

PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
PO Box 882, MONA VALE NSW 1660
DX 9018, MONA VALE
Facsimile: (02) 9970 7150
Telephone: (02) 9970 1111



Office Use Only:

C/C NO: _____

FILE AND PART NO: _____

PROPERTY NO: _____

OFFICER: _____

LODGEMENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.

THIS APPLICATION RELATES TO: (please tick)

☐ BUILDING WORK

☐ SUBDIVISION WORK

☒ AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No NO 856/00 Date 21-03-01

☐ A CONCURRENT DEVELOPMENT APPLICATION

Application No _____ Date _____

SITE DETAILS: (please print)

House No 6 Street/Road Hunter St North Suburb Mona Vale

Postcode 2103 Lot _____ Section _____ Deposited Plan _____

Description of Proposal _____

replace carport + additions

VALUE OF DEVELOPMENT: \$.....40,000.....

Nominated Building Classification: Class(es).....

APPLICANT: (please print)

Name/Company Kimberly Germano & Stephen Varvaressos

Address 6 Hunter St NO. Mona Vale

Phone (02) 9979 9155 Daytime Contact No () _____

I declare that all of the particulars and information supplied in connection with this application are correct.
Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.

Signature K Germano Date 21-3-01

BUILDER: (please print)

Name/Company Stephen Varvaressos

Address 6 Hunter St NO. Mona Vale

Phone (02) 9979 9155 Daytime Contact No () 0412 776 141

Pittwater Council

ABN: 61540837871

**TAX INVOICE
OFFICIAL RECEIPT**

21/03/2001 Receipt No 51695

To S P VARVARESSOS & K A
GERMANO

6 HUNTER STREET NORTH
MONA VALE 2103

Pittwater Council, Serving
Community Needs

Qty/ Applic	Reference	Amount
	DSL-Rail	\$80.00
GL Rec	6 HUNTER ST NTH, MONA VA	
	HKER-RR A	\$110.00
GL Rec	6 HUNTER ST NTH, MONA VA	
6	ICER-Cons	\$177.50
GL Rec	6 HUNTER ST NTH, MONA VA	
	GST	\$19.75
GL Rec		

To GL Receipt:

Total Amount:	\$407.25
Includes GST of:	\$19.75

Amounts Tendered

Cash	\$0.00
Cheque	\$407.25
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$407.25
Rounding	\$0.00
Change	\$0.00
Nett	\$407.25

Printed 21/03/2001 2:36:01 PM
Cashier GBianco

CASHIER PAYMENT ADVICE

ENVIRONMENTAL DIVISION

APPLICANT'S NAME: . . . Kimberly ~~W. Germano~~ . . .

APPLICANT'S ADDRESS . . . 6 Hunter St North . . .

. . . Mono Vale . . . 2103 . . .

REFERENCE FOR RECEIPT: . . .

DEPARTMENT No.	\$	C
QLSL.	80	00.
HKER.	110	00
TCER.	217.	25
Total	\$ 407.	25

**OWNER (please print)**

This section must be signed by ALL owners

I/we consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.

Owner/s Kimberly Germano
Stephen Varvarevoss

Address 6 Hunter St No.
Mona Vale

Postcode 2103

Signature(s) K Germano

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a Company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- If the written consent is not signed by all owners of the property, this application will not be accepted.

**BUILDER'S NAME AND ADDRESS**

(must be completed when the proposal involves residential building work): *(please print)*

Are you an Owner-Builder? ☒ YES, Permit No. 213517P

Licensed Builder Details

Name/Company OWNER Builder

Address _____

Phone () _____ Daytime Contact No () _____

Licence No _____ Insurance Policy No _____

Note: (1) Where the works are to be carried out by a licensed builder, documentary evidence must be submitted confirming that the builder's insurance is current and appropriate for this proposal.

(2) Prior to the release of the Construction Certificate, the owner/builder permit must be sighted by a Council Officer.



**S
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CONSTRUCTION MATERIALS/DETAILS: (please print) (must by law be accurate)**Construction materials**

External walls _____ Roof _____

Floor _____ Wall frames _____

Details

Current use of the land/building(s) _____

Site area _____ m²

Floor area - existing _____ m²

- proposed _____ m²

Total _____ m²

Number of Storeys _____

Number of dwellings to be demolished _____

Number of dwellings proposed _____

*See Plans by
AW Design
Drawing No 190089/4 2/2001*

THE CHECKLIST

- We suggest you use the left hand column as your checklist, Council staff will check off the items in the right hand column.
- All of the details in the relevant sections must be included in your application, or it will not be accepted.

INFORMATION REQUIRED TO ACCOMPANY THIS APPLICATION:

For Building Work See Items A – J in the checklist.

