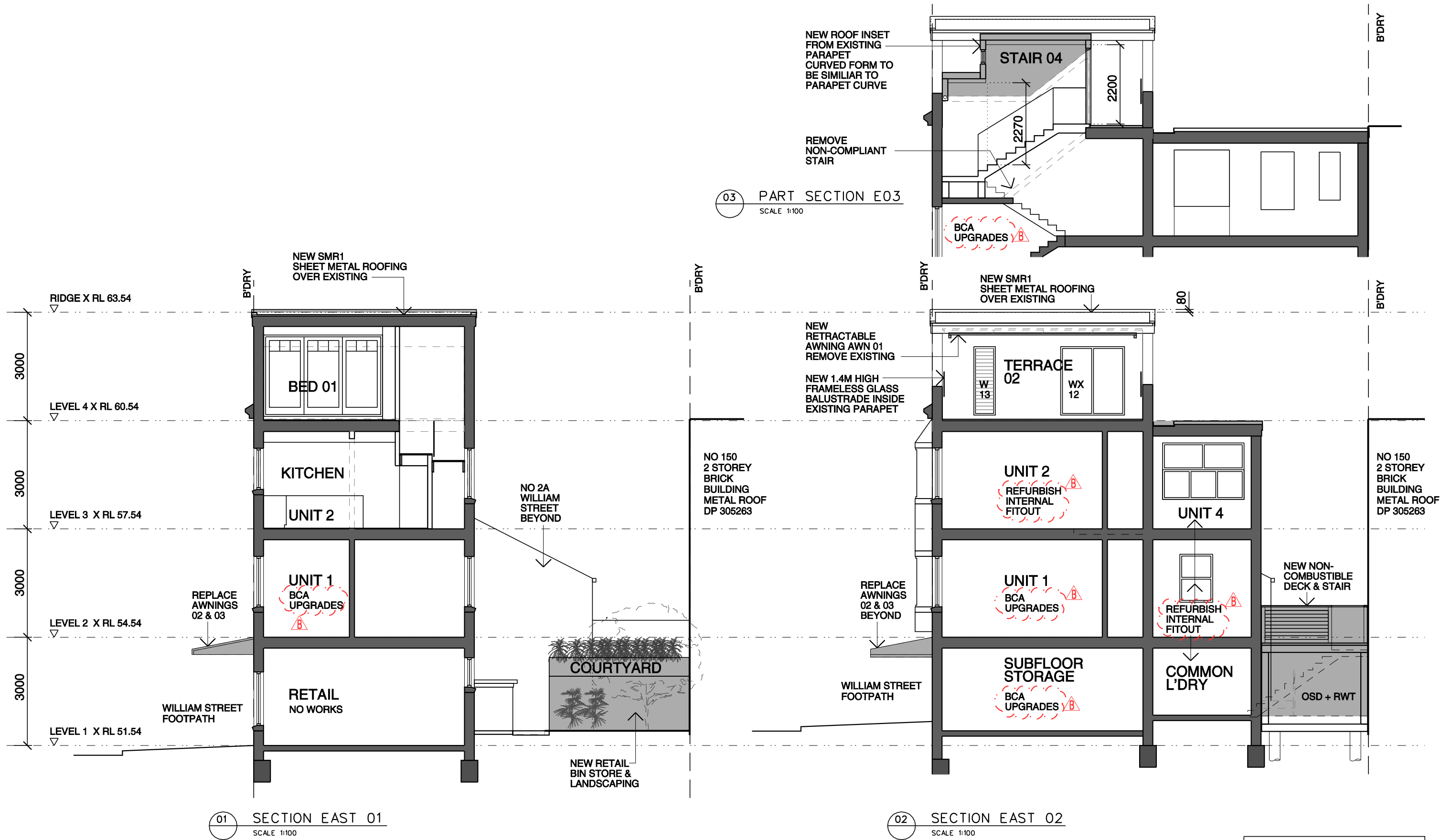


DA SUBMISSION

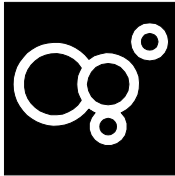
B INTERNAL FINISHES NOTES UPDATED 080223			FOR EXISTING AND NEW BUILDING WORKS			PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &			COSTELLO+GRAHAM DESIGN			Title SECTIONS 01		
A DA SUBMISSION 081222			CONFIRM ALL DIMENSIONS LEVELS SQUARE			COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094			Suite 3 /36 Sydney Road, Manly NSW 2095 © Sydney, Australia Telephone (02) 9977 1981 Email: office@costellograhamdesign.com.au Robert Costello Nominated Architect Registration NSW 6610 ARCHITECTS			Scale @ A3 1 : 100		
P5 STAIR 04 ROOF LOWERED 221116			PLUMB & BOUNDARIES ON SITE.			LOT 1 DP 329155						Project Ref No SRFR 22104		
P4 PRE DA MEETING 221108			DIMENSIONS SHOW FINISHED WALL THICKNESS			FOR PHILIP & NIGEL ROSE						Drawing no. DA25 B		
P3 ISSUED FOR CO-ORDINATION 051022			USE FIGURED DIMENSIONS ONLY DO NOT SCALE									Revision		
Issue Amendment Date														

DEVELOPMENT APPLICATION

NEW WALL EXISTING WALL REMOVE EXISTING ADDITIONAL BUILDING AREA



DA SUBMISSION

B INTERNAL FINISHES WORKS UPDATED 080223			FOR EXISTING AND NEW BUILDING WORKS			PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &			COSTELLO+GRAHAM DESIGN				Title SECTIONS 02	
A DA SUBMISSION 081222			CONFIRM ALL DIMENSIONS LEVELS SQUARE			COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094			Suite 3 /36 Sydney Road, Manly NSW 2095 (C) Sydney, Australia Telephone (02) 9977 1981 Email: office@costellograhamdesign.com.au Robert Costello Nominated Architect Registration NSW 6610 ARCHITECTS				Scale @ A3 1 : 100	
STAIR 04 SECTION ADDED			PLUMB & BOUNDARIES ON SITE.			LOT 1 DP 329155							Project Ref No SRFR 22104	
P5 STAIR 04 ROOF HEIGHT LOWERED 221116			DIMENSIONS SHOW FINISHED WALL THICKNESS			FOR PHILIP & NIGEL ROSE							Drawing no. DA26 B	
P4 PRE DA MEETING 221108			USE FIGURED DIMENSIONS ONLY DO NOT SCALE										Revision	
Issue Amendment Date			