

Construction Certificate

Issued under the Environmental Planning & Assessment Act 1979 Sections 109C(1)(b) and 81A(1) (2) and (5) and Environmental Planning & Assessment Regulation 2000 – Part 8 Division 2



DA No 398/08

1. Details of the applicant

Name Woolworths Ltd
Address 1 Woolworths Way BELLA VISTA NSW 2153
Contact Tel 02 8885 0000 Fax 02 8885 0308 Email cmoyle@woolworths.com.au

2. Details of the development consent

Development Application No 398/08 issued by Pittwater Council
Date the consent was issued 28 November 2008
Description of development Fitout and use of existing retail outlet as Liquor Store and associated signage (excluding roof sign deleted by DA condition 4)

3. Certification

This certificate is issued ☒ without any conditions
☒ the issue of this certificate has been endorsed on the plans and specifications that were lodged with the application

Address 343 Barrenjoey Road NEWPORT NSW 2106
Lot No _____
Section _____
DP / MPS No 584141
Plan Nos approved Plan No 1 Amendment E issued by KJR Drafting dated 15 August 2008 as amended in red
Specification / References Refer Schedule A attached

Charles Slack-Smith certifies that if the work is completed following the plans and specifications which have been approved it will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in Section 81A(5) of the Environmental Planning and Assessment Act 1979 (as amended)

Construction Certificate No 250053 Date of this certificate 13 January 2009

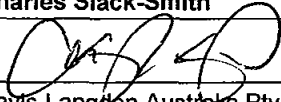
4. Information attached to this decision

☒ A fire safety schedule
☐ The conditions of the certificate
☒ Schedule A - Information relied upon in certificate determination

5. Building Code of Australia Building Classification

Class ☒ Whole 6 Retail
Class ☐ Part _____

6. Certifying Authority

Name of Certifying Authority Charles Slack-Smith
Signature 
Address Davis Langdon Australia Pty Ltd ABN 40 008 657 289
Level 5 100 Pacific Highway North Sydney NSW 2060
Contact Tel (02) 9956 8822 Fax (02) 9956 8848
Accreditation Body Building Professionals Board
Accreditation No BPB0378

(continued)
Construction Certificate



DA No 398/08

Certificate No 250053

7. Fire safety schedule

To ensure compliance with the requirements of the Environmental Planning & Assessments Act Regulation the owner of the buildings shall submit to Council/Certifier a certificate of compliance in respect to each essential service required to be installed within the building

- a) That the service(s) have been inspected and tested by a person competent to carry out such an inspection test and
b) That the service was or was not (as at the date on which it was inspected and tested) found to have been designed installed and to be capable of operating to the standard as specified

Such a certificate is required to be submitted on completion and prior to occupation of the building

Essential services are required to be installed and maintained to approved operating standards as set out in the schedule attached hereto

The owner of the building is required to submit to Council at least once in each twelve (12) month period after a certificate has been issued a further certificate with respect to each essential service installed in the building

Fire Safety Measure	Standard	BCA Clause(s)	Existing Fire Safety Measures	Proposed Fire Safety Measures
Access panels doors & hoppers to fire resisting shafts	AS 1530 4 – 2005	C3 13	<input type="checkbox"/>	<input type="checkbox"/>
Automatic fail safe devices		C3 8 D2 21 Spec C3 4	<input type="checkbox"/>	<input type="checkbox"/>
Automatic fire detection & alarm systems	AS 1670 1 – 2004 AS 4428 1 – 1998	Spec E2 2a	<input type="checkbox"/>	<input type="checkbox"/>
Automatic fire suppression systems	AS 2118 1 – 1999	Spec E1 5	<input type="checkbox"/>	<input type="checkbox"/>
Emergency lifts	AS 1735 2 – 2001	E3 4	<input type="checkbox"/>	<input type="checkbox"/>
Emergency lighting	AS/NZS 2293 1 – 2005	E4 2 E4 4	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Emergency warning and intercommunication systems	AS 1670 4 – 2004 AS 4428 4 – 2004	E4 9 Spec G3 8	<input type="checkbox"/>	<input type="checkbox"/>
Exit signs	AS/NZS 2293 1 – 2005	E4 5 NSW E4 6 & E4 8	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Fire alarm monitoring	AS 1670 3 – 2004	E4 9 Spec G3 8	<input type="checkbox"/>	<input type="checkbox"/>
Fire control centres and rooms		E1 8 Spec E1 8	<input type="checkbox"/>	<input type="checkbox"/>
Fire dampers	AS 1668 1 – 1998	Spec E2 2a	<input type="checkbox"/>	<input type="checkbox"/>
Fire doors	AS 1735 11 – 1986 AS/NZS 1905 1 – 2005	Spec C3 4 C3 10	<input type="checkbox"/>	<input type="checkbox"/>
Fire hose reel systems	AS 2441 – 2005	E1 4	<input type="checkbox"/>	<input type="checkbox"/>
Fire hydrant systems	AS 2419 1 – 2005	E1 3	<input type="checkbox"/>	<input type="checkbox"/>
Fire seals protecting openings in fire resisting components	AS 4072 1 – 2005 AS 1530 4 – 2005 AS 1038 15 – 1995	Spec C3 15	<input type="checkbox"/>	<input type="checkbox"/>
Fire shutters	AS/NZS 1905 2 – 2005	Spec C3 4	<input type="checkbox"/>	<input type="checkbox"/>
Fire windows		Spec C3 4	<input type="checkbox"/>	<input type="checkbox"/>
Lightweight construction		C1 8 Spec C1 8	<input type="checkbox"/>	<input type="checkbox"/>
Mechanical air handling systems	AS 1668 1 – 1998 AS 1668 2 – 1991	E2 2	<input type="checkbox"/>	<input type="checkbox"/>
Perimeter vehicle access for emergency vehicles		C2 4	<input type="checkbox"/>	<input type="checkbox"/>
Portable fire extinguishers & fire blankets	AS 2444 – 2001	E1 6	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Safety curtains in proscenium openings		NSW H 101 10 NSW H 101 10 1	<input type="checkbox"/>	<input type="checkbox"/>
Smoke and heat vents	AS 2665 – 2001	Spec E2 2c Spec G3 8 & NSW H101 22	<input type="checkbox"/>	<input type="checkbox"/>
Smoke dampers	AS 1668 1 & 2		<input type="checkbox"/>	<input type="checkbox"/>
Smoke detectors & heat detectors	AS 1670 – 2004 AS 3786 – 1993	Spec E2 2a Spec E2 2a	<input type="checkbox"/>	<input type="checkbox"/>
Smoke doors		Spec C3 4	<input type="checkbox"/>	<input type="checkbox"/>
Solid core doors		C3 11 NSWC3 11(d)(ii)	<input type="checkbox"/>	<input type="checkbox"/>
Standby power systems		Spec G3 8	<input type="checkbox"/>	<input type="checkbox"/>
Wall wetting sprinklers & drencher systems	AS 2118 1 – 1999	C3 2 C3 4 D1 7 Spec G3 8	<input type="checkbox"/>	<input type="checkbox"/>
Warning and operational signs		C3 6 E3 3 D2 23 & Spec E1 8	<input type="checkbox"/>	<input type="checkbox"/>
Other Measures				
Paths of Travel		Section D BCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