For Subdivision – See Items A, B, C, F and J in the checklist.

YOUR USE		STAFF USE
A	COMPLIANCE WITH CONSENT CONDITIONS	
☐	All information required by the conditions of development consent, prior to the issue of the Construction Certificate accompanies this application.	☐
B	COMPLIANCE CERTIFICATE A Certificate which signifies compliance with conditions of development consent, Australian or Industry standards or the Building Code of Australia.	
☐	A copy of any Compliance Certificates which may have been issued in respect of this proposal, accompanies this application.	☐
C	SITE PLAN An aerial view of the site showing existing and proposed buildings and the following information. Minimum Scale 1:200	
☐	North point and all boundary dimensions of the block.	☐
☐	All existing/proposed buildings on the site and their setback or distance to the boundary; the location of windows and doors. Proposed additions to existing buildings are to be clearly identified (preferably coloured).	☐
☐	The outline of buildings on the adjoining sites, the setback or distance from the street and common boundary including the location of windows and doors.	☐
☐	Any easements or right of way over the site, existing/proposed stormwater drainage lines or watercourses.	☐
☐	Existing/proposed fences, swimming pools, retaining walls, driveways or parking areas, garbage or trade waste holding areas.	☐
D	ELEVATIONS A view of all sides of the building and the site profile. Minimum scale 1:100	
☐	All relevant elevations detailed and identified (i.e. north, south etc) with the proposed additions clearly identified.	☐
☐	Existing/proposed ground levels and all floor to ceiling heights.	☐
☐	Reduced levels (RL's) to Australian Height Datum (AHD) shown for all roof ridges, floor and ceiling levels for the existing/proposed building and those on adjoining sites, also street levels.	☐
☐	Roof profile, material, colour, reflectivity and eaves width are shown.	☐
☐	The outline of buildings on the adjoining sites.	☐

YOUR USE		STAFF USE
E	SECTIONS A cut through view of the building and site. Minimum scale 1:100	
☐	The outline of the existing and/or proposed building showing all dimensions including roof pitch.	☐
☐	All sections labelled and cross related back to where they occur on the floor plan and site plan (including driveways and their proposed gradients).	☐
☐	Existing and proposed RL's to AHD, for the building (ceiling and floor level) and the site showing proposed excavation or filling (if any).	☐
☐	Construction details for wall, floor, window, door, ceiling, roof frame, type of footings and size	☐
☐	Provisions made for Fire Safety and Fire Resistance.	☐
F	LONG SECTIONS A length ways cut through view of the site, the building or driveway. Minimum Scale 1:100	
☐	Details of driveways, vehicle crossing profiles and transitions.	☐
☐	Maximum driveway grade 1:4; maximum emergency pedestrian access grade 1:8.	☐
G	FLOOR PLAN An aerial view of the room layout on all levels, or storeys. Minimum scale 1:100	
☐	North point shown.	☐
☐	Room dimensions and use shown.	☐
☐	The location and dimension of all windows, doors and walls (including wall thickness).	☐
☐	Provisions made for Fire Safety and Fire Resistance	☐
H	BUILDING SPECIFICATION Details of construction.	
☐	Two copies, detailing method of construction, fire ratings, type of materials, dimensions and length.	☐
☐	Whether the material will be new or second hand. Give particulars of second hand materials.	☐
☐	Details of drainage, effluent disposal, water supply, ventilation arrangements etc.	☐
Note: Where the proposal involves an alternative solution to the Building Code of Australia requirements, the application must be accompanied by details of the performance standard intended to be met and the details/assessment used to establish compliance with the performance standard.		
I	FIRE SAFETY PROVISIONS Class 2-9 buildings only	
☐	Details of the fire safety measures to be implemented.	☐
☐	Where the proposal involves alterations or additions to an existing building, details of the existing fire safety measures.	☐
J	DETAILED ENGINEERING DRAWINGS Detailed plans which have been certified by a qualified consultant for the following where relevant	
☐	Earthworks, erosion control measures, elevations of retaining walls, etc.	☐
☐	Roadworks, road pavement details.	☐
☐	Stormwater drainage (including stormwater management details).	☐
☐	Water supply, effluent disposal.	☐
☐	Landscape construction works.	☐
Note: Where the works involve an amendment or modification to previously approved plans, the alteration is to be appropriately highlighted on the submitted engineering plans.		
		Checked by:

PITTWATER COUNCIL
ROAD RESERVE CONDITION ASSURANCE FEE
(To be paid on Lodgement of the Construction Certificate)

LOCATION OF WORK

Street: 8 Hunter St North House No: 6
Suburb: Mona Vale Lot No: 7
Residential ☒ Commercial ☐ Dual Occupancy ☐

