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Revisions				
A	14.12.2021	DEVELOPMENT APPLICATION	JC	
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Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**

Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **COVER SHEET**

Project No / **221054**

Date / **07.12.2022**

Author / **SJ**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP00.00 C**

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Demolition Notes

Contractor to confirm existing conditions on site.

Contractor to demolish existing structure/remove all materials. Cut and seal services as required in accordance with local authority requirements and a.s. codes for that trade u.n.o

Protection of works as required by local authorities

Cleaning of site to epa requirements by contractor

Asbestos
Contractor to allow for complete demolition & removal of all asbestos products. All asbestos products to be removed & handled as per relevant Australian standards

Extent of demolition work as indicated on this drawing & heritage consultants drawings & specifications, including but not limited to the following:
Removal/demolition of all existing floor/slabs & footings, external and internal walls, windows, doors, cladding, gutters, downpipes, rainwater heads, cappings, flashing gutter board supports etc. u.n.o

Removal/demolition of all existing works including but not limited to external steps, paths, carparks, planters & landscaping, gates, fences, garden walls, retaining walls, bollards, light blades signs, columns etc. u.n.o

Removal/demolition of all existing fixtures and fittings including but not limited to lights, taps, basins, wets etc. Disconnection & removal of existing services to be undertaken by appropriate contractors

Contractor to make good damage to adjoining buildings, pavement, laneways, roads, fences, kerbs, channels, services, street furniture, carspace markings etc. (ie. Any adjoining objects/materials not within site boundary) resulting from demolition works.

All repairs to authority requirements or to condition prior to demolition. Contractors are responsible for relocation and co-ordination of road carparking markings, ticket machines etc.

Preliminary
Precautionary measures to be undertaken as described in AS.2601-2001. A "hazardous substances management plan" is to be implemented before and during demolition. If the preliminary investigation of the building identifies any hazardous materials contained therein. These materials will be removed as per the guidelines of the responsible authority and clearance certificate obtained before demolition commences

Safety fencing
Security fences shall be provided to the street boundary of the demolition site and any additional precautionary measures, taken as may be necessary to prevent unauthorised entry to the site, where the demolition site adjoins a public thoroughfare the common boundary between them shall be fenced for its full length with a hoarding unless the least horizontal distance between the common boundary and the nearest part of the structure is greater than twice the height of the structure. The fencing shall be the equivalent of the chain wire as specified in AS.1725

Notices lettered in accordance with AS.1319 and displaying the words "warning demolition in progress", or similar, shall be fixed to the fencing at appropriate places to warn the public. Provision shall be made for ready access to the site by emergency services personnel in the event of fire or accident

Demolition work
Structures shall be demolished in the reverse order to that of their construction. The order of demolition for buildings shall be progressive, step by storey, having proper regard to the type of construction. No part of any structure shall be left unsupported or unattended in such a condition that it may collapse or become dangerous. Precautions shall be taken to ensure that the stability of all parts of the structure, and the safety of persons on and outside the site, will be maintained in the event of sudden and severe weather changes.

Walls on the boundaries are to be demolished in a safe and workmanship like manner. Walls shall not be laterally loaded by accumulated debris or rubble, to the extent that they are in danger of collapse, allowable loading of the suspended floors shall be determined by an independent structural engineer.

Dust control

The techniques adopted for stripping out and for demolition shall minimise the release of dust into the atmosphere. Before the commencement of stripping or demolition in an area of a structure, any existing accumulations of dust in that area shall be collected, placed in suitable containers and removed. Selection of an appropriate collection technique, such as vacuuming or hosing down, shall take due account of the nature of the dust and the type of hazard it presents. Dust generated during stripping, or during the breaking down of the building fabric to removable sized pieces, shall be kept damp until it is removed from the site or can be otherwise contained. The use of excess water for this purpose shall be avoided.

Noise control

Noise shall be minimised as far as practicable, by the selection of appropriate methods and equipment, and by the use of silencing devices wherever practicable to epa/code requirements.

Note:

1. Attention is drawn to recommendations in AS.2436
2. Hours of operating equipment may be restricted by regulatory authority

Fire services

Where a fire hydrant service or a fire hose reel service is provided in a building, it shall be available at all times during the demolition of the building, so that all remaining storeys except the two uppermost storeys, are serviced. Access to the fire protection services, including any booster fitting, shall be maintained at all times. If a sprinkler system is installed in a building to be demolished, it shall be maintained in an operable condition at each storey below the two uppermost unstriped storeys.

Suitable portable fire extinguishers shall be kept at all times in working area and are not protected by other fire services, and maintained in an operable condition.

Adjoining properties

Safe access to and egress from adjoining buildings shall be maintained at all times for the duration of the demolition work. No demolition activity shall cause damage to or adversely affect the structural integrity of adjoining buildings. The effects of vibration and conversion on adjoining buildings and their occupants shall be minimised by selecting demolition methods and equipment appropriate to the circumstances. Where any surface of an adjoining building is exposed by demolition, the need for weatherproofing the exposed surface shall be investigated and temporary or permanent protection provided as appropriate. Precautions shall be taken to minimise the spreading of mud and debris by vehicles leaving the site.

General

Openings in existing walls and floors, through which there is a risk of persons falling to lower level, shall be either properly guarded or boarded over and the boarding secured against unauthorised or accidental removal. Precautions shall be taken to prevent glass from falling on any person in or outside the building. Demolished material shall not be allowed to fall freely outside the structure unless it is confined within a chute or similar enclosure, which is clear of obstructions to objects falling freely.

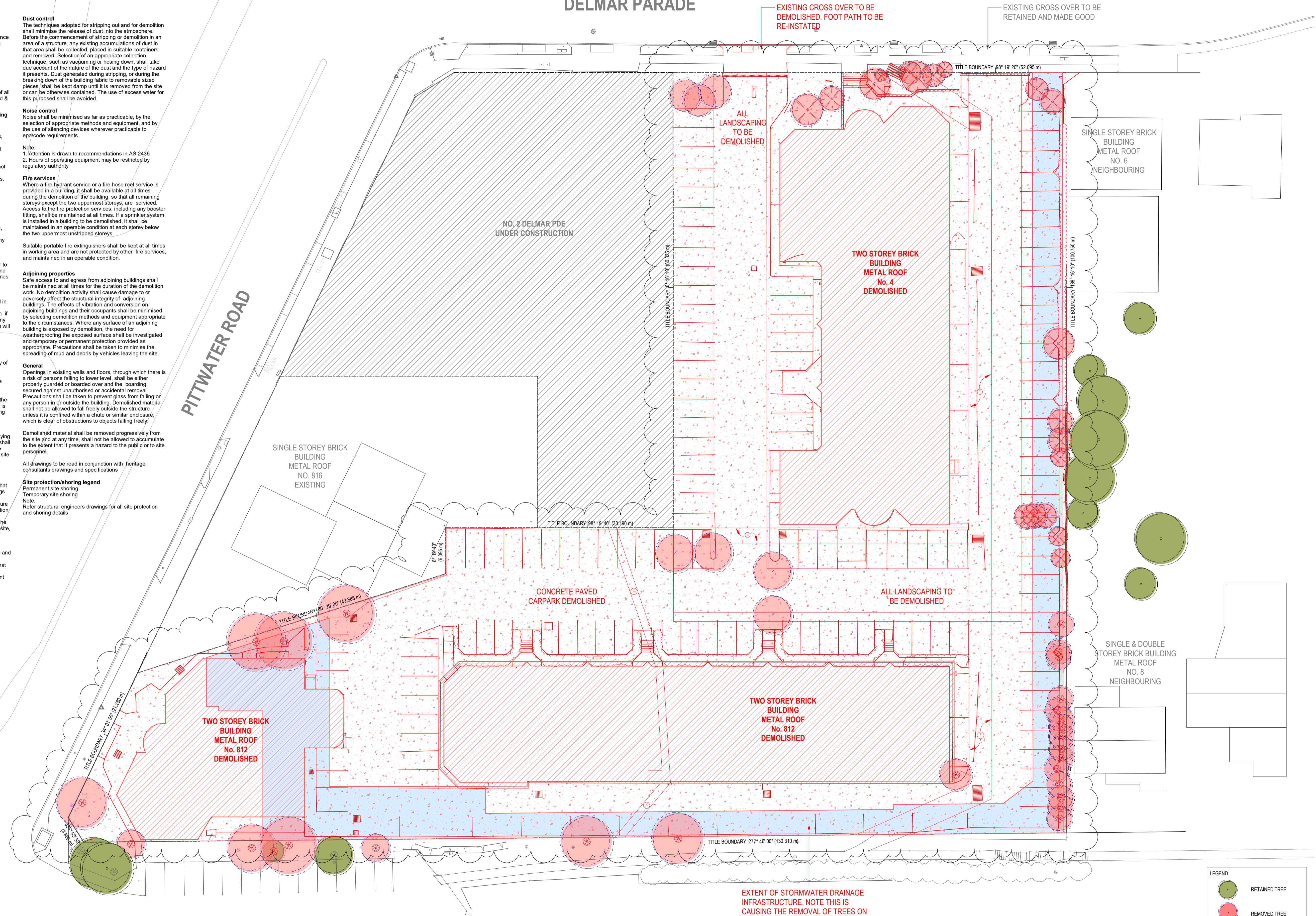
Demolished material shall be removed progressively from the site and at any time, shall not be allowed to accumulate to the extent that it presents a hazard to the public or to site personnel.

All drawings to be read in conjunction with heritage consultants drawings and specifications

Site protection/shoring legend

Permanent site shoring
Temporary site shoring
Note:
Refer structural engineers drawings for all site protection and shoring details

DELMAR PARADE



EXTENT OF STORMWATER DRAINAGE INFRASTRUCTURE. NOTE THIS IS CAUSING THE REMOVAL OF TREES ON THE ADJACENT PUBLIC LAND

LEGEND

- RETAINED TREE
- REMOVED TREE
- DEMOLISHED BUILDING
- DEMOLISHED PAVING

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	C <td>07.12.2022 <td>COUNCIL SUBMISSION <td>JC</td> </td></td>	07.12.2022 <td>COUNCIL SUBMISSION <td>JC</td> </td>	COUNCIL SUBMISSION <td>JC</td>	JC

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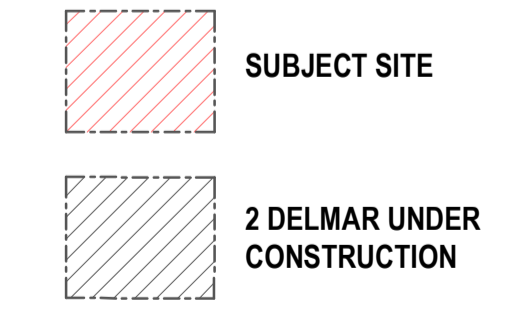
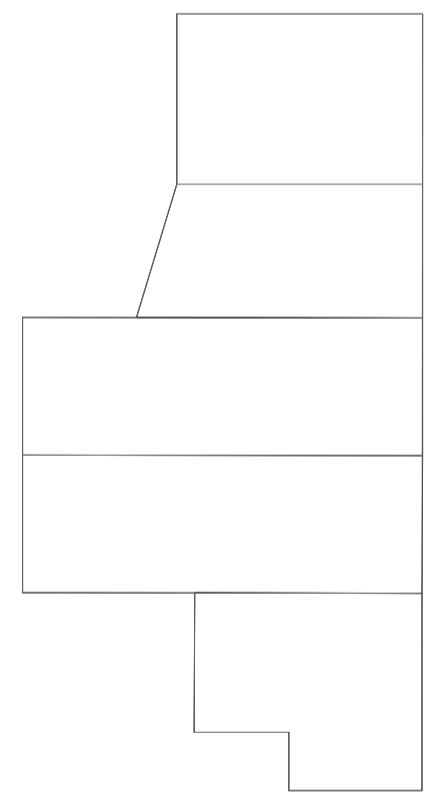
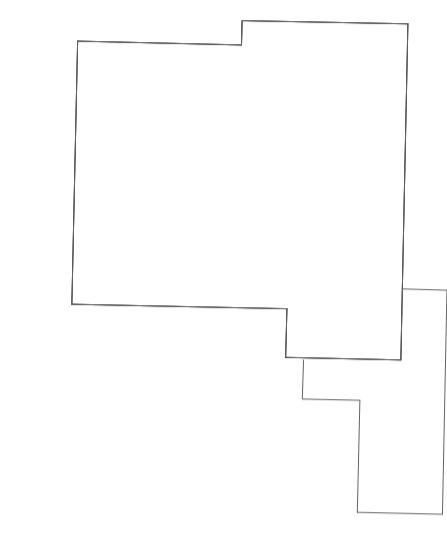
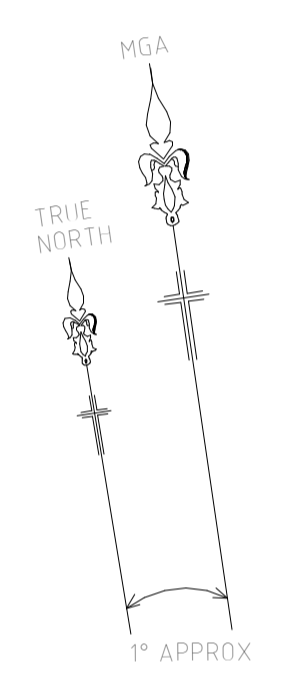
Drawing / **DEMOLITION PLAN**