(continued)
Construction Certificate



DA No 398/08

Certificate No 250053

8. Schedule A – Information Relied Upon in Certificate Determination

- Application form for Construction Certificate dated 13 January 2009
- Long Service Levy evidence of payment dated 8 January 2009
- BCA Design Statement issued and dated 12 January 2009
- Part J Glazing Assessment Worksheet, dated 8 January 2008

DAVIS LANGDON
APPLICATION FOR



(please tick)
☒ CONSTRUCTION CERTIFICATE
☒ PRINCIPAL CERTIFYING AUTHORITY

Under Sections 109C (1)(b) 81A (4) of the Environmental Planning and Assessment Act 1979

Application submitted with
Davis Langdon
Level 5, 100 Pacific Highway
North Sydney NSW 2060
Tel (02) 9856 8822 Fax (02) 9956 8848

Office Use Only	
CC No	_____
Job No	_____

SUBJECT LAND

Address

343 BARRANDOEY RD, NEWPORT

Lot No DP SP vol/fol etc

LOT 1, DP 584141

APPLICANT

Name/ Company

WOOLWORTHS LIMITED

Address

PO BOX 8000

BAULKHAM HILLS Post Code 2153

Contact numbers

Phone 888 52455 Mobile 0404-829-046

Fax No 888 2455 Email CHOULED@WOOLWORTHS.COM.AU

Signature of Applicant
(Capacity)

Chris Mayle

Date 12/1/2008

Furthermore by completing this section I hereby confirm that I am not the Principal Contractor or Builder, See Applicant Description on the following page

CONSENT OF OWNER(S)

I / we as the owner/s of the above property engage and authorise Anthony Banham, Shane Berry Robert Briant Andrew Caponas Brett Claburn Justin Jones Gardiner Bruno Scenna Charles Slack-Smith of Davis Langdon to provide the Construction Certification and to act as the Principal Certifying Authority for the subject building works and/or carry out site inspections and lodge the Notice of Commencement / Appointment of the Principal Certifying Authority with the relevant Council Furthermore, by signing this owners consent I also give permission to the tenant, architect, designer project manager builder or principal contractor to issue Final/Interim Fire Safety Certificate in accordance with Clause 149 of EP&A Regs 2000

Name(s)/ Company

FABLOT PTY LTD

Address

PO BOX 8000

BAULKHAM HILLS

Contact numbers

Phone AS ABOVE Mobile 046216472

Fax No (02) 8388 1156 Email sgarmston@woolworths.com.au

Signature of Registered owner(s)

S R Garmston
(S R GARMSTON)

Development Manager, Fabcot P/L

Company stamp or seal
to be affixed if applicable
(If agent provide documentary evidence such
as Power of Attorney etc as evidence of commission)

Date 13/1/09

DESCRIPTION OF PROPOSED DEVELOPMENT



REFIT OF THE NEWS AGENCY TO A
BWS LIQUOR STORE, MINOR BUILDING
WORKS.

Estimated cost of work \$ 120,000 Existing use of Site _____
example Office/ Retail etc

Gross floor Area of building m² (Existing) 164 (Proposed) 164

Site Area m² N/A Number of storeys (including underground storeys) _____

Development Consent No N0398/08 Date of determination 28/11/2008
(Please attach Copy of consent and approved council drawings)

Number of existing dwellings _____ Number of dwellings to be demolished _____

Number of dwellings proposed _____

Is the new dwelling attached to that existing? YES / NO (delete /circle one)

Does the land contain a dual occupancy? YES / NO (delete/circle one)

Building Code of Australia classification as per development consent _____

List of documents accompanying this application

- o PITTWATER COUNCIL DA CONSENT DA N0398/08
- o NEWPORT BWS D&G NO1 REV E 15/8/2008
- o _____
- o _____

APPLICANT DESCRIPTION

In accordance with Clause 139(1A) and Clause 149(2B) of the EP&A Regs 2000 the applicant cannot be the Principal Contractor or Builder The applicant is to be the person having the benefit of the Development Consent for example the owner tenant, architect design or project manager (who is not the builder or Principal Contractor)

PROJECT MANAGEMENT (Principal Contractor)

The overall co-ordination and control of this project will be carried out by

<input type="checkbox"/> Principal Contractor (Bus Name)	<u>SPM</u>
Contact	<u>TOM SHERINGTON</u>
Address	<u>STUDIO 25 151 FOVEAUX ST</u>
Contact No	<u>SUNNY HILLS (02) 9326 0855</u>

OR FOR RESIDENTIAL

<input type="checkbox"/> Owner-Builder	
Permit in the name of	
Builders Licence No	
Name of Insurer	

CONSTRUCTION MATERIALS

Walls		Roof		Floor	
Brick Veneer	✓	Aluminium		Concrete	✓
Full Brick		Concrete		Timber	
Single Brick		Concrete tile		Other	
Concrete Block		Fibrous cement		Unknown	
Concrete/ masonry		Fibreglass			
Concrete		Masonry			
Steel		Shingle tiles			
Fibrous cement		Slate			
Hardiplank		Steel	✓		
Timber/ weatherboard		Terracotta		FRAME	
Cladding aluminium		Other		Timber	
Curtain glass		unknown		Steel	✓
Other				Other	

Schedule to Application for Certification &/or PCA



Schedule of existing/proposed or modified Fire Safety measures
(for any existing building and the land on which it is situated)


Item No	Proposed / Existing Measure	Is this measure installed in the building?	If yes enter the current standard of performance (eg BCA and Aust Stand)	Proposed alteration of existing measure
		Yes/ No		(✓)
1	Access Panels doors and hoppers to fire resisting shaft	NO		
2	Automatic fail safe devices	NO		
3	Automatic fire detection and alarm system	NO		
4	Automatic fire suppression system (sprinkler)	NO		
5	Automatic fire suppression system (others specify)	YES	EXTINGUISHERS	
6	Emergency lighting	YES	BCA	
7	Emergency lifts	NO		
8	Emergency warning and intercommunication system	NO		
9	Exit signs	YES	BCA	
10	Fire alarm monitoring	NO		
11	Fire control centres and rooms	NO		
12	Fire dampers	NO		
13	Fire Doors	NO		
14	Fire hydrant systems	NO		
15	Fire seals (protecting openings in fire resisting components of the building)	NO		
16	Fire shutters	NO		
17	Fire windows	NO		
18	Hose reel system	NO		
19	Light weight construction	NO		
20	Mechanical air handling systems	YES	BCA	
21	Perimeter vehicle access for emergency vehicles	NO		
22	Portable fire extinguishers	YES	BCA	
23	Pressurising system	NO		
24	Safety curtains in proscenium openings	NO		
25	Smoke and Heat Vents	NO		
26	Smoke dampers	NO		
27	Smoke detectors and heat detectors	NO		
28	Smoke doors	NO		
29	Solid-Core doors	NO		
30	Stand By Power Systems	NO		
31	Wall wetting sprinkler and drencher systems	NO		
32	Warning and operational signs	NO		
33	OTHERS - Specify	N/A		

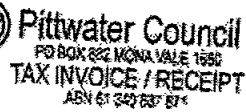
This is an accurate statement of all the existing fire safety schedule implemented in the whole building and the land on which it is situated