PROPERTY OWNER

Name: Germann, Kimberly & Varvackis, Stephen
Address: 6 Hunter St North, Mona Vale
Phone: (H) 9979 9155 (B) 9979 3821

PAYEE INFORMATION (If the same as Property Owner write AS ABOVE)

Name: RS LARSON
Postal Address:
Phone: (H) (B)

Signed: K. Germann Date:
Payee/Applicant

FEE \$110.00

FOR DEVELOPMENT APPLICATIONS OVER THE VALUE OF \$5000.00
(NON REFUNDABLE)

This fee enable Council to ensure that the Road Reserve and infrastructure assets adjacent to building sites remain in an acceptable condition for the benefit of the whole Community.

OFFICE USE ONLY

ACCOUNT NO: 40024

Receipt No: 51695

Date: 21/3/01



DEPARTMENT OF **FAIR TRADING**

NSW Consumer Protection Agency

STEPHEN PHILLIP VARVARESSOS
6 HUNTER STREET NORTH
MONA VALE 2103

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit :213517P
Receipt:AA1376165

Issued:15/03/2001
Amount: \$37.00

Building Site:

6 HUNTER STREET NORTH, MONA VALE 2103

Authorised Building Work:

BUILDING WORK AS PER BA NO.
DA NO.: N0856/00
ISSUED BY PITTWATER COUNCIL

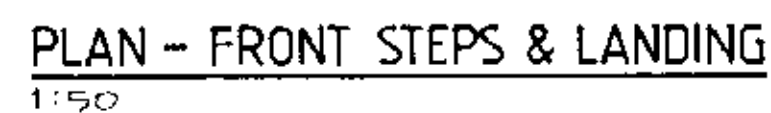
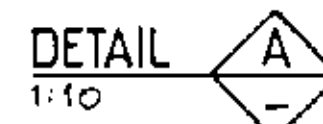
You should obtain professional advice from private insurers regarding public liability and property damage cover, etc.

Should the property be sold within 7 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers. A certificate of insurance must be attached to any contract for sale.

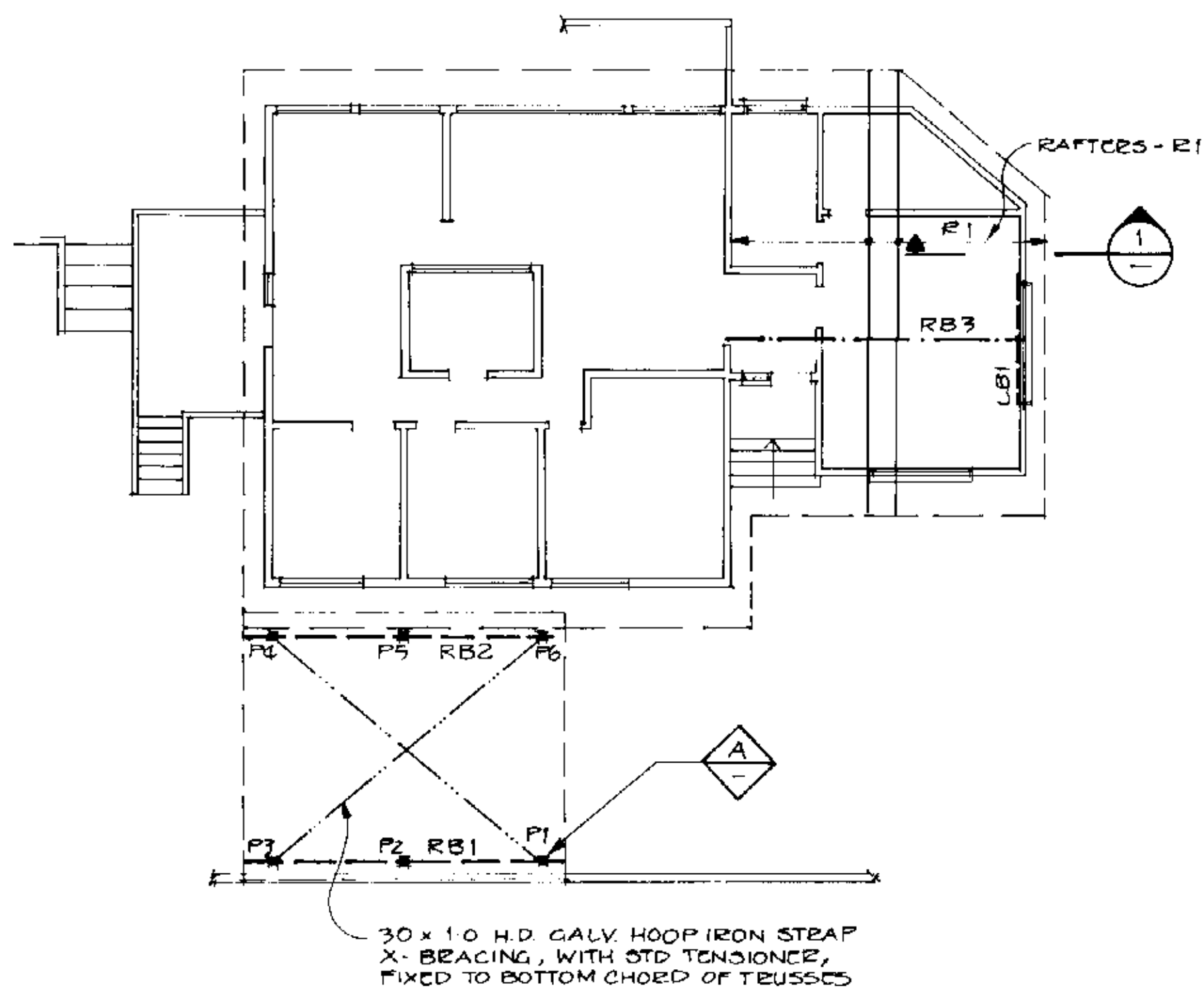
Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met at presentation.