Project No / **221054** Date / **07.12.2022** Author / **SJ**

Scale: @ A1 / **1 : 250**

Drawing No. / **TP00.02 C**





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 Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **SITE SURVEY PLAN**

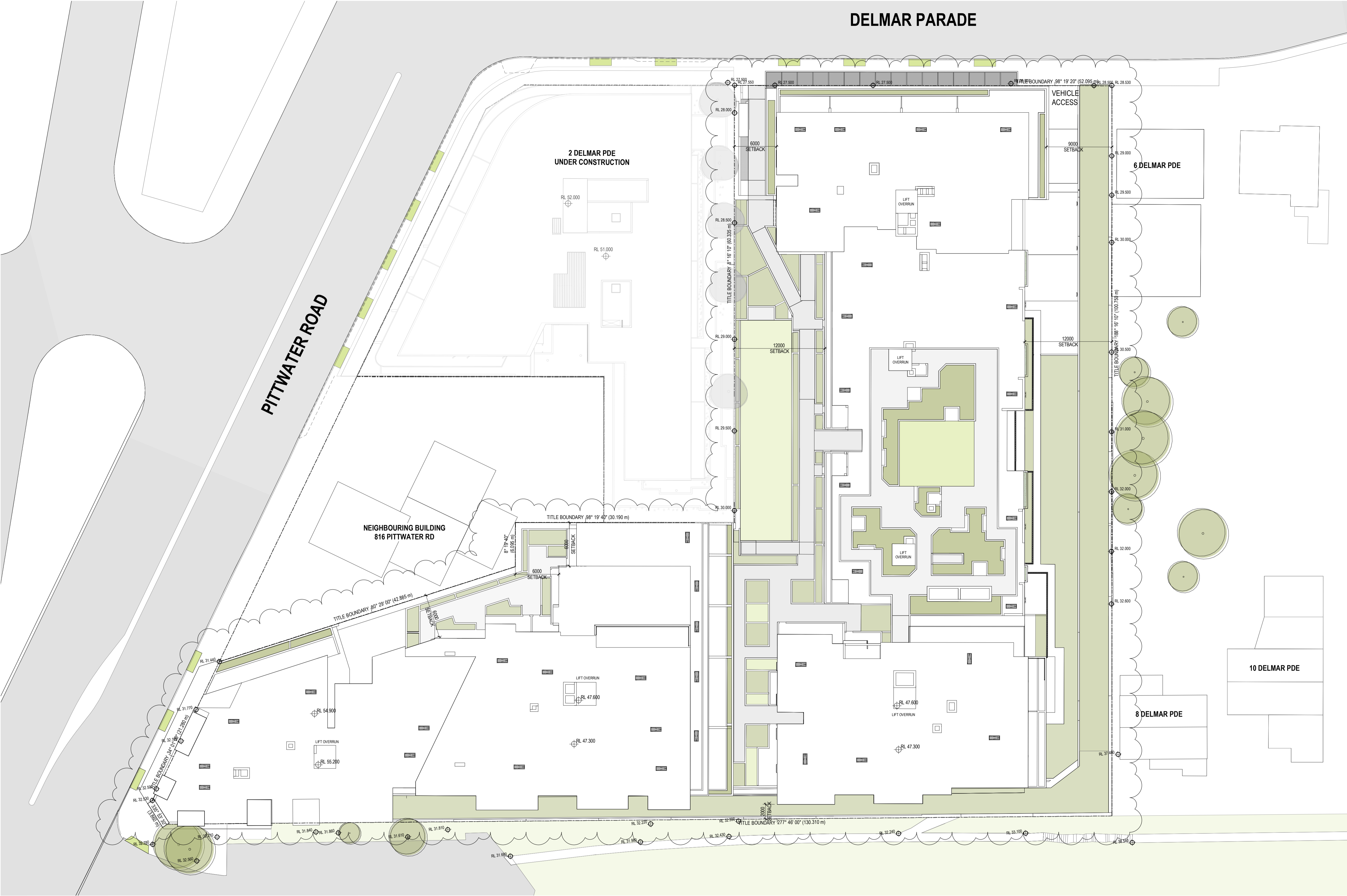
Project No / **221054** Date / **07.12.2022** Author / **DM** Scale: @ A1 / **1 : 250**

Drawing No. / **TP00.03 C**



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Drawing / **SITE PLAN**

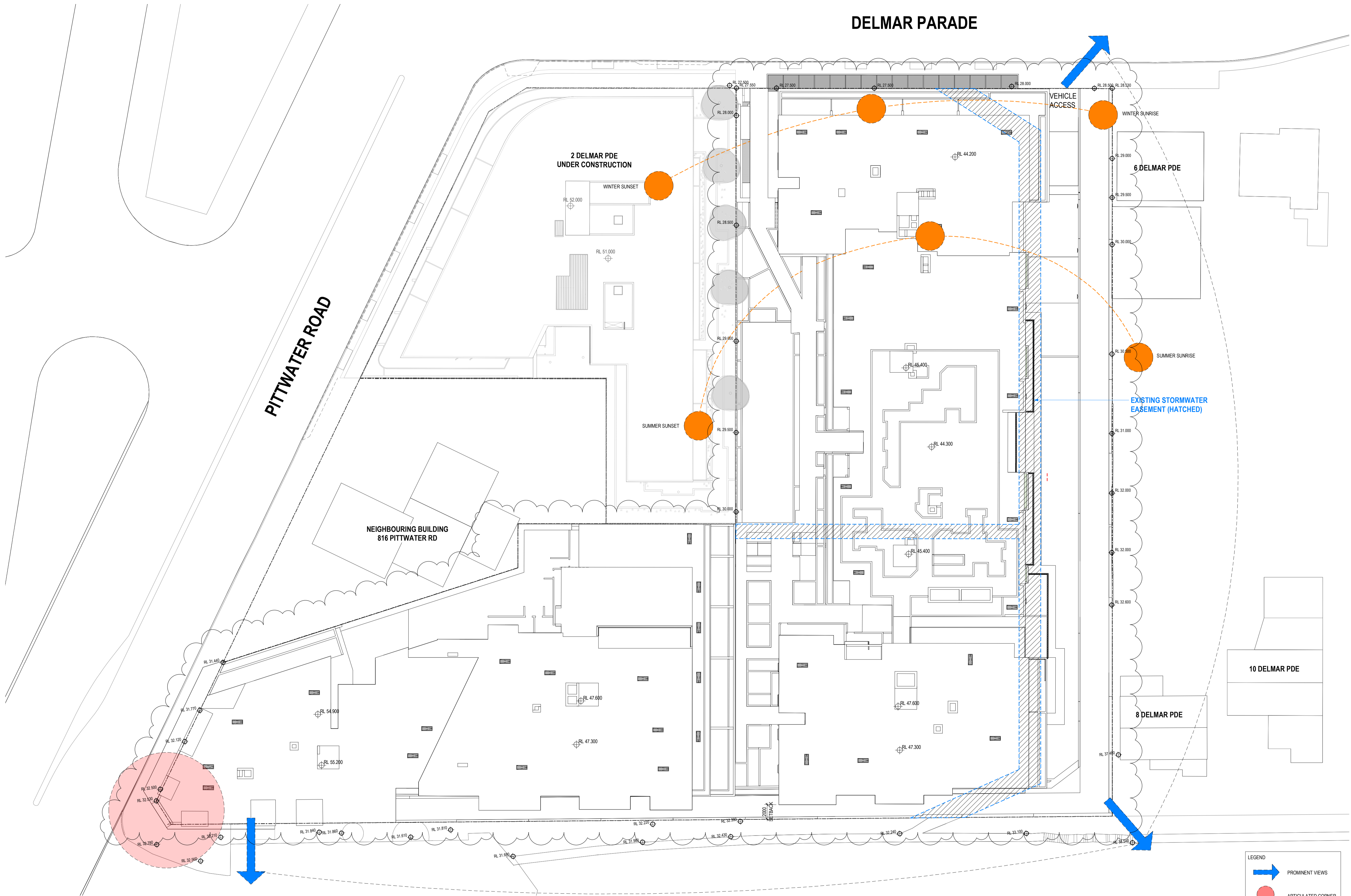
Project No / **221054** Date / **07.12.2022** Author / **SJ** Scale: @ A1 / **1 : 250**