Signed Chris Moyle Name C MOYLE
(owner/agent)

Date 12/1/2008

DESIGN STATEMENT
COMPLIANCE WITH THE
BUILDING CODE OF AUSTRALIA

ADDRESS:	343 - 345 BARRENJOEY RD, NEWPORT	
PROJECT:	CONVERSION OF OLD A BWS LIQUOR STORE	
<p>1 Specification C1 10a of the Building Code of Australia ("BCA") requires floors, walls and ceilings to comply with Group numbers, CRF values and smoke developed indices requirements as nominated in that part of the BCA</p> <p>2 Clause D2 21 of the BCA requires all door handles to <i>"be readily openable without a key from the side that faces a person seeking egress, by a single hand downward action or pushing action on a single device which is located between 900mm and 1,200mm from the floor, except if it is fitted with a fail-safe device"</i></p> <p>Note If fail safe devices are proposed then details of the method of operation are to be provided</p> <p>3 Part B1 of the BCA requires all glazing to comply with Australian Standard 1288 – 2006 and AS 2047 – 1999</p> <p>4 Part D3 of the BCA requires access for people with disabilities to comply with AS 1428 1 and AS 1428 4</p> <p>5 Clause D1 6 of the BCA requires all exits and paths of travel to an exit including spacing of shop fittings to have a minimum unobstructed width of 1m</p> <p>6 Clause J6 2(a)(A) of the BCA requires all artificial lighting not to exceed the maximum lamp power density of 25W/m² (excluding lighting in display cabinet, signage and emergency lighting)</p> <p>Accordingly, it is specified that for the proposed works at the above premises</p> <ul style="list-style-type: none">• All floor, wall and ceiling materials and linings will have fire hazard properties complying with Specification C1 10a of the BCA as applicable• All door handles and locks will comply with Clause D2 21 of the BCA,• All glazing will comply with AS 1288-2006 and 2047, and• Disabled access, facilities and circulation space will comply with Part D3 of the BCA and AS1428 1 and AS 1428 4,• All exits and paths of travel to an exit from any point on the floor will comply with Cl D1 6 of the BCA• Artificial lighting not to exceed the maximum lamp power density of 25W/m² Clause J6 2(a)(A) of the BCA as applicable		
Applicant Details:		
Name	C MOYLE	
Company	WOOLWORTHS LIMITED	
Address	PO BOX 8000, BARKHAM HILLS	
Signature		Date: 12/1/2009



Date _____

Cashier

- ☐ CASH
☒ CHEQUE
☐ MONEY
ORDER
☐ OTHER

[illegible]

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?	Area in square metres	164m ²	
Gross floor area of existing building?	Area in square metres	164m ²	
If no existing building, write "NIL"			
What is the existing building or site used for at present?	Main uses	Retail	
	Other uses	Retail	
Does the site contain a dual occupancy?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Gross floor area of proposed building?	Proposed floor area in square metres	164	
What will the proposed building to be used for?	Main uses	Retail	
	Other uses	Retail	
How many dwellings			
Are pre-existing at this property?	Dwellings	N/A	
Are proposed to be demolished?	Dwellings		
Are proposed to be constructed?	Dwellings	N/A	
How many storeys will building consist of?	Storeys	1	
What are the main building materials?			
Walls		Roof	
Full Brick	<input type="checkbox"/>	Aluminium	<input type="checkbox"/>
Brick veneer	<input type="checkbox"/>	Concrete or slate	<input checked="" type="checkbox"/>
Concrete, masonry	<input checked="" type="checkbox"/>	Tile	<input type="checkbox"/>
Steel	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>
Fibrous cement	<input type="checkbox"/>	Steel	<input type="checkbox"/>
Timber/weatherboard	<input type="checkbox"/>	Other	<input type="checkbox"/>
Cladding-aluminium	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Curtain glass	<input type="checkbox"/>		
Other	<input type="checkbox"/>		
Unknown	<input type="checkbox"/>		
Floor		Frame	
Concrete	<input checked="" type="checkbox"/>	Timber	<input type="checkbox"/>
Timber	<input type="checkbox"/>	Steel	<input checked="" type="checkbox"/>
Other	<input type="checkbox"/>	Other	<input type="checkbox"/>
Unknown	<input type="checkbox"/>	Unknown	<input type="checkbox"/>

GLAZING CALCULATOR FOR USE WITH CLAUSE J2 3, BCA VOLUME ONE (METHOD 1)

Climate zone

5

Building name/description

BWS Newport Façade Glazing

Unit no

BWS

Storey

1

Floor area

164m²

Glazing area

15.00m²

CONSTANTS and ALLOWANCES (per storey)

1

C_u / C_{SHGC}

19/0.14

C_u x Area

3116

C_{SHGC} x Area

230

not used

(9% of floor area)

Number of rows preferred in table below 1 (as currently displayed)

GLAZING ELEMENTS, ORIENTATION, SIZE and PERFORMANCE CHARACTERISTICS										CALCULATED OUTCOMES - OK (if inputs are valid)							
Glazing element		Sector faced		Size			Performance		SHADING P&H or device		CALCULATION DATA			Conductance - PASSED		Solar heat gain - PASSED	
				Height (m)	Width (m)	Area (m²)	U Value (NFRC)	SHGC (NFRC)	P (m)	H (m)	P/H	E factor	U x area	Element share of % of allowance used	SHGC x E x area	Element share of % of allowance used	
# 1	Front Façade	SE		3 00	5 00		5 8	0 86	1 00	3 00	0 33	0 61	87 6	100% of 28%	7 9	100% of 34%	

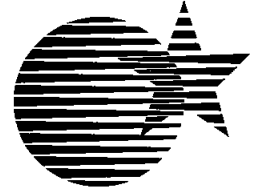
IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE GLAZING CALCULATOR

The *Glazing* Calculator has been developed by the ABCB to assist in developing a better understanding of glazing energy efficiency parameters. While the ABCB believes that the *Glazing* Calculator if used correctly will produce accurate results it is provided as is and without any representation or warranty of any kind including that it is fit for any purpose or of merchantable quality or functions as intended or at all.

Your use of the *Glazing* Calculator is entirely at your own risk and the ABCB accepts no liability of any kind.