Issuing Officer

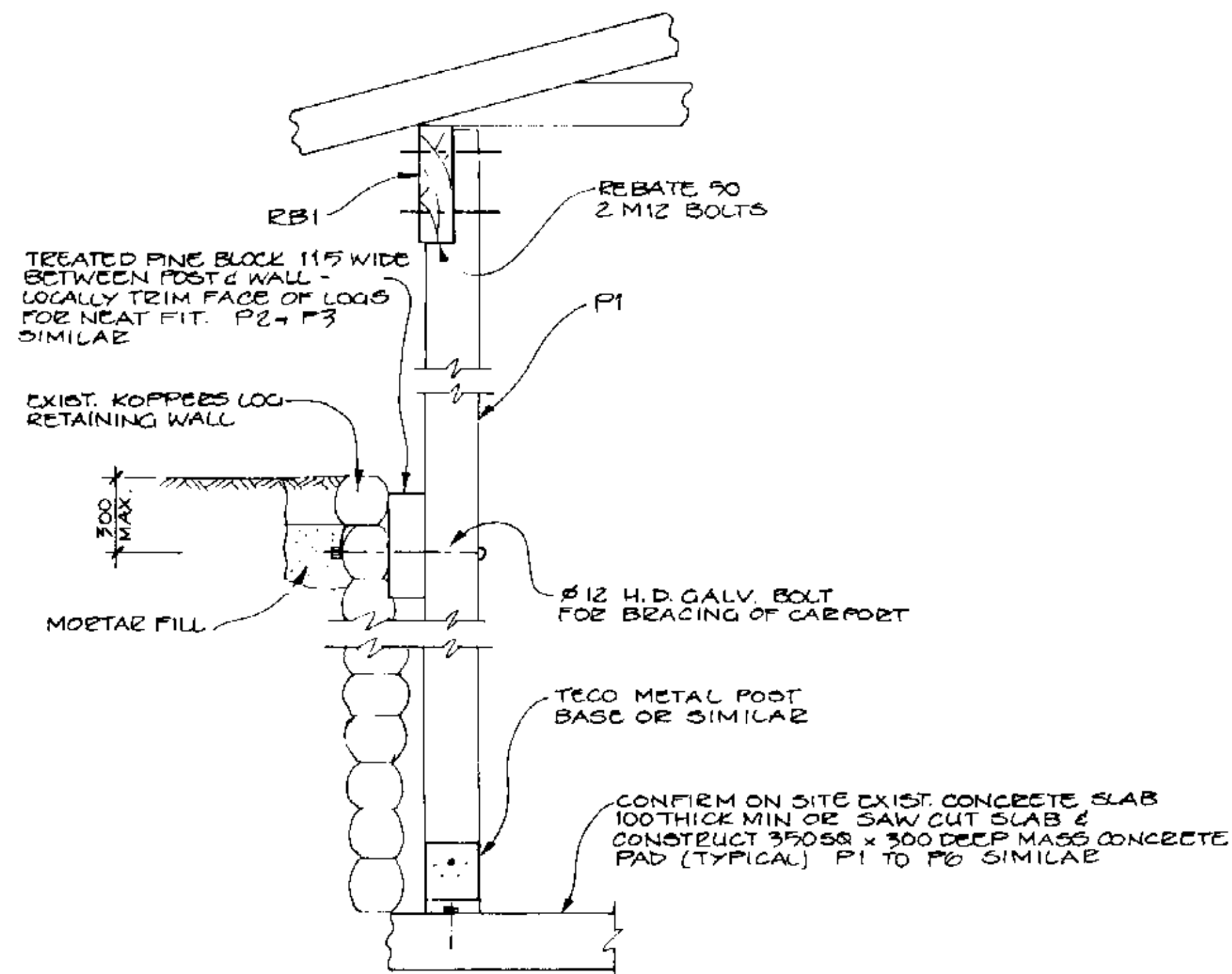
***** END OF PERMIT *****



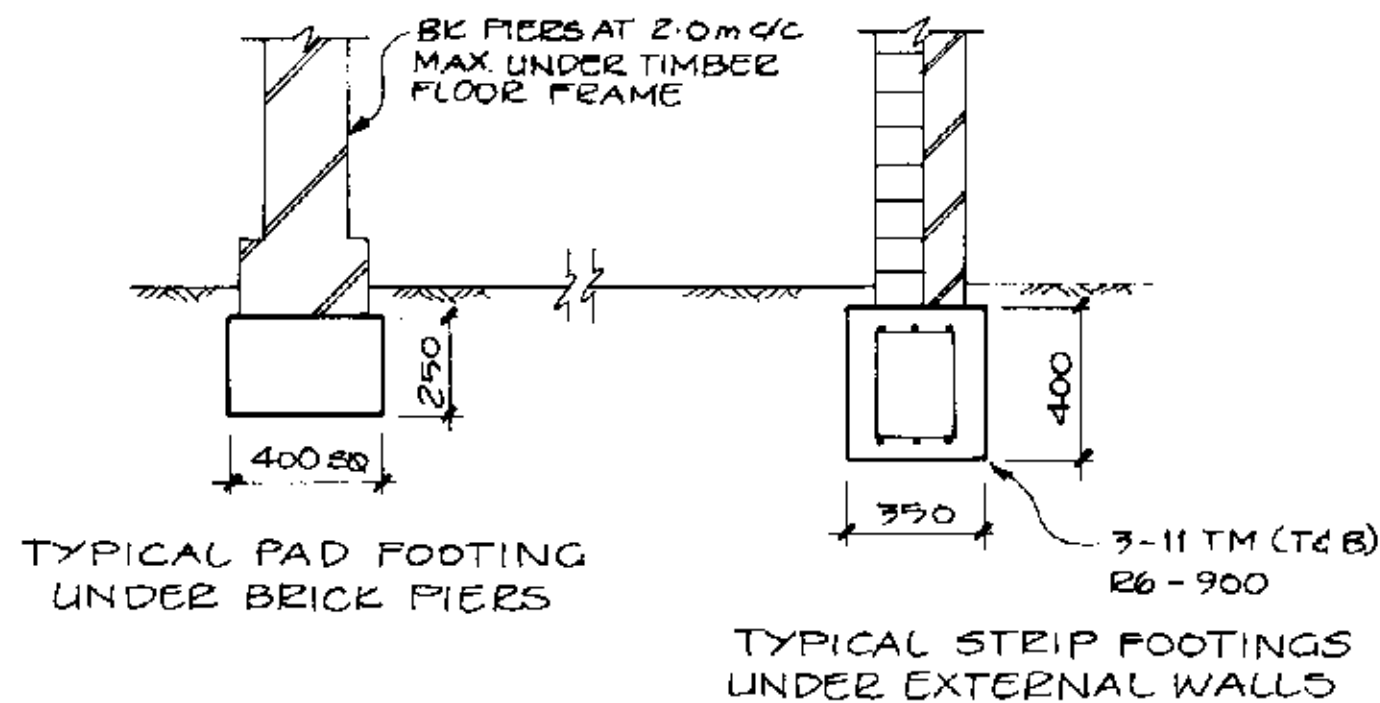
DATE	REVISION	BY	T. J. TAYLOR CONSULTANTS PTY LIMITED <i>Consulting Civil and Structural Engineers</i> A/S 15-02-90-056 22 Fisher Road, Dee Why, NSW 2099 Telephone: 93842 0992 Fax: 93842 5898				 THE ASSOCIATION OF STRUCTURAL ENGINEERS AUSTRALIA
			STRUCTURAL DETAILS - ADDITIONS 6 HUNTER ST NORTH WARRIEWOOD FOR MR & MRS S VARVARESSOS				
			DRAWN	CHECKED	SCALE		DRAWING No
			S. BOND	<i>S. Bond</i>	1:100	1:50	16201
			MAR. 2001	<i>MEETLAST</i>	1:20	1:10	