Drawing No. / **TP00.04 C**



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DELMAR PARADE



LEGEND

- PROMINENT VIEWS
- ARTICULATED CORNER

REFER TO URBAN DESIGN REPORT

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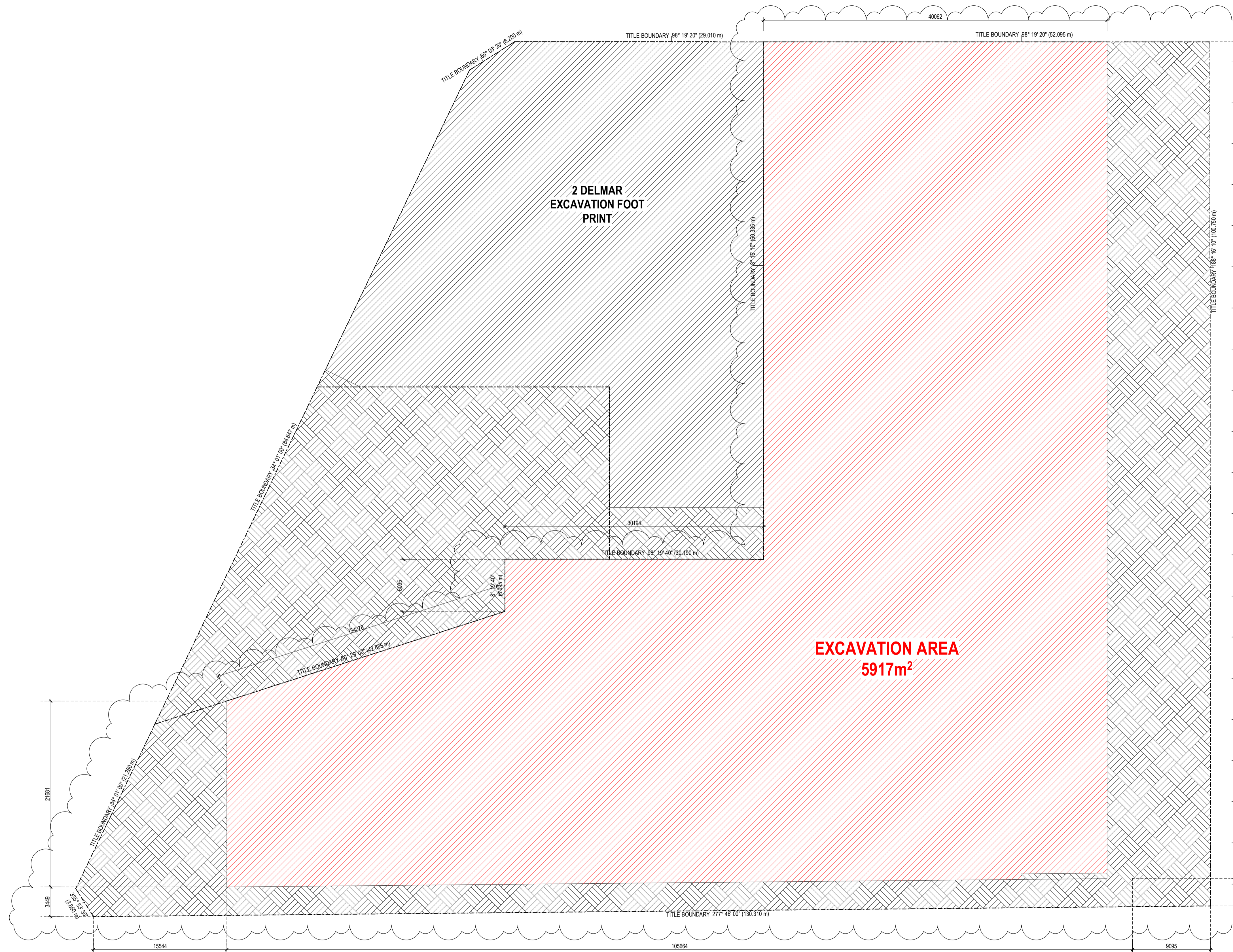
Drawing / **SITE ANALYSIS PLAN** Project No / **221054** Date / **07.12.2022** Author / **JC** Scale: @ A1 / **1 : 250**

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Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **BULK EXCAVATION DIAGRAM**

Project No / **221054**

Date / **07.12.2022**

Author / **SJ**

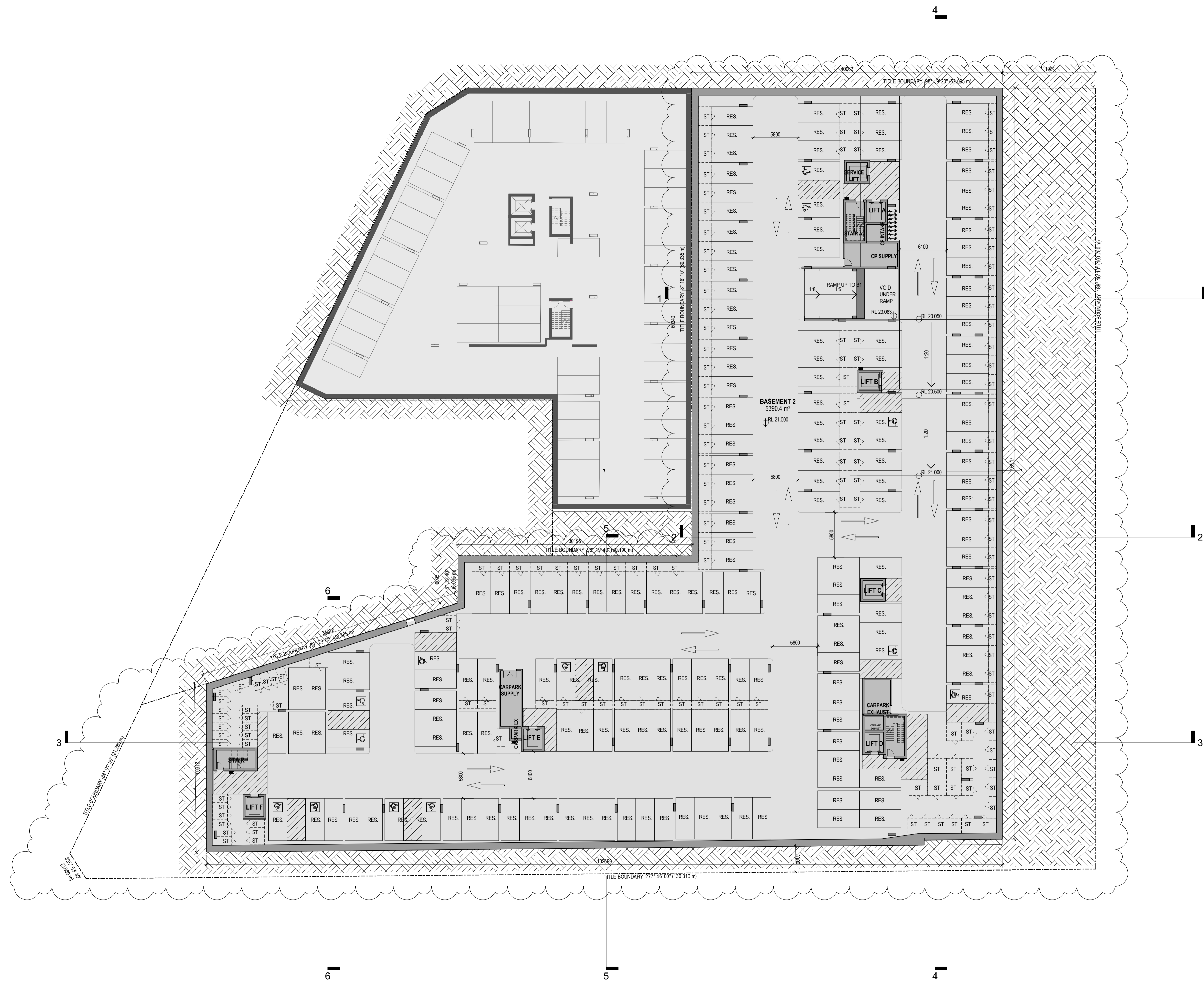
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 Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **BASEMENT 2**

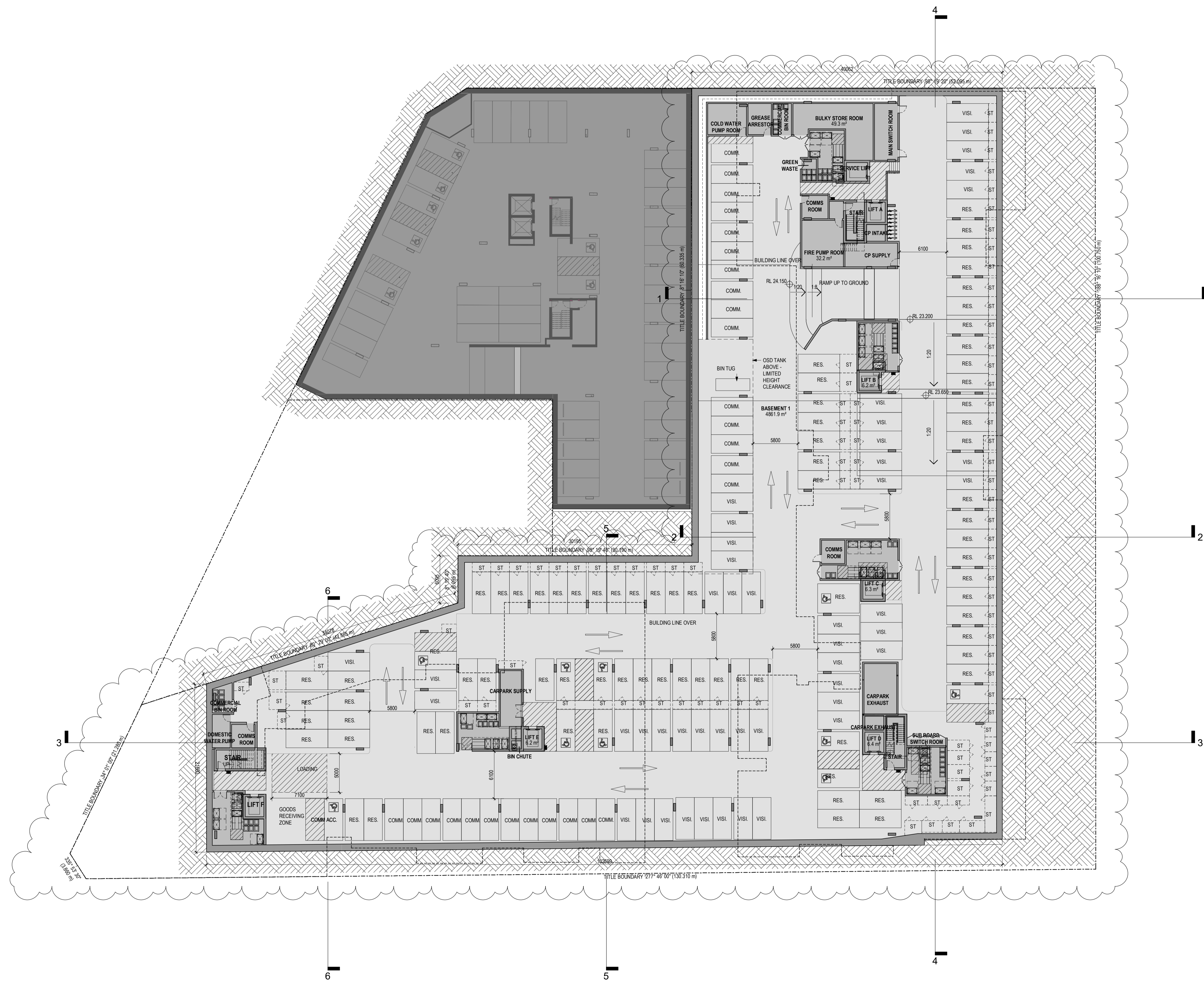
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Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd** Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why** Drawing / **BASEMENT 1**

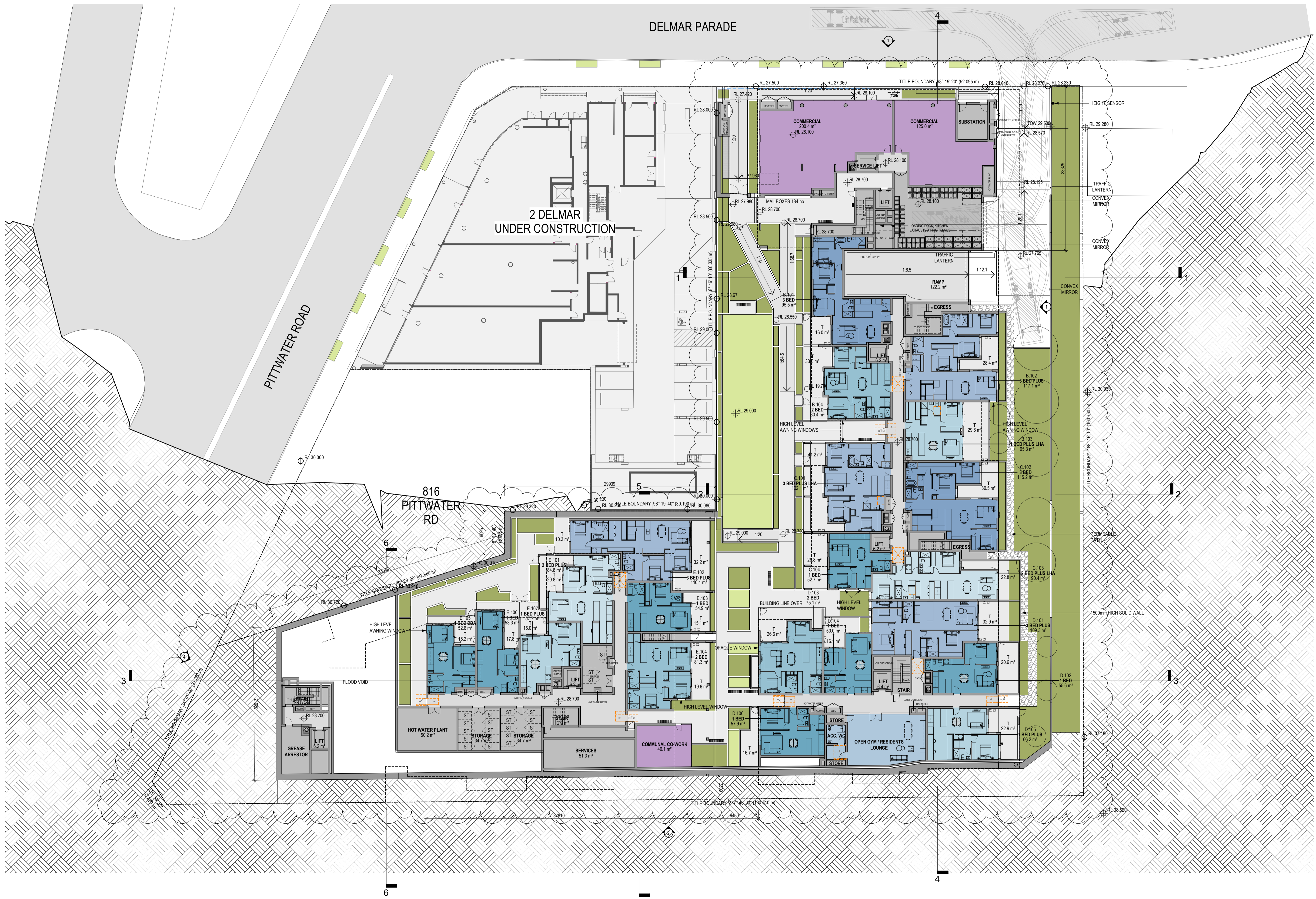
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Drawing / **GROUND**