DAVIS LANGDON



RECEIVED

15 JAN 2009

PITTWATER COUNCIL

Level 5
100 Pacific Highway
North Sydney NSW 2060
Tel (02) 9956 8822
Fax (02) 9956 8848
www.davislangdon.com
syd@davislangdon.com.au

13 January 2009

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Attention Records Department

BWS - 343 Barrenjoey Road, Newport
Construction Certificate No 250053
DA No 398/08

Please find attached a copy of the Construction Certificate and Notice to Commence Building Work, recently issued for this project

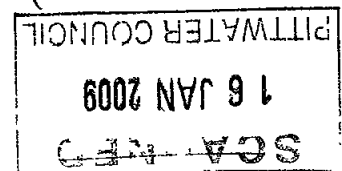
Attached is a copy of the stamp-approved plans and other relevant documentation relied upon to issue this certificate as required by the Legislation, together with the appropriate registration fee

Should you have any queries regarding this matter please do not hesitate to contact the undersigned

Yours sincerely

Charles Slack-Smith
Director

see 253200
19/1/09



Q:\DLR\Job Files\250053 BWS 343 Barrenjoey Road Newport\250053 CC + Notice Doc

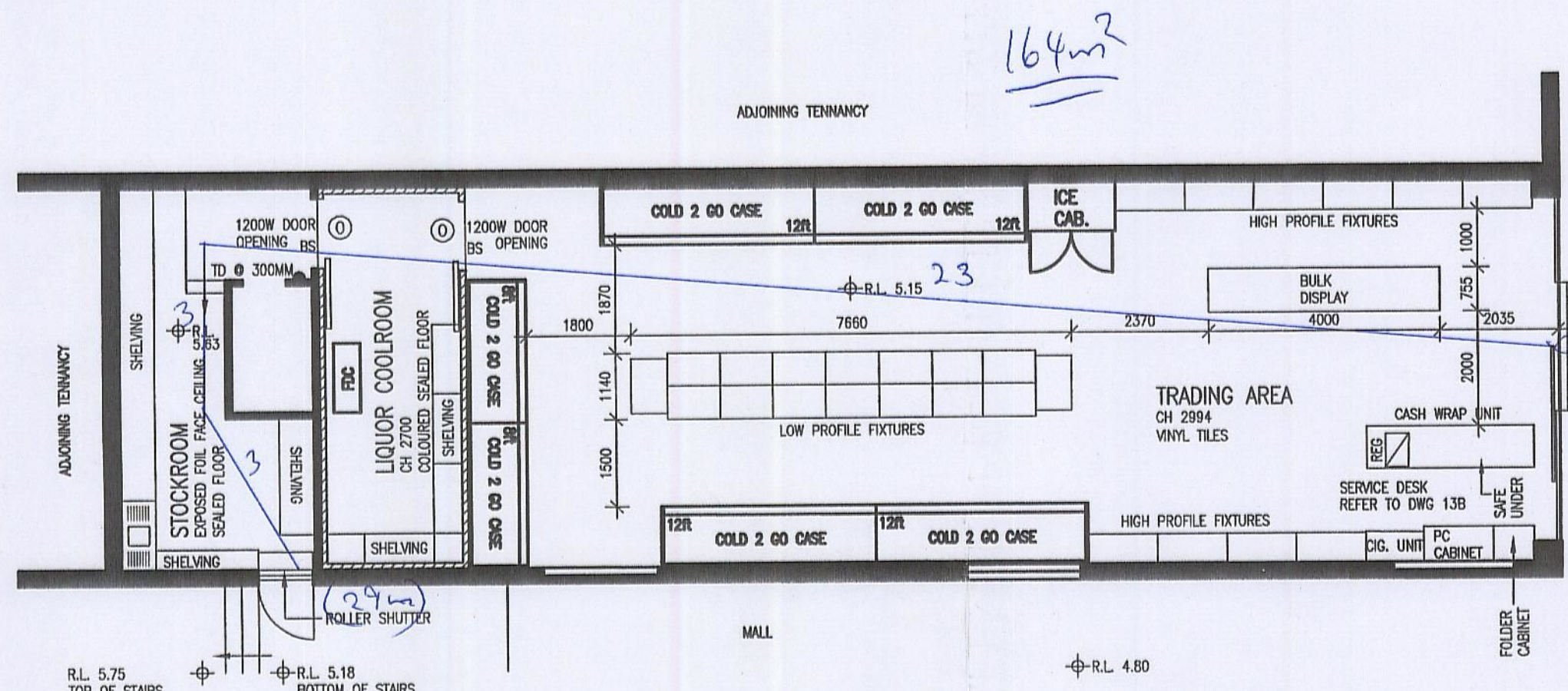
Project Management | Cost Management | Building Surveying | Urban Planning | Specification Services | Infrastructure Verification Services | Technical Due Diligence
Property Performance Reporting | Make Good Assessments | Management System Development | Certification Services | Sustainability Services

Innovative Thinking in Property & Construction

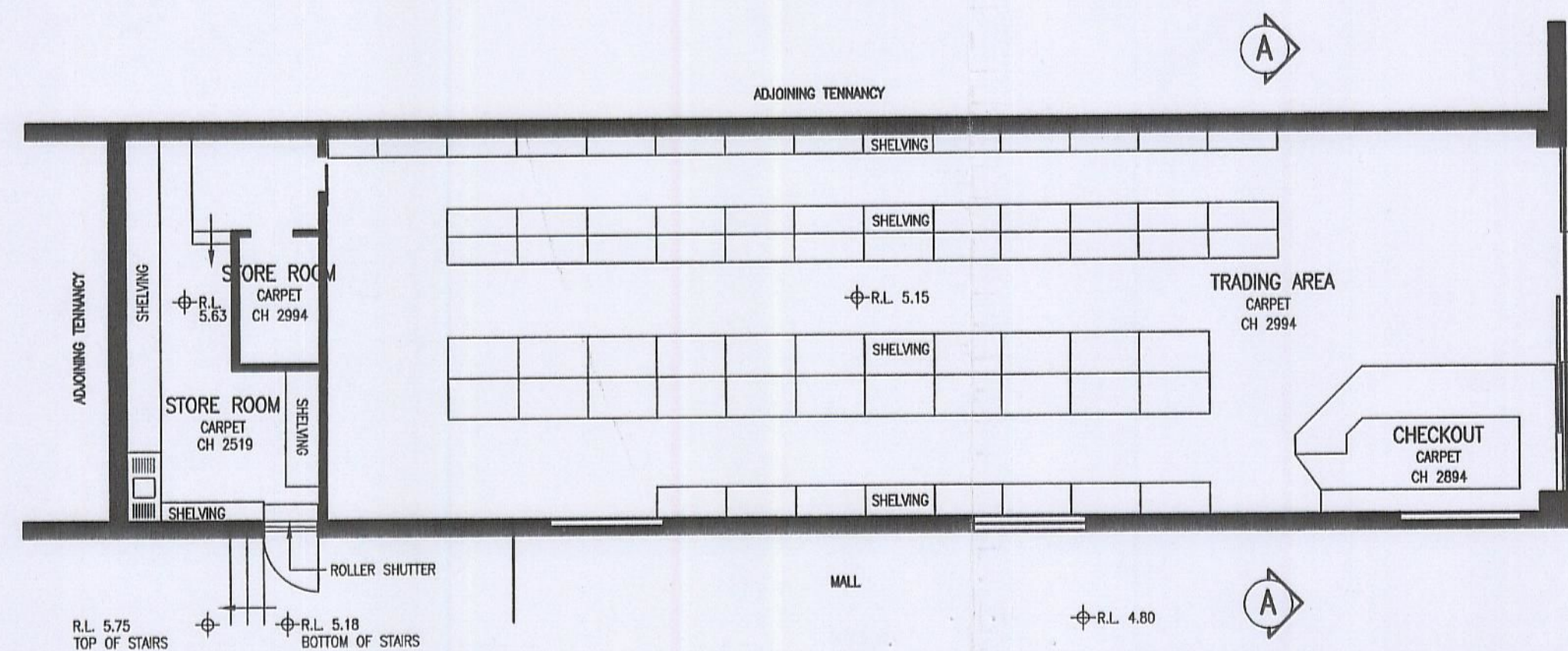
Davis Langdon Australia Pty Ltd ABN 40008657289 Adelaide Brisbane
Cairns Canberra Darwin Hobart Melbourne Perth Sunshine Coast
Sydney Townsville