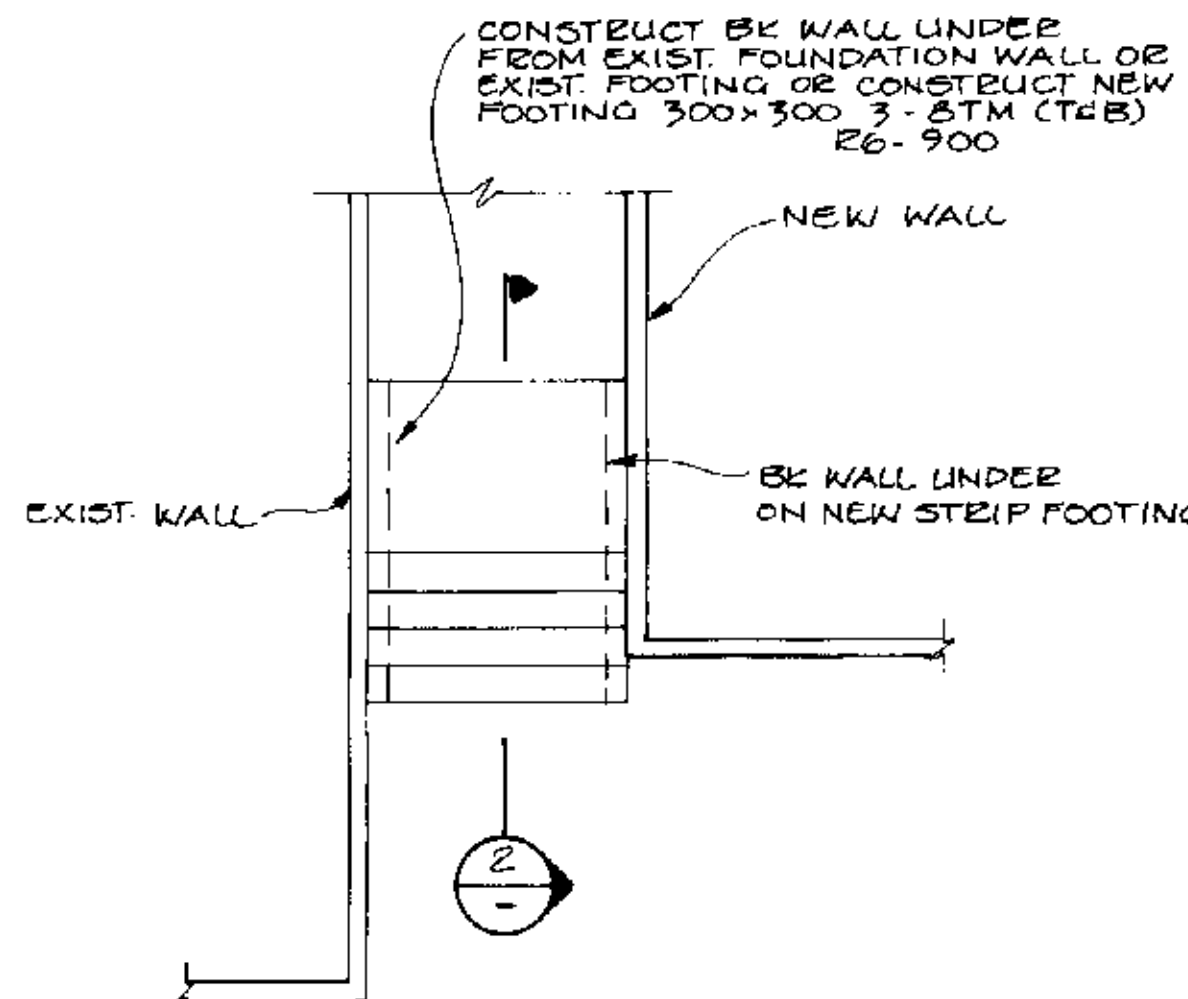
GROUND FLOOR PLAN
1:100



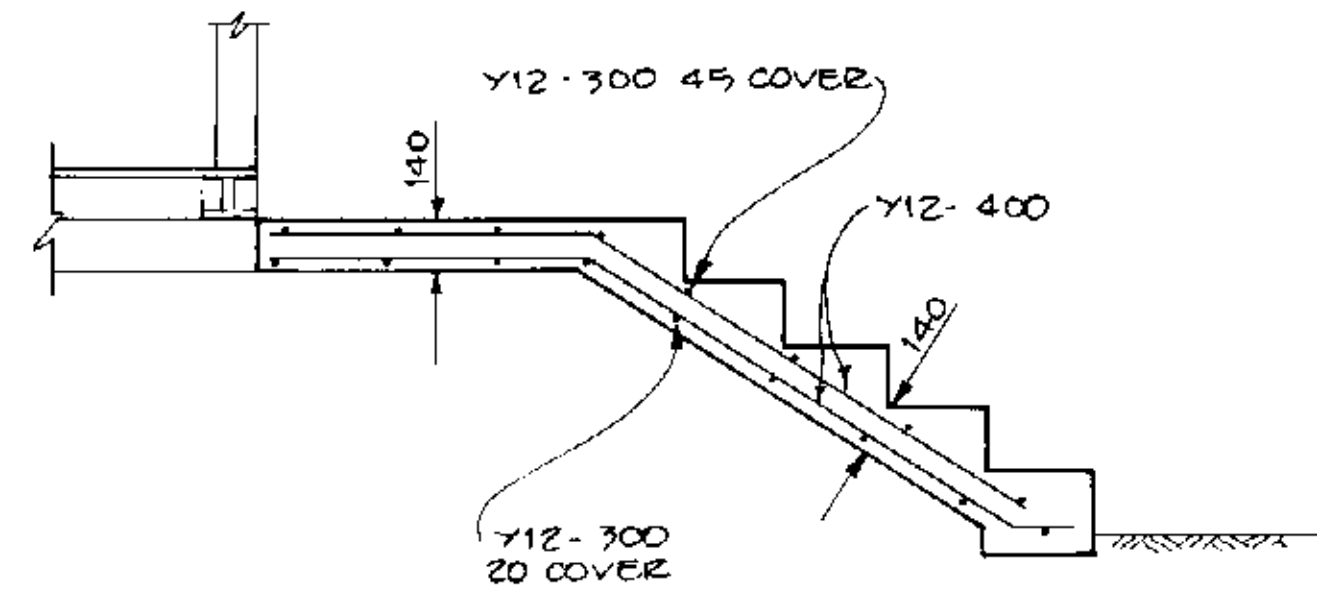
DETAIL A
1:10



SECTION 1
1:20



PLAN - FRONT STEPS & LANDING
1:50



SECTION 2
1:20

NOTE: LANDING & STEPS SUPPORTED ON BRICK WALLS BOTH SIDES

MEMBER SCHEDULE

Roof Beams

RB1 & RB2..... 240 x 75 - F7 treated pine.
RB3..... 300 x 45 - F16 hyspan or 180 UB 16.

Rafters

R1..... 170 x 45 - F7 Pine at 600 c/c - 3.4m max span.
or 140 x 45 - F7 Pine at 600 c/c - 2.8m max span.

Carport Posts

P1 to P6 inclusive.. 115 x 115 - F7 treated pine - P1, P2 & P3 fixed to exist retaining wall for bracing - Detail A.