Project No / **221054** Date / **07.12.2022** Author / **DM** Scale: @ A1 / **1 : 250**

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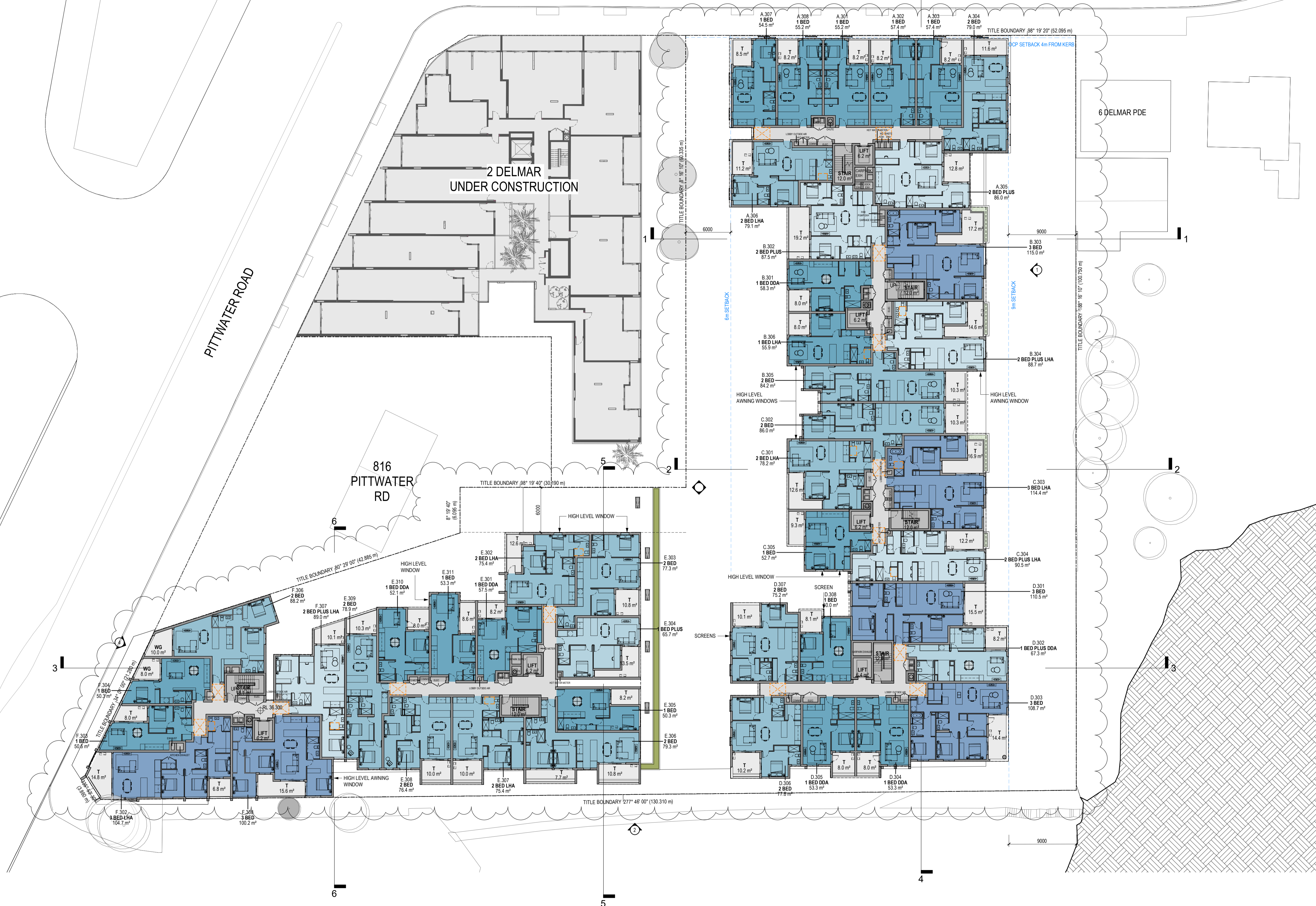
DELMAR PARADE

2 DELMAR UNDER CONSTRUCTION

PITTWATER ROAD

816 PITTWATER RD

6 DELMAR PDE



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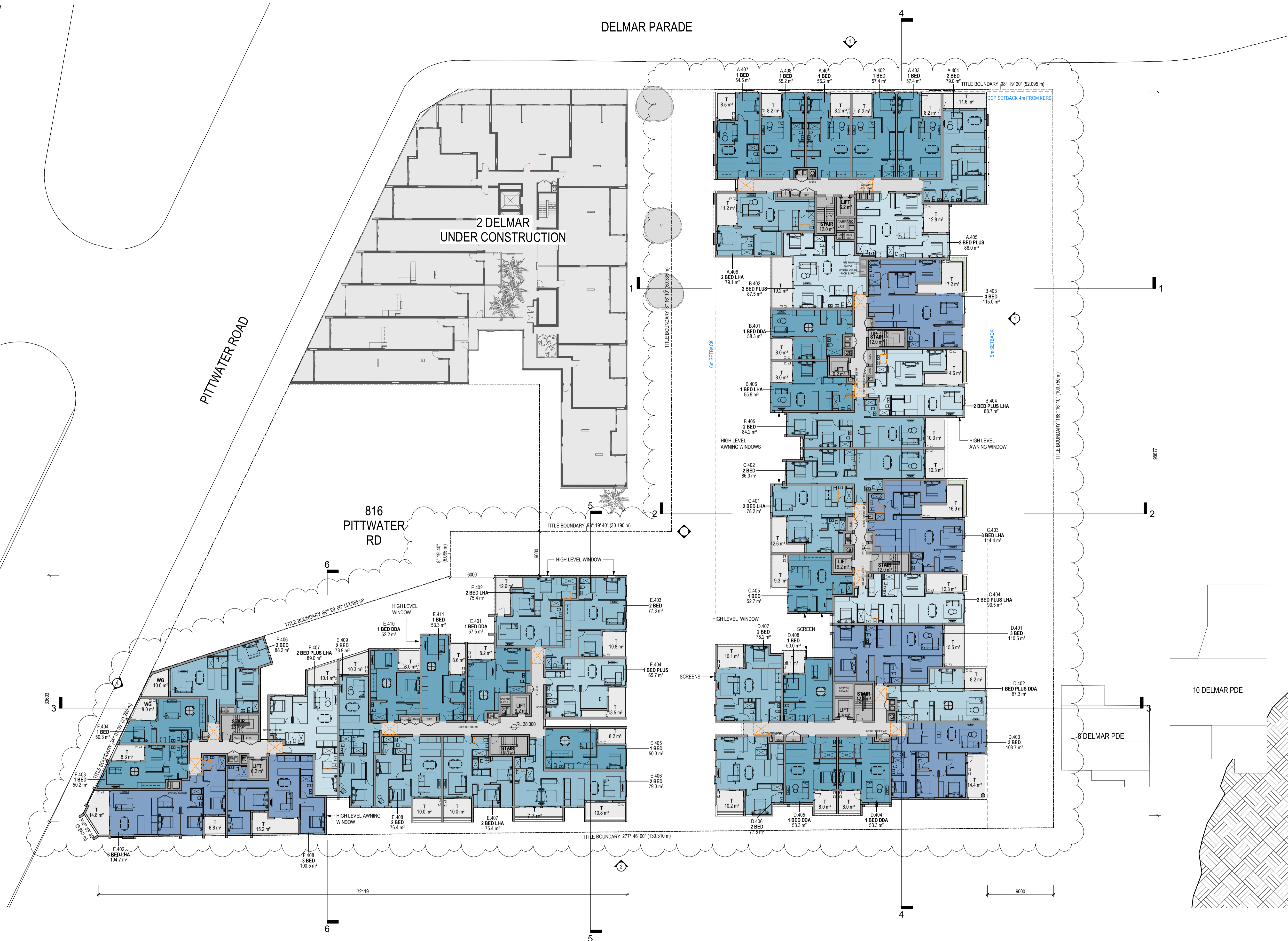
PITTWATER ROAD