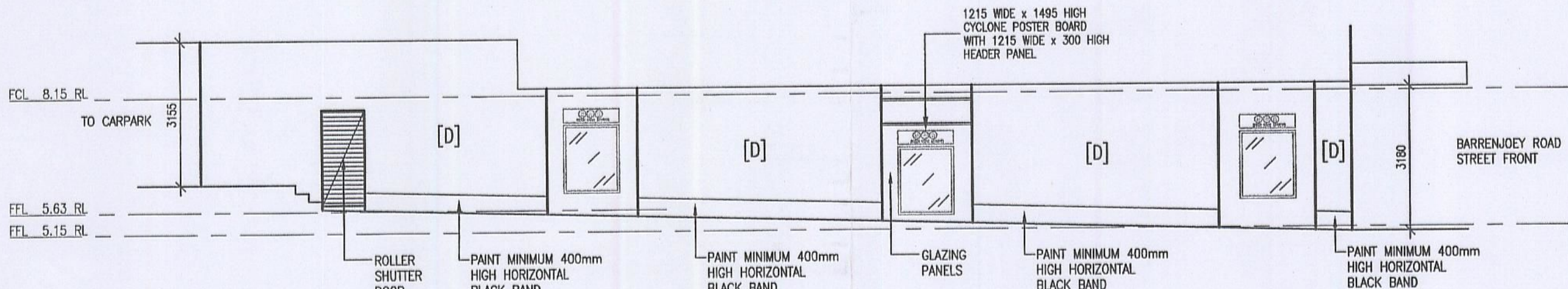
A member firm of Davis Langdon & Seah International with offices in
Australia New Zealand Arabian Gulf Botswana Brunei China England
Hong Kong India Indonesia Ireland Japan Korea Lebanon Malaysia
Pakistan Philippines Russia Saudi Arabia Scotland Singapore South
Africa Spain Thailand United States of America Vietnam and Wales