CONSTRUCTION NOTES

- These drawings shall be read in conjunction with all architectural and other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. All dimensions shall be referred to the Supervising Officer for decision unless otherwise stated.
 - Dimensions shall not be obtained by scaling the structural drawings.
 - All dimensions shall be verified on site by the Contractor who shall be responsible for their correctness.
 - The Contractor shall be responsible for maintaining the structure and neighbouring structures in a safe and stable condition during construction. No part shall be over-stressed.
 - All workmanship and materials shall be in accordance with the requirements of the current SAA Codes and the By-Laws and Ordinances of the relevant Government Authority.
- FOUNDATIONS:**
- Excavation shall be taken into FIRM NATURAL GROUND 150 kPa.
 - Foundation materials shall be approved immediately before placing of concrete.
- CONCRETE:**
- All workmanship and materials shall be in accordance with AS 3600, current edition with amendments.
 - Concrete quality: All concrete shall be Type A Normal Portland Cement.
- | Element | Slab
mm | Beam
mm | 12
mm | Special
Reinforcement |
|-----------------|------------|------------|----------|--------------------------|
| FOOTINGS | 80 | 20 | 20 | - |
| STEPS & LANDING | 80 | 20 | 32 | - |
- Strength shall be verified by plant control testing.
- Clear concrete cover to reinforcement including lap and drape shall be as follows unless shown otherwise:
- | Element | Exposure Classification | | |
|-----------------|------------------------------|---|---|
| | A1
Sheltered
locations | B1
External locations
near free face
with 10% of
subsurface structure | B2
External locations
with 10% of
subsurface structure |
| Step landings | - | 50 | 50 |
| Columns & walls | 20 | 40 | 50 |
| Beams | 20 | 40 | 45 |
| Slab & walls | 20 | 40 | 45 |
- Note that slabs placed over a membrane or ground are excluded as A1.
- Reinforcement symbols:**
- denotes Grade 230 S high yield deformation bar to AS 1302
 - denotes Grade 415 B deformation bar to AS 1302
 - denotes Grade 230 R high yield ribbed bar to AS 1302
 - denotes hard drawn wire mesh to AS 1304
 - denotes direction of main bars at rectangular slabs (main bars down for bottom reinforcement, main bars up for top reinforcement)
 - denotes rebar fabric
 - denotes extent of reinforcement
- All unreinforced bars shall be fixed in accordance with AS 1302.
 - Reinforcement is represented diagrammatically and is not necessarily shown in true section.
 - Splices in reinforcement shall be made only in the positions shown. The written approval of the Supervising Officer shall be obtained for any other splices. Where the lap length is not shown it shall be sufficient to develop the full strength of the reinforcement.
 - Welding of reinforcement will not be permitted unless shown on the structural drawings.
 - Fabric lap detail: 4m, 25mm, at two sides.
 - Slab reinforcement shall extend at least 65 mm masonry support walls unless shown otherwise.
 - Concrete slabs shown as minimum and no reductions by ducts, pipes, etc. shall be made without the approval of the Supervising Officer. Slabs do not include thickness of applied finish.
 - Slab depths are written first and include slab thickness.
 - Plates or corrugals shall not be placed within the concrete cover to reinforcement without the approval of the Supervising Officer.
 - No holes or channels other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Supervising Officer.
 - Construction joints where not shown shall be located to the approval of the Supervising Officer.
 - The Contractor shall notify the Engineer 24 hours before pouring of concrete.
 - The concrete shall be compacted using high frequency vibrators.
 - Columns, piers and pedestals shall be placed 24 hours (min) before concrete is placed on beams over.
 - Curing of all concrete surfaces shall commence immediately after surfaces are finished as specified.
- BRICK AND CONCRETE BLOCK MASONRY**
- All workmanship and materials shall be in accordance with AS 3700.
 - Two layers of approved metal lath shall be applied to the face of all slabs where they bear on brickwork.
 - Walls shown on structural drawings are load bearing walls. Non load bearing walls with outer leaves shall be supported from the concrete by a minimum of 10mm thick compressible material.
 - No brickwork which is supported by the slab shall be erected until formwork has been removed.
 - Bricks must be laid in 1:1:6 preparation by volume of cement, lime and sand.
 - Brick strength for load bearing brickwork to be a minimum of 17 N/mm² 174 kPa.
- REINFORCED CONCRETE BLOCK MASONRY**
- All concrete masonry units shall conform to the requirements of AS 2700.
 - The design strength of concrete masonry shall be:
- | Element | Strength | |
|---------|----------------|-------------------|
| | Crack at Limit | Crack Limit State |
| | | |
- Workmanship involved in placing concrete masonry units shall comply with AS 3700 and all units shall show fully bedded base and crown walls.
 - Clear end holes shall be provided at the base of all masonry corners.
 - Unless noted otherwise the faces of all concrete masonry units shall be filled with concrete having a characteristic strength of 28 days 8 N/mm² or 8 N/mm² at 140 mm or 200 mm when using solid. The concrete filling shall be thoroughly compacted.
 - Maximum size of coarse aggregate in concrete used to fill cores shall be 10 mm unless shown otherwise.
- STRUCTURAL STEELWORK**
- All workmanship and materials shall be in accordance with AS 4100 and AS 1554 except where varied by the Contract Documents.
 - Three (3) copies of all shop details to be submitted to the engineer for approval of structural sufficiency before fabrication.
 - All welds shall be 6 continuous fillet, at least 20 mm, all gusset plates 10 mm, unless noted otherwise on the drawing.
 - Concrete around steelwork shall be cast with 3 mm max at 100 mm and shall have a minimum 50 mm cover of concrete.
 - Steel beams and columns with span greater than 6 m shall be fabricated with upward camber of 1:500 span in each span unless noted otherwise on the drawings.
 - Structural steel work is to be weathered to remove rust and scale and coated with one coat of approved primer unless otherwise specified.
 - All steelwork shall be galvanized.
- TIMBER**
- Timber construction to be in accordance with AS 1726 and Timber Framing Code AS 1724.
 - Timber stress grade to be F7 unless noted otherwise.

DATE	REVISION	BY	T. J. TAYLOR CONSULTANTS PTY LIMITED Consulting Civil and Structural Engineers 22 Fisher Road, Dee Why, NSW 2099 Telephone: 9982 7002 Fax: 9982 5808			
			STRUCTURAL DETAILS - ADDITIONS 6 HUNTER ST NORTH WARRIWOOD FOR MR & MRS S. VARVARESSOS			
			DRAWN	CHECKED	SCALE	DRAWING No.
			S. BOND	J. Taylor	1:100	1:50
			MAR. 2001	20.3.01	1:20	1:10
						16201