2 DELMAR UNDER CONSTRUCTION

816 PITTWATER RD

10 DELMAR PDE

8 DELMAR PDE



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Drawing / **LEVEL 3**

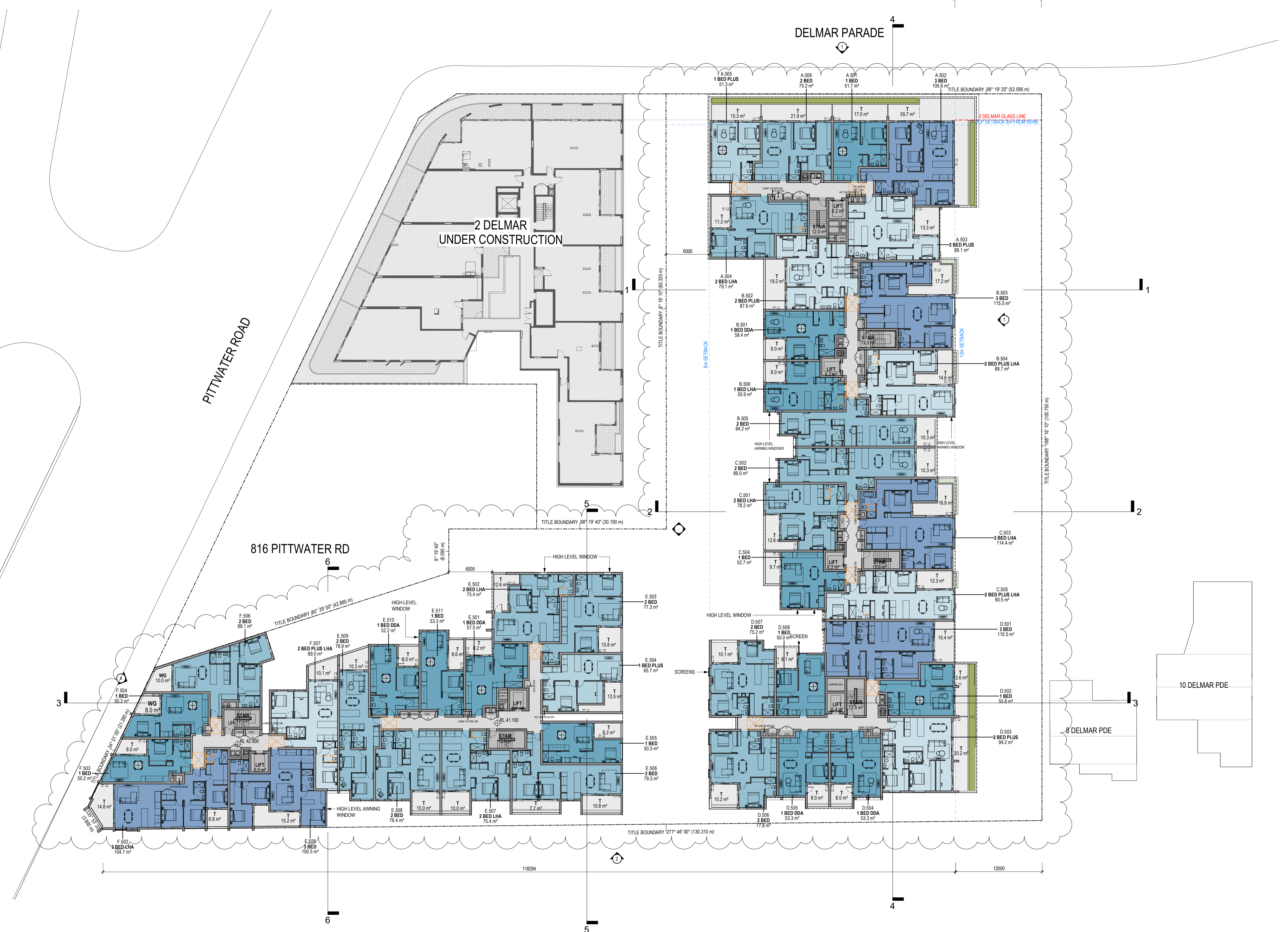
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 Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **LEVEL 4**

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Drawing / **LEVEL 6**

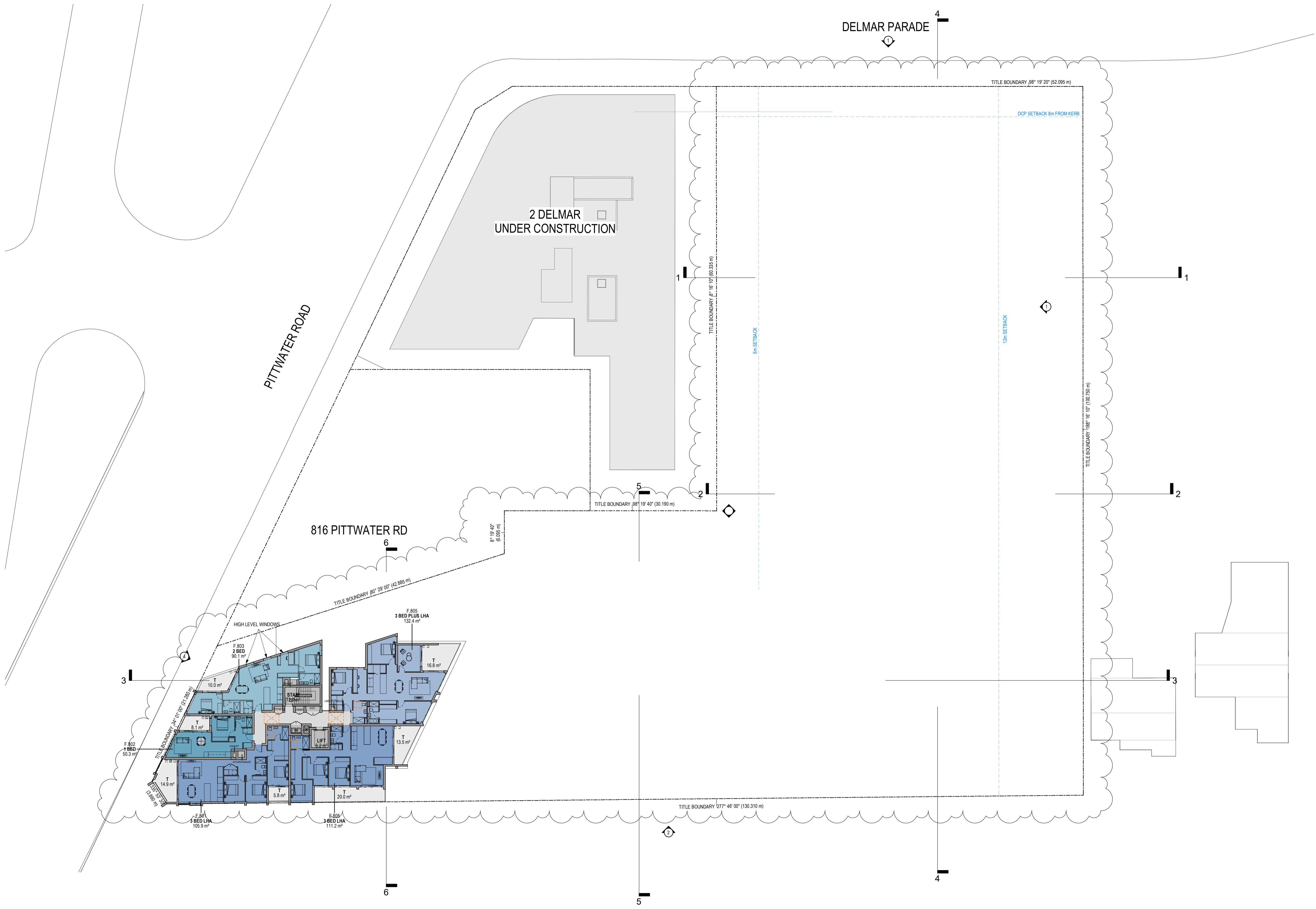
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B	11.11.2022	COUNCIL SUBMISSION	JC
C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**
 Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **LEVEL 7**

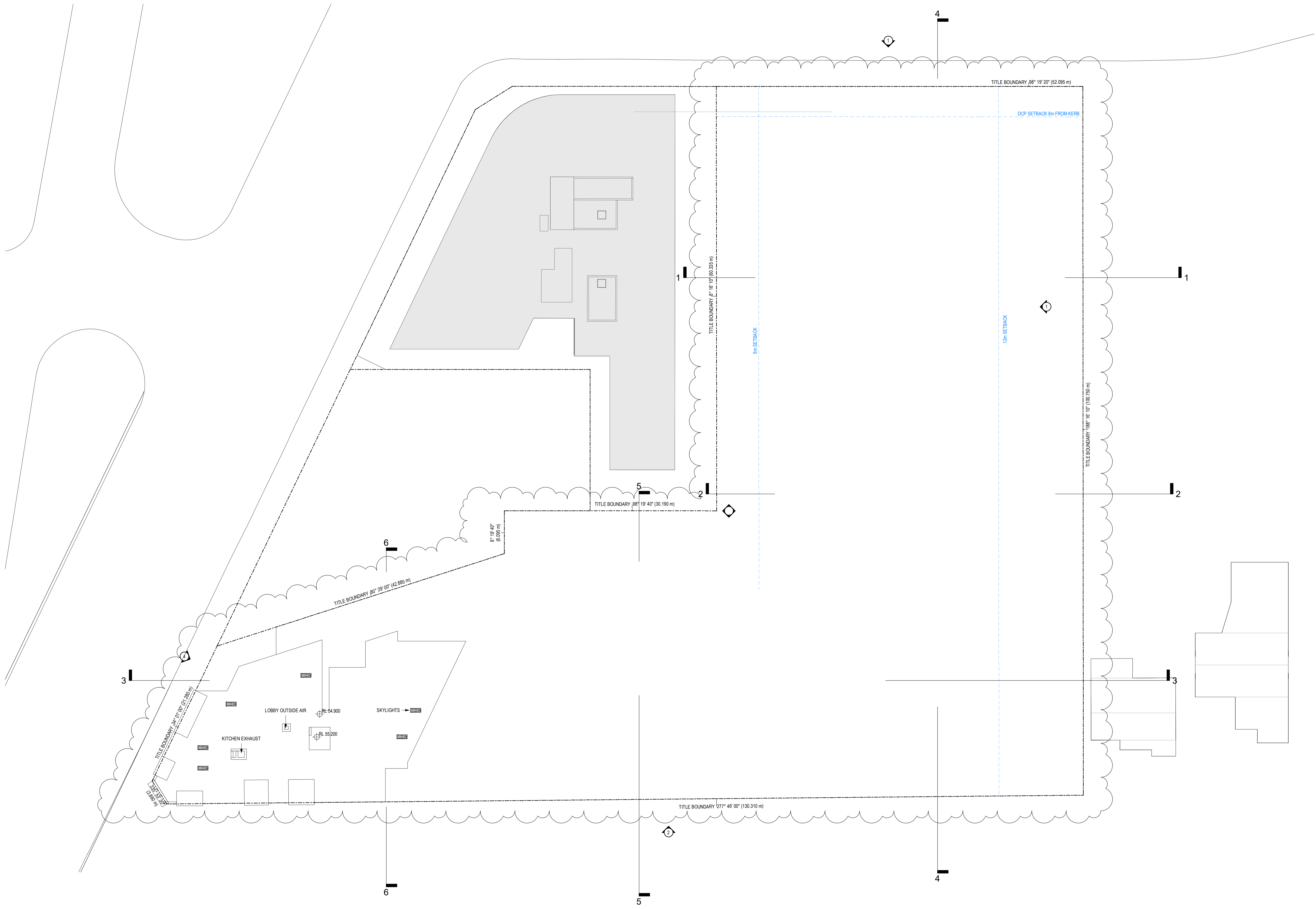
Project No / **221054** Date / **07.12.2022** Author / **DM** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.10 C**



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C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**
 Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **LEVEL 8**

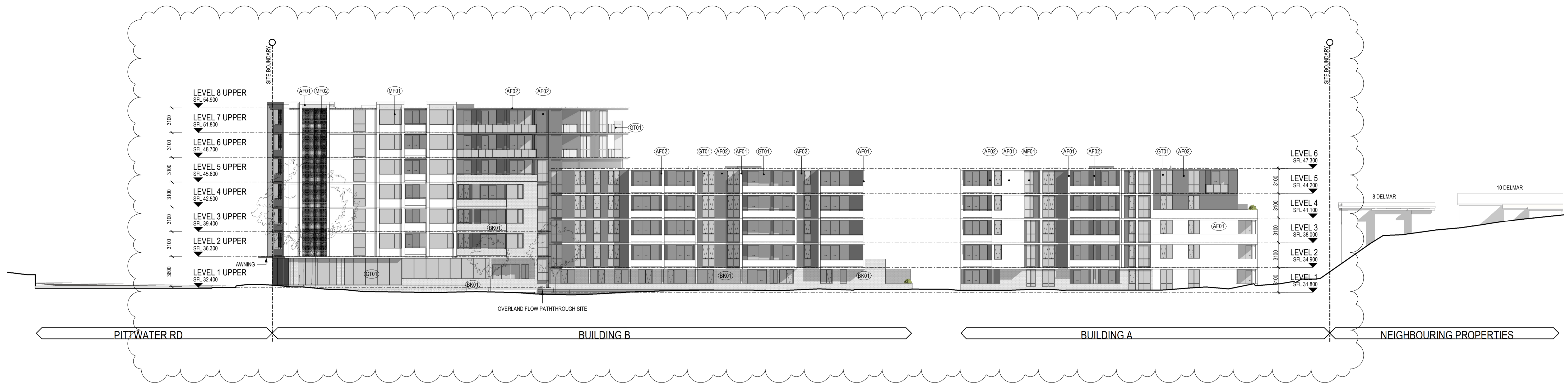
Project No / **221054** Date / **07.12.2022** Author / **DM** Scale: @ A1 / **1 : 250**