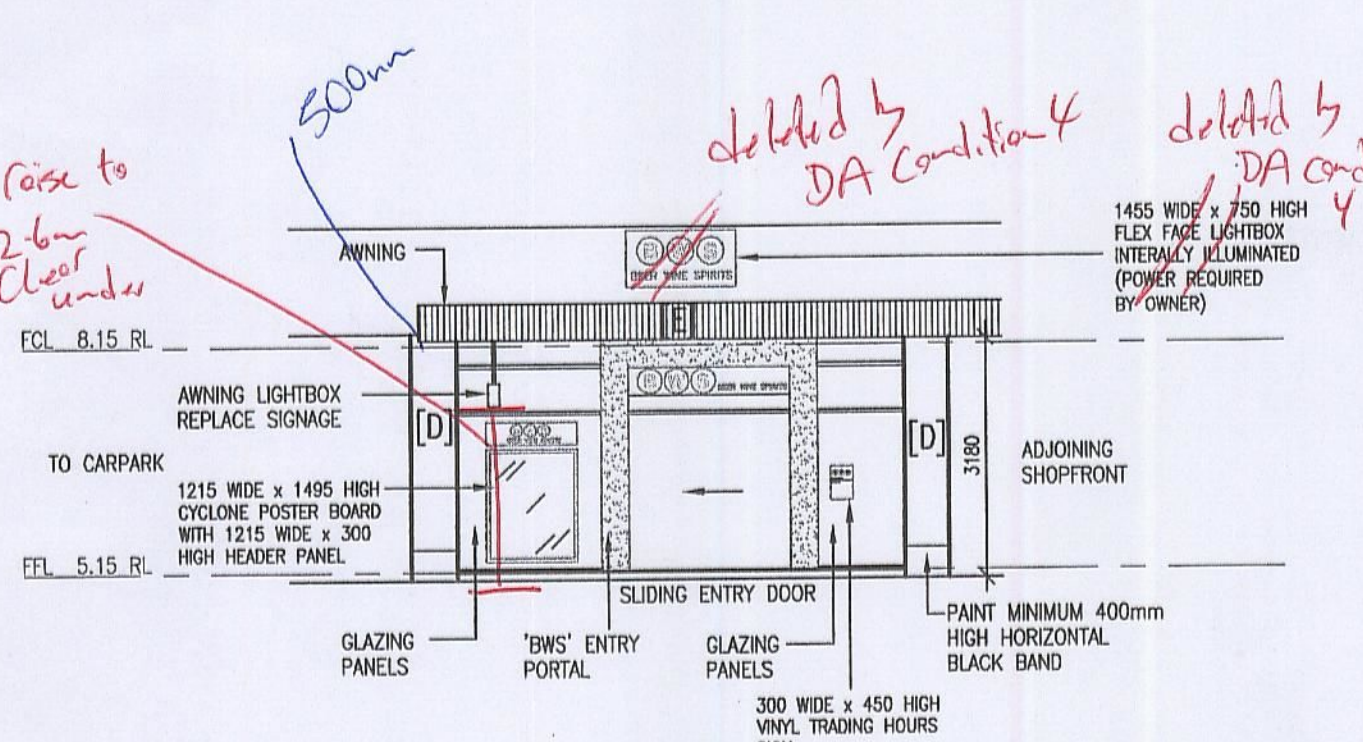
FEASIBILITY PLAN
1:100



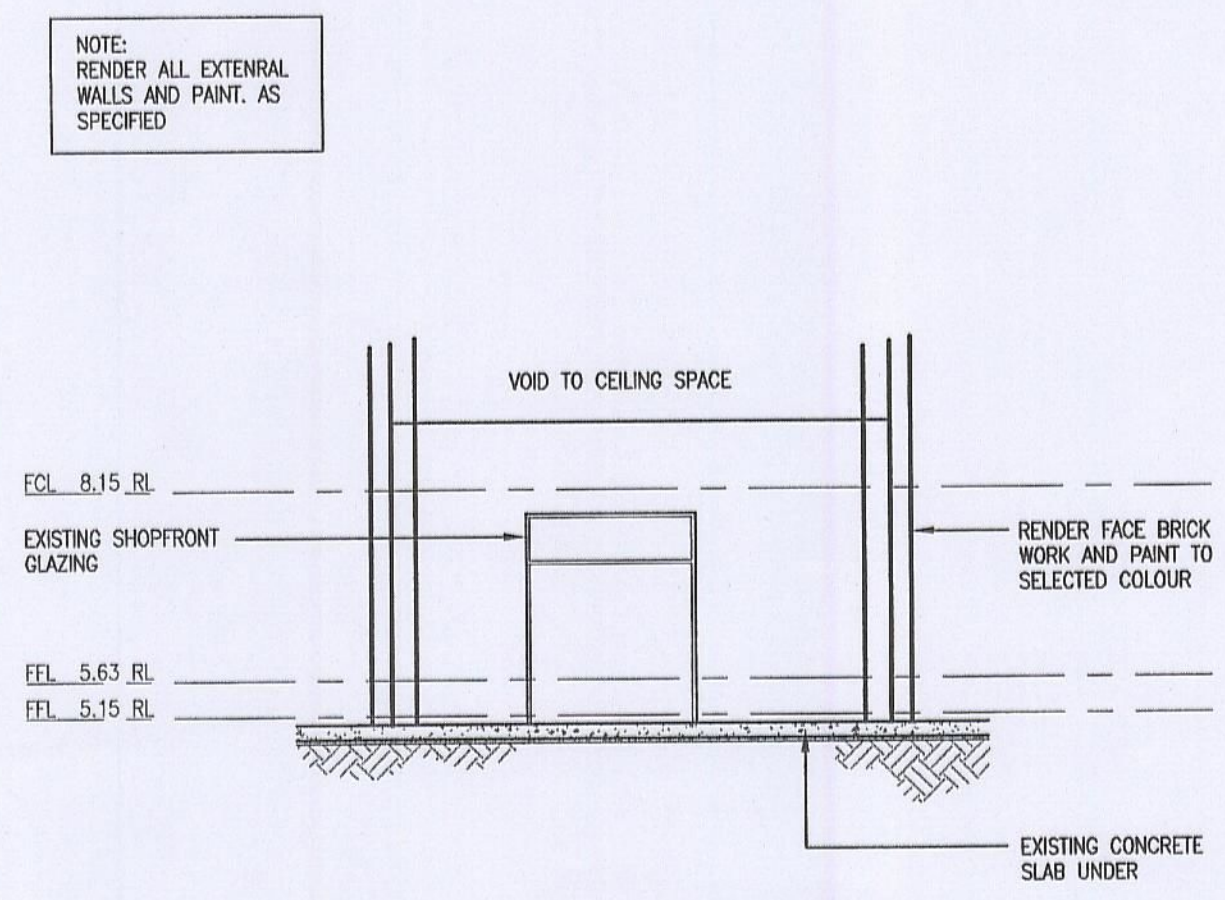
EXISTING CONDITIONS
1:100



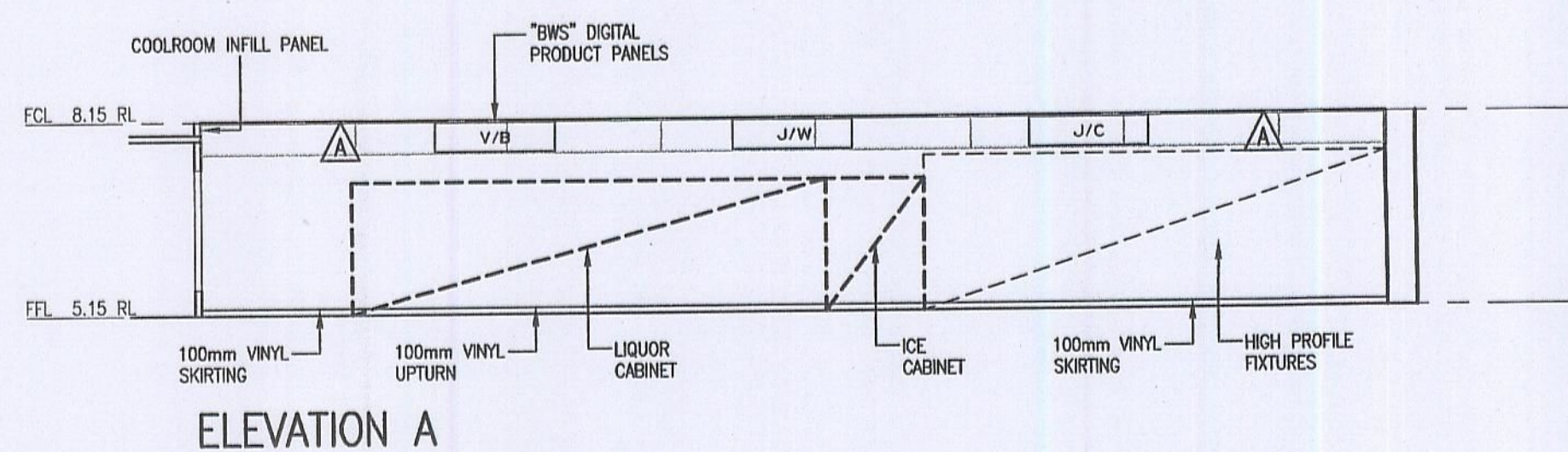
MALL ELEVATION
1:100



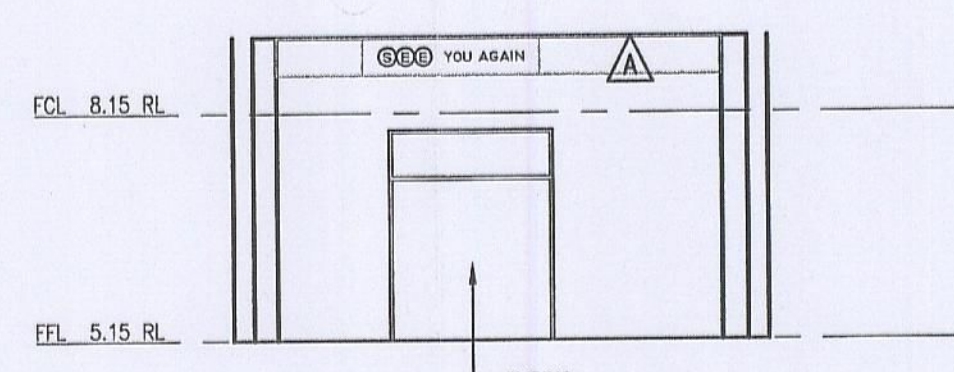
BARRENJOEY RD ELEVATION
1:100



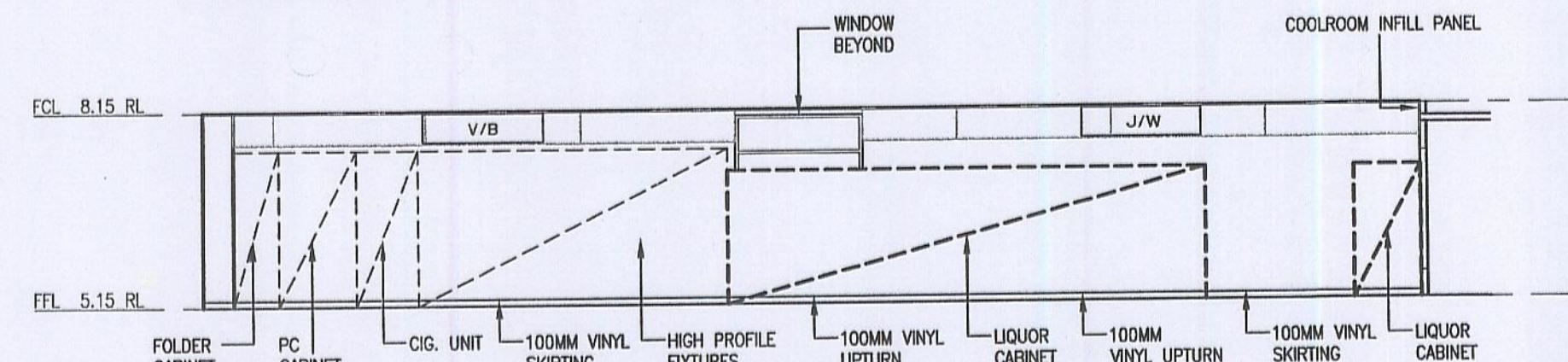
SECTION A-A
1:100



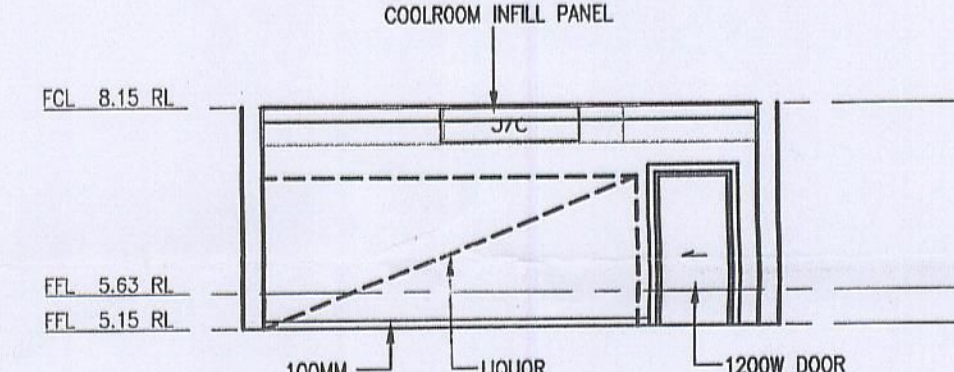
ELEVATION A



ELEVATION B

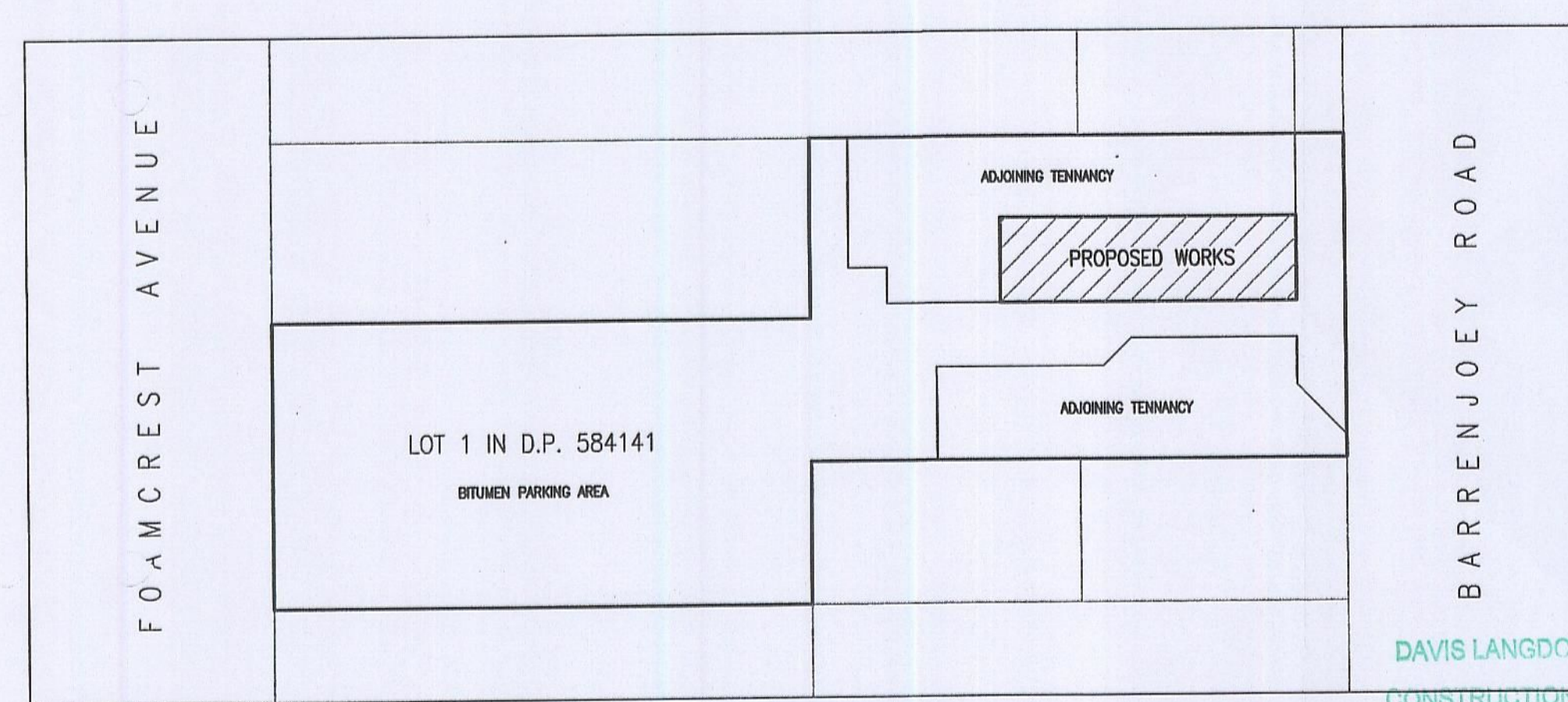


ELEVATION C



ELEVATION D

INTERNAL WALL ELEVATIONS
SCALE 1:100



SITE PLAN
SCALE 1:500

LEGEND

GENERAL

SYMBOL	KEY
BS	BRASS STRIP
BSN	BASIN
BT	BUCKET TRAP
BUW	BOILING WATER UNIT
CBR	COOLROOM BUFFER RAIL
CLS	CLEANERS SINK
CRP	TIMBER CHAIR RUB RAIL
CW	COLD WATER
REF	REFER TO DOOR SCHEDULE
DP	DOWNPIPE
DWR	DRAWER UNIT
EAS	SECURITY DEVICE
FB	FIXED BOLLARD
FDC	FORCED DRAUGHT COOLER
FE	FIRE EXTINGUISHER
FHR	FIRE HOSE REEL
FHR/FH	FIRE HYDRANT & HOSE REEL
FW	FLOOR WASTE
GW	GLASS WASHER
HC+	HOT/COLD WATER MIXER
HR	HANDRAIL
HW	HOT WATER
HWS	HOT WATER SYSTEM
MDF	TELSTRA MAIN DISTRIBUTION FRAME
MSB	MAIN SWITCH BOARD
PD	PALLET DISPLAY
RB	REMOVABLE BOLLARD
RSD	ROLLER SHUTTER DOOR
SB	STAINLESS STEEL BOLLARD