Drawing No. / **TP01.11 C**



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SOUTH ELEVATION



NORTH ELEVATION

MATERIAL LEGEND

- AF01 - Applied Finish White
 - AF02 - Applied Finish Dark Grey
 - BK01 - Brick Austral Leisure or similar
 - BK02 - Honed Blockwork Natural or similar
 - BK03 - Breezeblock White or similar
 - GT01 - Glazing Clear
 - GT02 - Glazing Opaque
 - MF01 - Metal Finish Charcoal
 - MF02 - Metal Finish White
- Refer to Design Report Material Palette

Revisions	Date	Description	Author
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C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd** Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

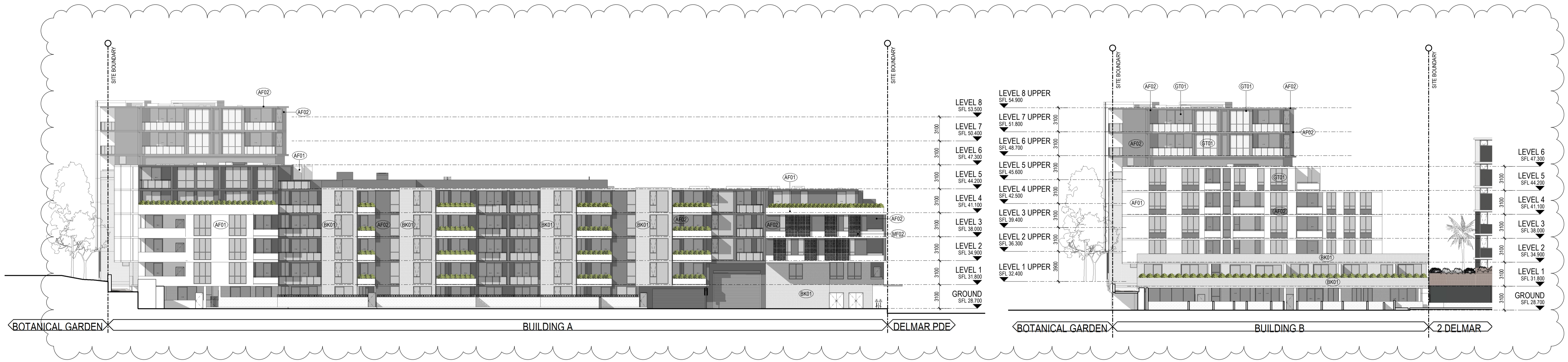
Drawing / **SITE ELEVATIONS**

Project No / **221054** Date / **07.12.2022** Author / **DM** Scale: @ A1 / **1 : 250**

Drawing No. / **TP02.05 C**

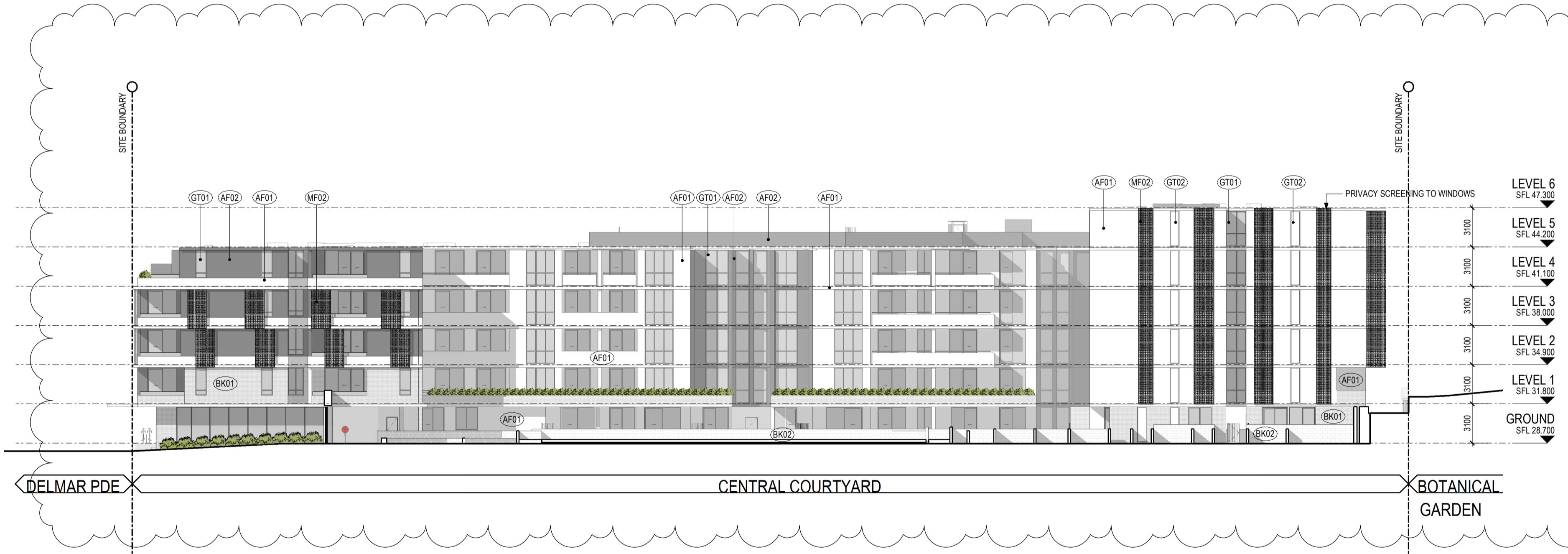
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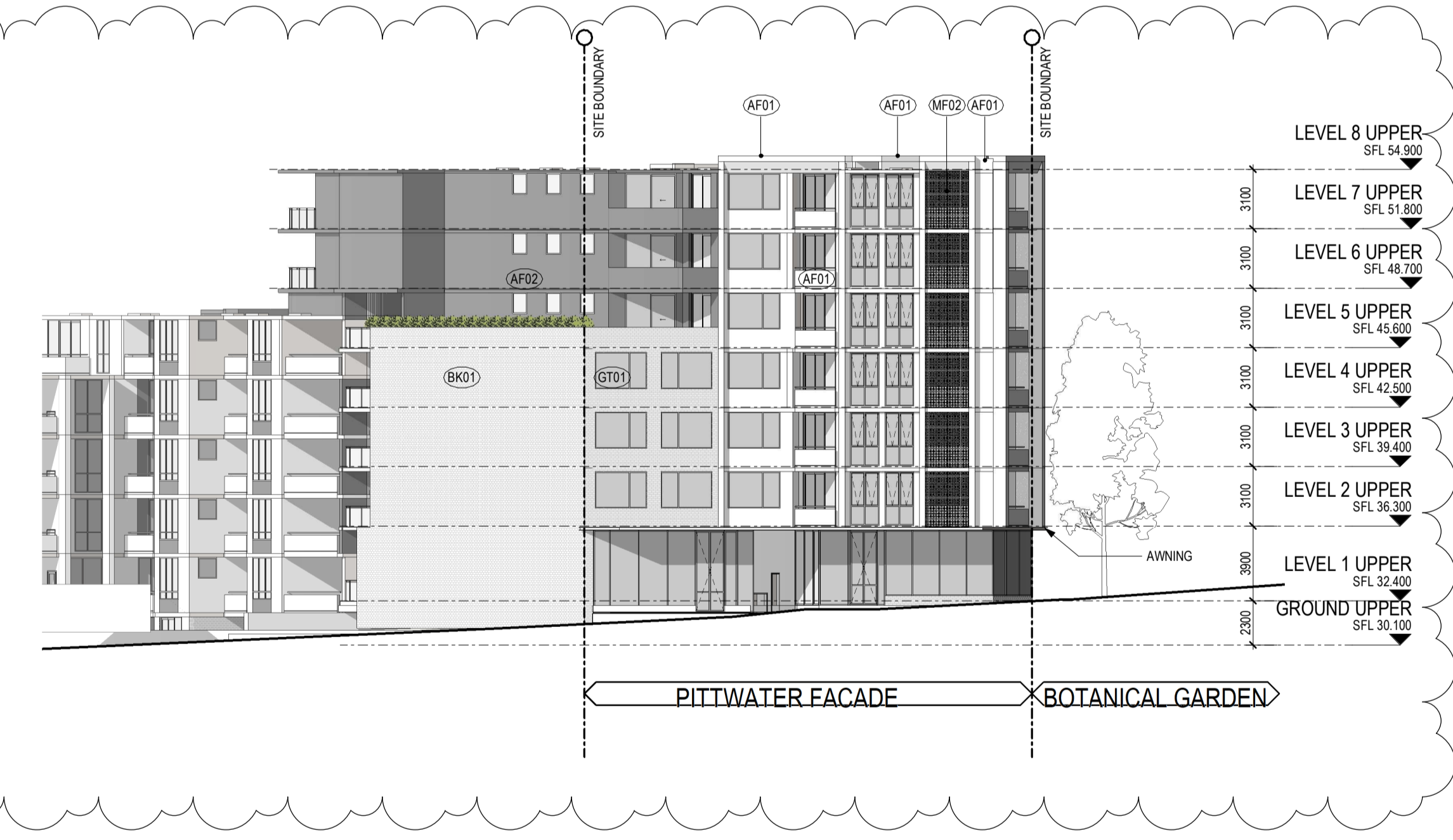


BUILDING A EAST ELEVATION

BUILDING B EAST ELEVATION



BUILDING A WEST ELEVATION



BUILDING B SOUTH WEST ELEVATION

MATERIAL LEGEND

- AF01 - Applied Finish White
 - AF02 - Applied Finish Dark Grey
 - BK01 - Brick Austral Leisure or similar
 - BK02 - Honed Blockwork Natural or similar
 - BK03 - Breezeblock White or similar
 - GT01 - Glazing Clear
 - GT02 - Glazing Opaque
 - MF01 - Metal Finish Charcoal
 - MF02 - Metal Finish White
- Refer to Design Report Material Palette

Revisions	Date	Description	Author
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Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd** Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **SITE ELEVATIONS**

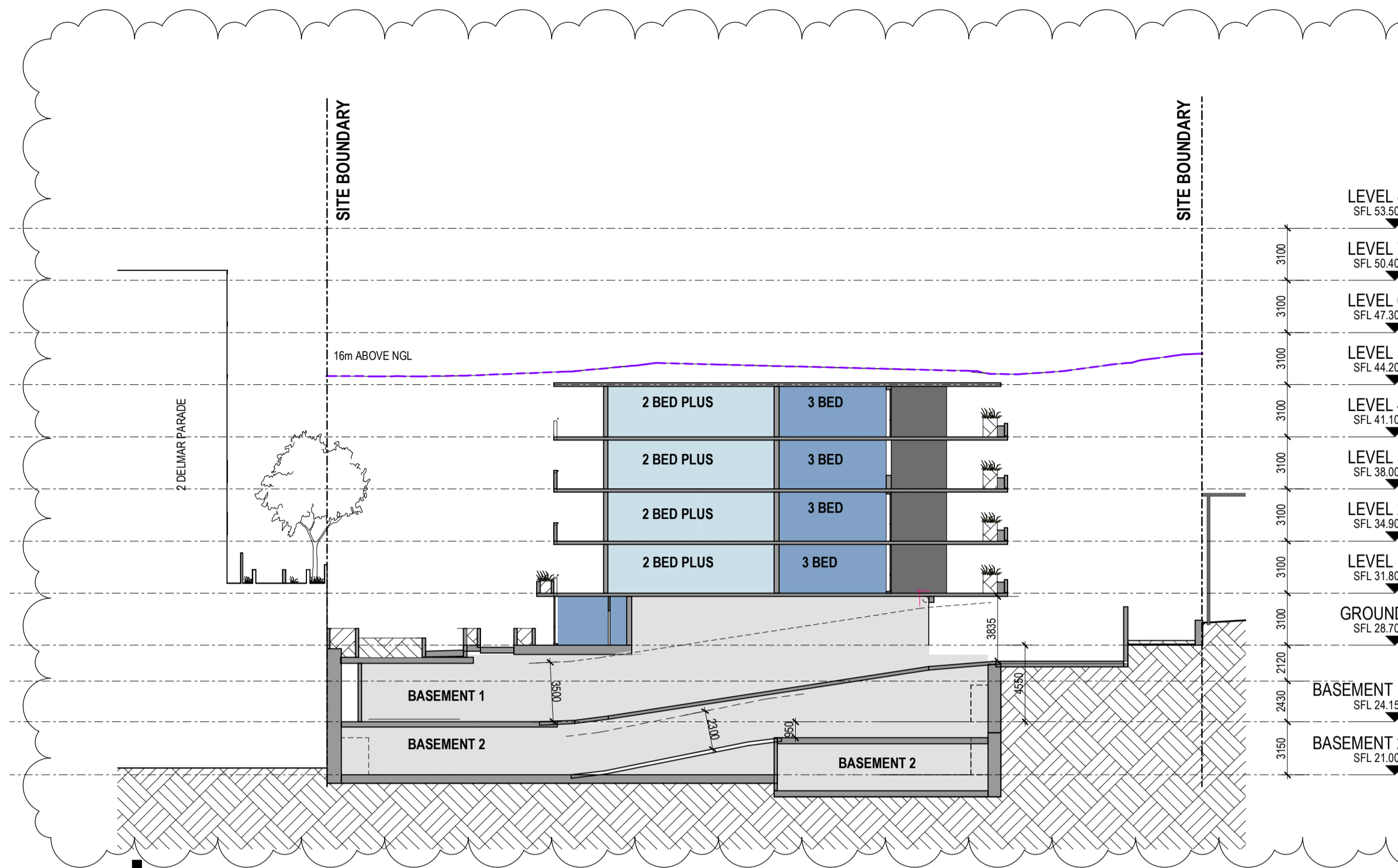
Project No. / **221054** Date / **07.12.2022** Author / **DM** Scale: @ A1 / **1 : 250**

Drawing No. / **TP02.06 C**

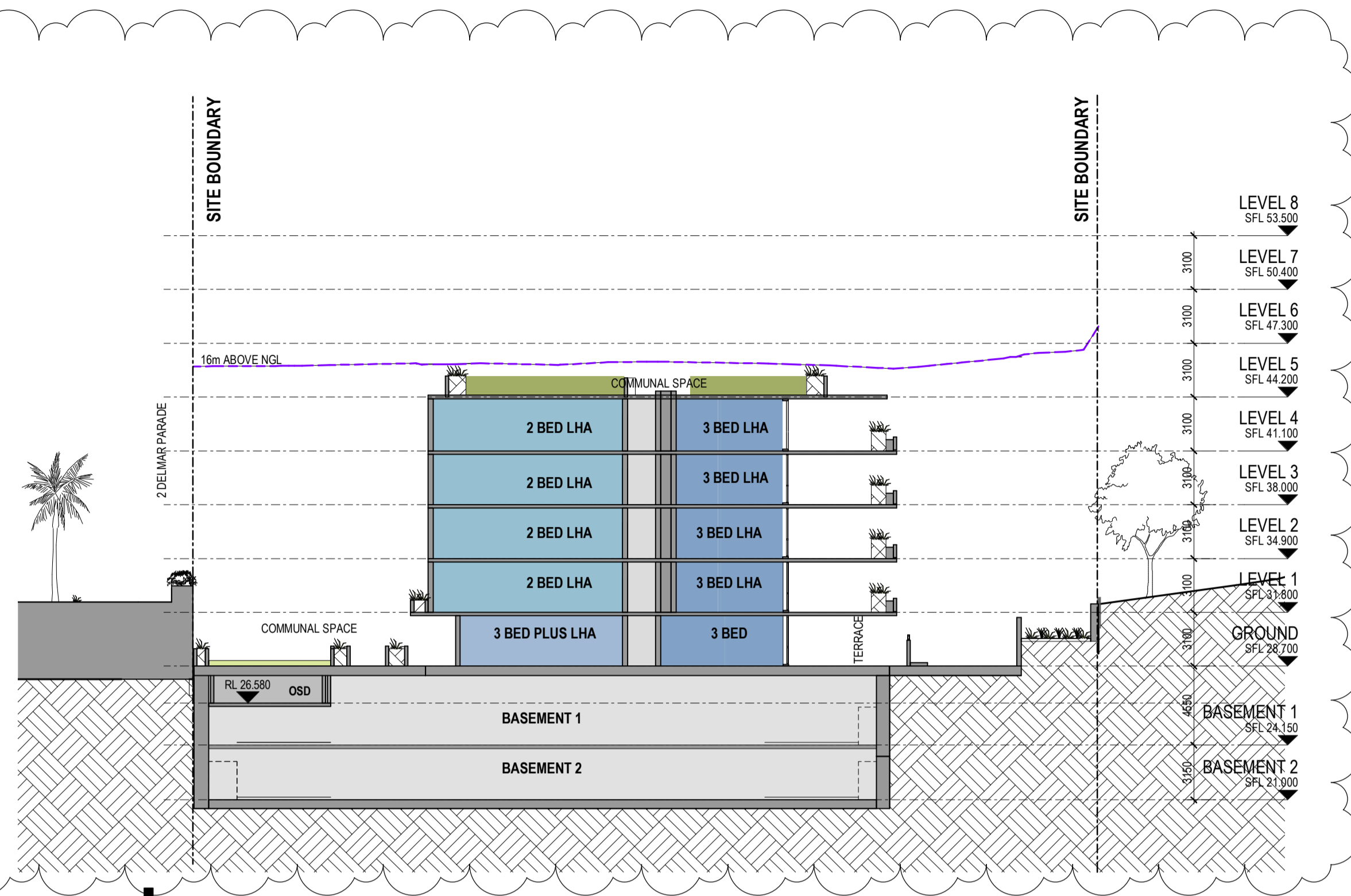


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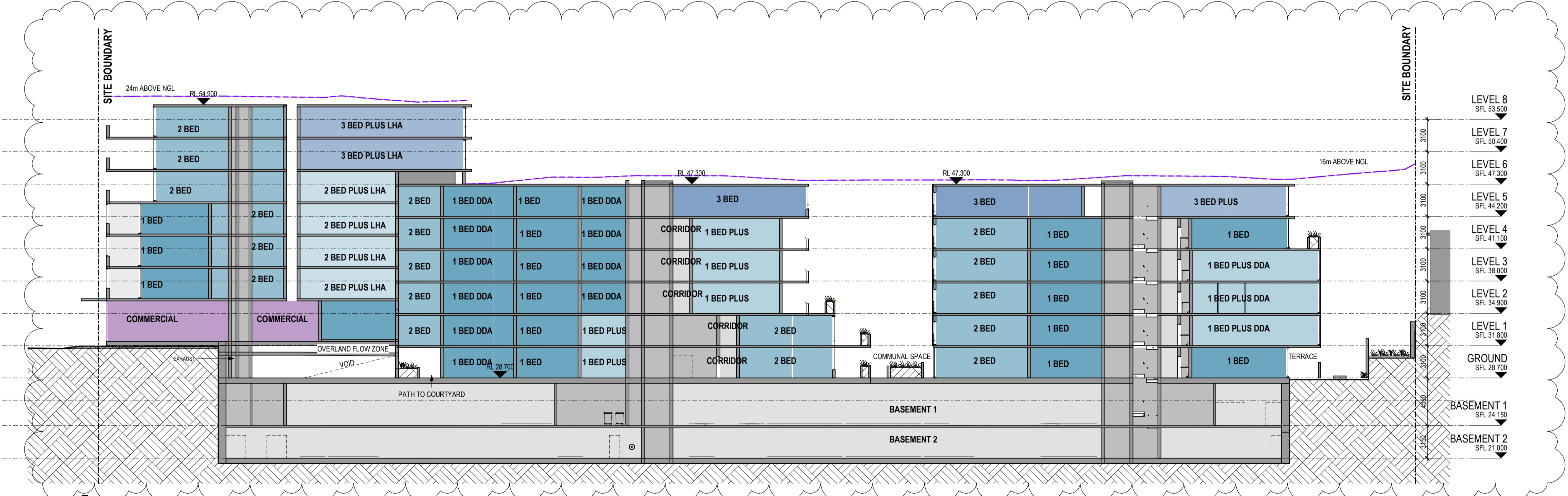
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SECTION 1 - RAMP



SECTION 2



SECTION 3

Revisions	Date	Description	Author
A	14.12.2021	DEVELOPMENT APPLICATION	JC
B	11.11.2022	COUNCIL SUBMISSION	JC
C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd** Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **SECTIONS**

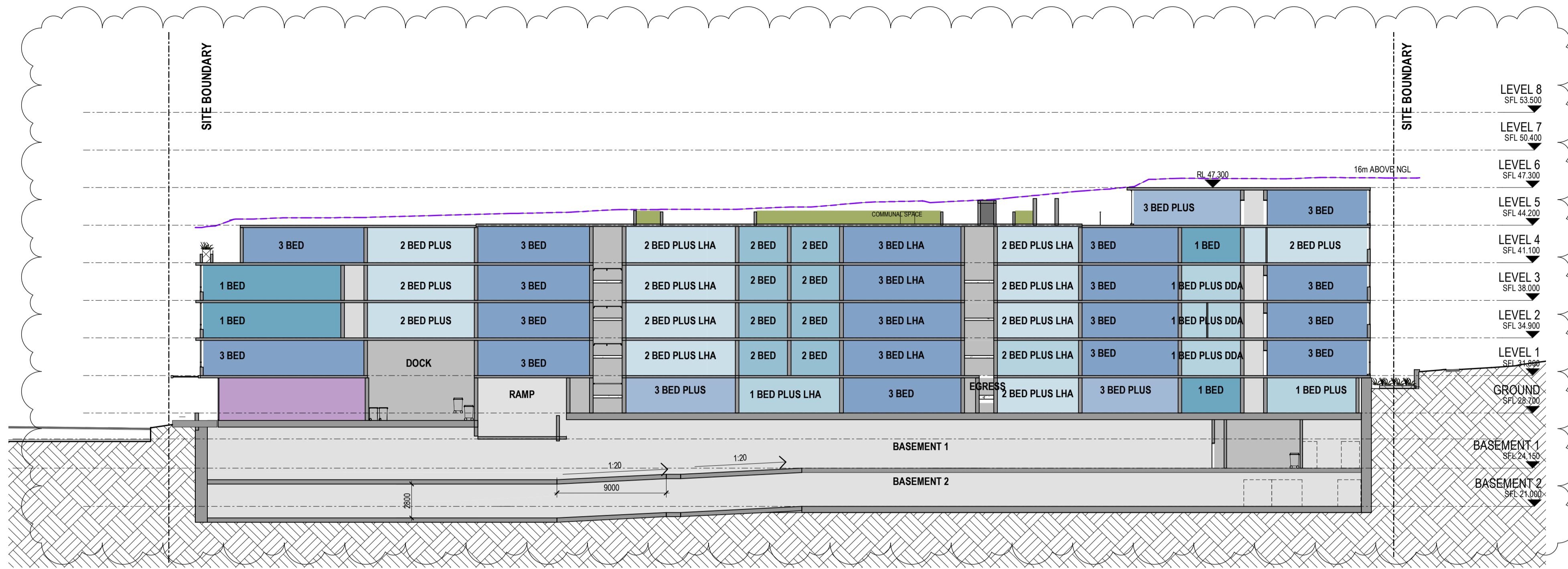
Project No / **221054** Date / **07.12.2022** Author / **BR** Scale: @ A1 / **1 : 250**