SFW	SEALED FLOOR WASTE
SK	SINK
SSC	SECURITY SCREEN
ST	STORM WATER
SW	SEWER
TBR	TIMBER BUFFER RAIL
TD	TUNDISH
UR	URINAL
VP	VENT PIPE
WC	WATER CLOSET
WG	WAZZLE GATE

LEGEND

WALL TYPES

[Symbol]	EXISTING WALL
[Symbol]	NEW 90mm STUD WALL, UNLESS STATED OTHERWISE
[Symbol]	NEW COOLROOM-PANELS BY REFRIGERATION CONTRACTOR

NOTES

- ALL DIMENSIONS, SIZES, ETC. ARE IN MILLIMETRES. FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING OF DRAWING.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ELECTRICAL, MECHANICAL, HYDRAULIC, DETAIL STANDARD DRAWINGS AND CONSTRUCTION SUMMARY.
- ALL PLUMB DIMENSIONS & DETAILS TO BE PROVIDED BY REFRIGERATION CONTRACTOR.
- INSTALLATION OF COMPACTOR TO BE CONFIRMED BY WOOLWORTHS LIMITED. DEVELOPER TO ALLOW FOR SERVICES, CONCRETE SLAB, WALL PENETRATIONS AND SCREEN WALL.
- EXTERNAL METALWORK SPECIFIED AS GALVANISED SHALL BE HOT DIPPED GALVANISED TO CONFORM TO AUSTRALIAN STANDARDS.
- EXPOSED VENT PIPES WILL NOT BE PERMITTED IN AMENITIES, OFFICES & PREPARATION AREAS.
- A FEATHERED EDGE BRASS STRIP SHALL BE PROVIDED AT ALL JUNCTIONS OF VINYL FLOORING AND CONCRETE SLAB, & CERAMIC TILES TO CONCRETE FLOOR.

BUILDING AREAS

	EXIST. M ²	PROPOSED M ²
TRADING AREA	141	141
NON TRADING AREAS - GROUND FLOOR	23	23
BUILDING AREAS - GROUND FLOOR	164	164
- LIQUOR SHOP TOTAL	164	164

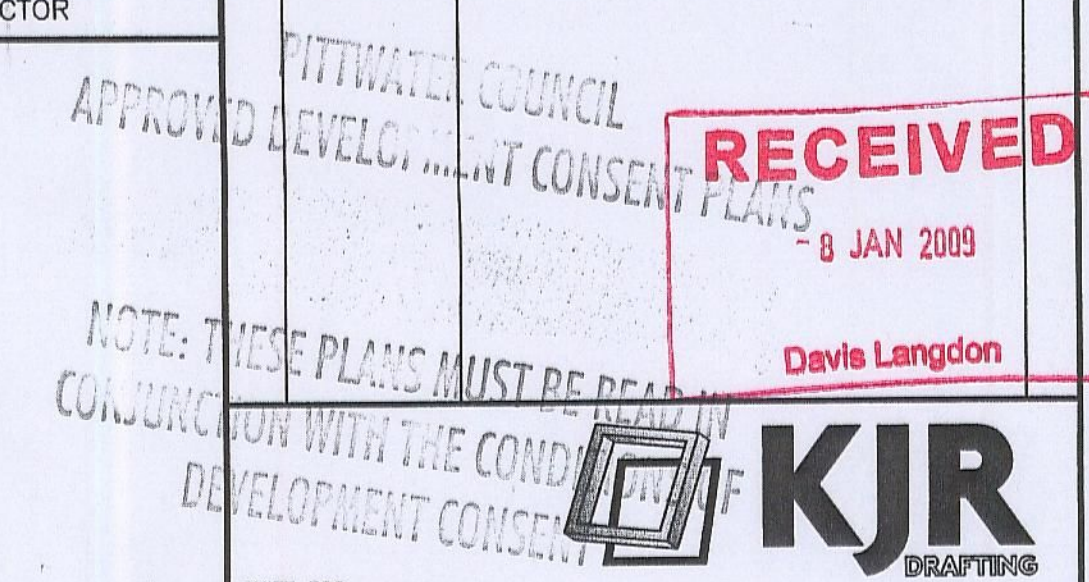
INTERNAL FITOUT FINISHES & COLOUR MATRIX

FLOOR FINISH	POLYFLO EXPOMA COLOUR 7102 450x450mm VINYL FLOOR TILE
WALL FINISH	[Symbol] TO MATCH DULUX 'COTTON TAIL' LOW SHEEN FINISH
WALL FINISH	[Symbol] TO MATCH DULUX ORANGE P07H9, LOW SHEEN FINISH
CEILING FINISH	[Symbol] TO MATCH TAUBMAN'S 'JACK FROST' T9-4W LOW SHEEN FINISH
SHOPFRONT & DOOR FRAMES	PAINT FINISH BLACK
COOLROOM PANELS	[Symbol] ALL COOLROOM PANELS BELOW HEAD OF COOLROOM DOORS TO BE PAINTED BLACK
UNDER CABINET VINYL SHEETING	ARMSTRONG ARMALON 'N' BLACK' 600x420x5 SHEET VINYL OR POLYFLO 'PLAIN BLACK' 880 SHEET VINYL
COLUMNS TO TRADING AREA	TO MATCH DULUX ORANGE P07H9, LOW SHEEN FINISH

EXTERIOR-OPTION 1

	[Symbol]	TO MATCH DULUX ORANGE P07H9
BULKHEAD & SIGNAGE AREA	[Symbol]	TO MATCH TAUBMAN'S 'JACK FROST' T9-4W, LOW SHEEN FINISH
WINING UNDERSIDE	[Symbol]	PAINT FINISH BLACK
WALLS	[Symbol]	BASE COLOUR FOR ANY MASONRY TO MATCH DULUX 'COTTON TAIL'
AS NOTED	[Symbol]	TO MATCH DULUX ORANGE P07H9

No	DATE	AMENDMENTS	BY
A	11-04-2008	FIRST ISSUE	MB
B	22-05-2008	ADDED SIGNAGE TO ELEVATIONS; ADDED INTERNAL ELEVATIONS.	MB
C	20-06-2008	ADDED SITE PLAN, SECTION & RL'S.	MB
D	03-07-2008	MADE ADJUSTMENTS TO RL'S, ADDED FTL & FCL.	BF
E	15-08-2008	ADDED FTL & FCL TO ALL ELEVATIONS & SECTIONS.	BF



SUITE 302
5 CELEBRATION DRIVE
NORWEST BUSINESS PARK
BELLA VISTA NSW 2153
ABN 15 078 937 236
PHONE: (02) 8883 4344 FAX: (02) 8883 4322 EMAIL: kjrdrafting@kj-net.au

THIS DRAWING IS FOR DESIGN GUIDANCE ONLY. FINAL DETAILS MUST MEET SITE CONDITIONS, RELEVANT AUTHORITIES AND APPLICABLE BUILDING STANDARDS.

WOOLWORTHS LIMITED

ABN. 88 000 014 675
1 WOOLWORTHS WAY BELLA VISTA NSW 2153
PO BOX 8000 Baulkham Hills NSW 2153
TELEPHONE (02) 8885 0000 FACSIMILE (02) 8885 0308

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PROJECT: NEWPORT BWS
343-345 BARRENJOEY ROAD, NEWPORT, NSW
STORE No. TBA

DRAWING: FEASIBILITY PLAN

<input checked="" type="checkbox"/>	DRAWN BY : MB	SCALE : 1:100	DRAWING No : 1
	PROJECT NO.:	DATE : 11-04-08	KIT ISSUE : —
<input checked="" type="checkbox"/>	PROJECT MGR: C. MOYLE	CAD : AUTOCAD	AMENDMENT No : E 15-08-2008

APPROVED FOR CONSTRUCTION
SIGNED: _____
DATE: _____

DAVIS LANGDON AUSTRALIA
CONSTRUCTION CERTIFICATE
CC No: 250053
DATE: 13/11/09
SIGNED: [Signature]

16 JAN 2009