Drawing No. / **TP03.01 C**

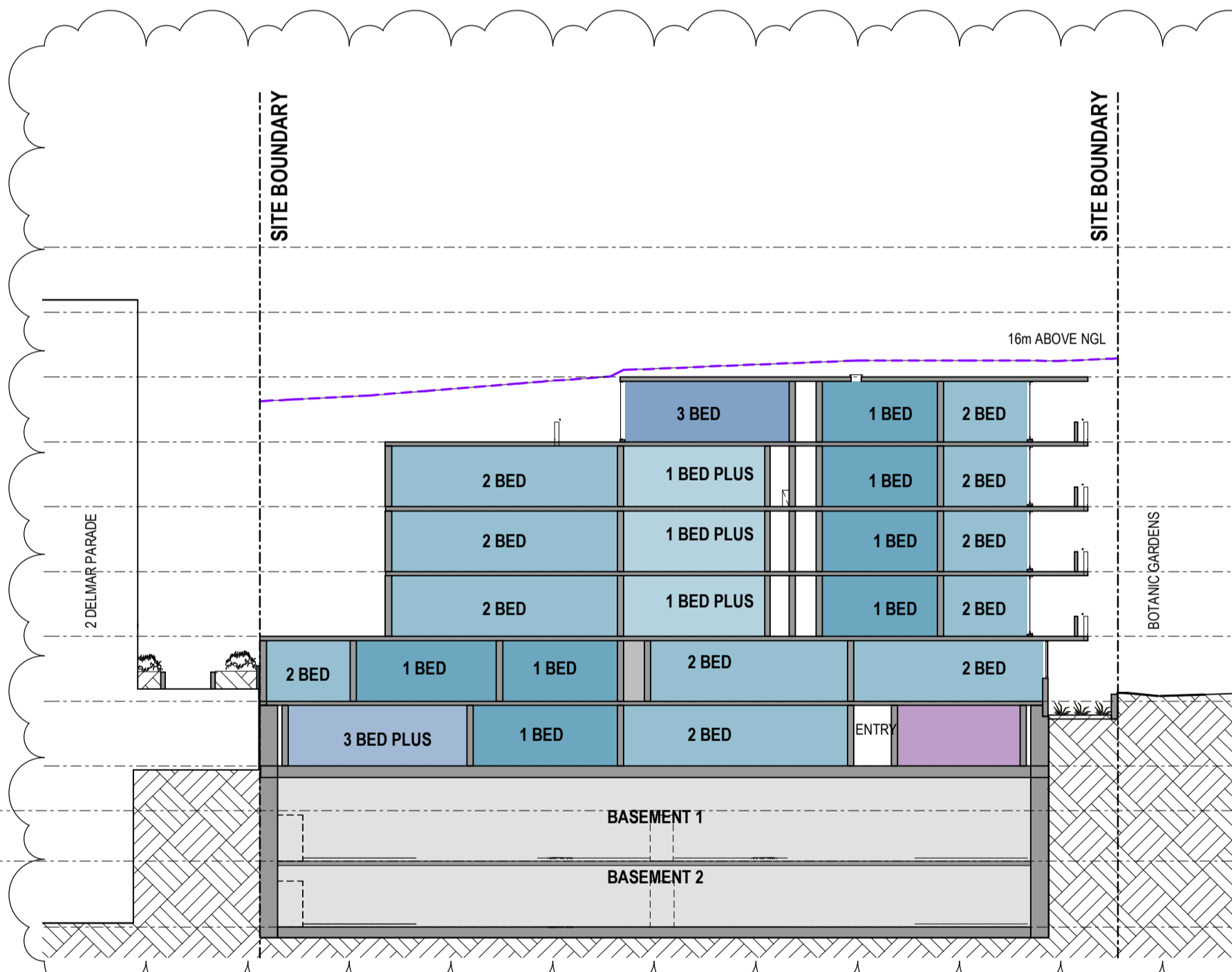
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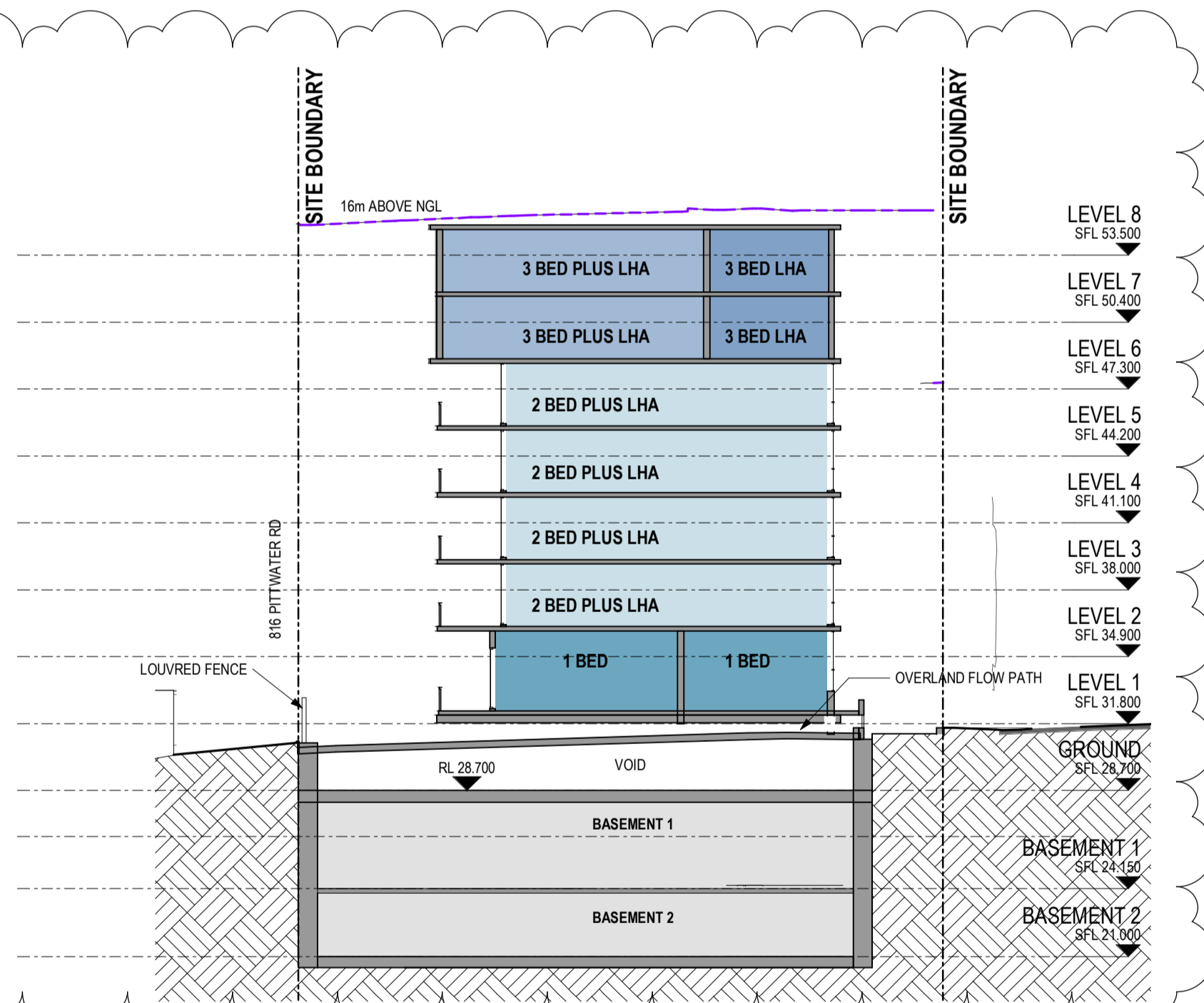
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SECTION 4



SECTION 5



SECTION 6

Revisions	Date	Description	Author
A	14.12.2021	DEVELOPMENT APPLICATION	JC
B	11.11.2022	COUNCIL SUBMISSION	JC
C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**
 Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **SECTIONS 2**

Project No. / **221054** Date / **07.12.2022** Author / **JC**

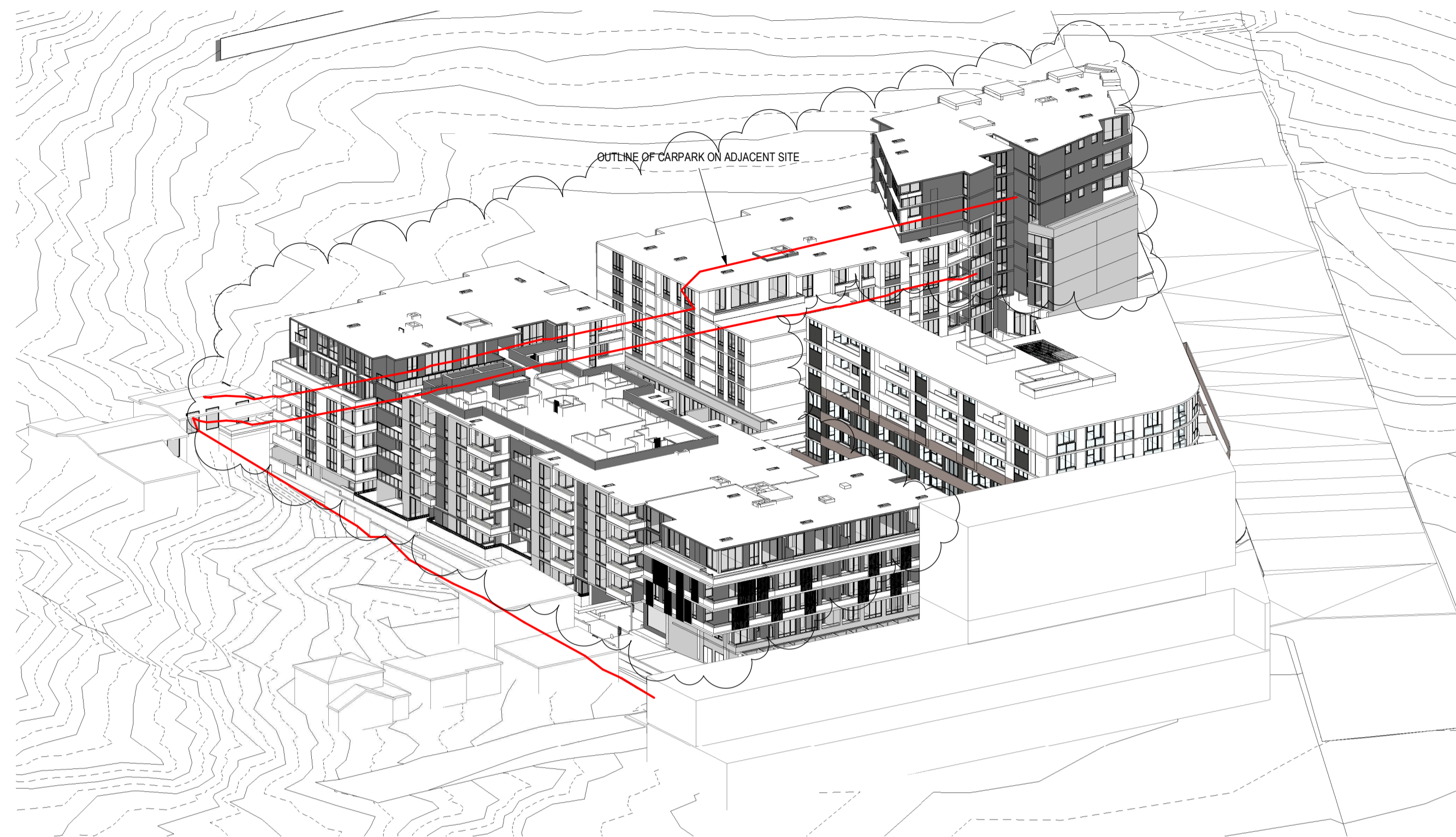
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Drawing No. / **TP03.02 C**

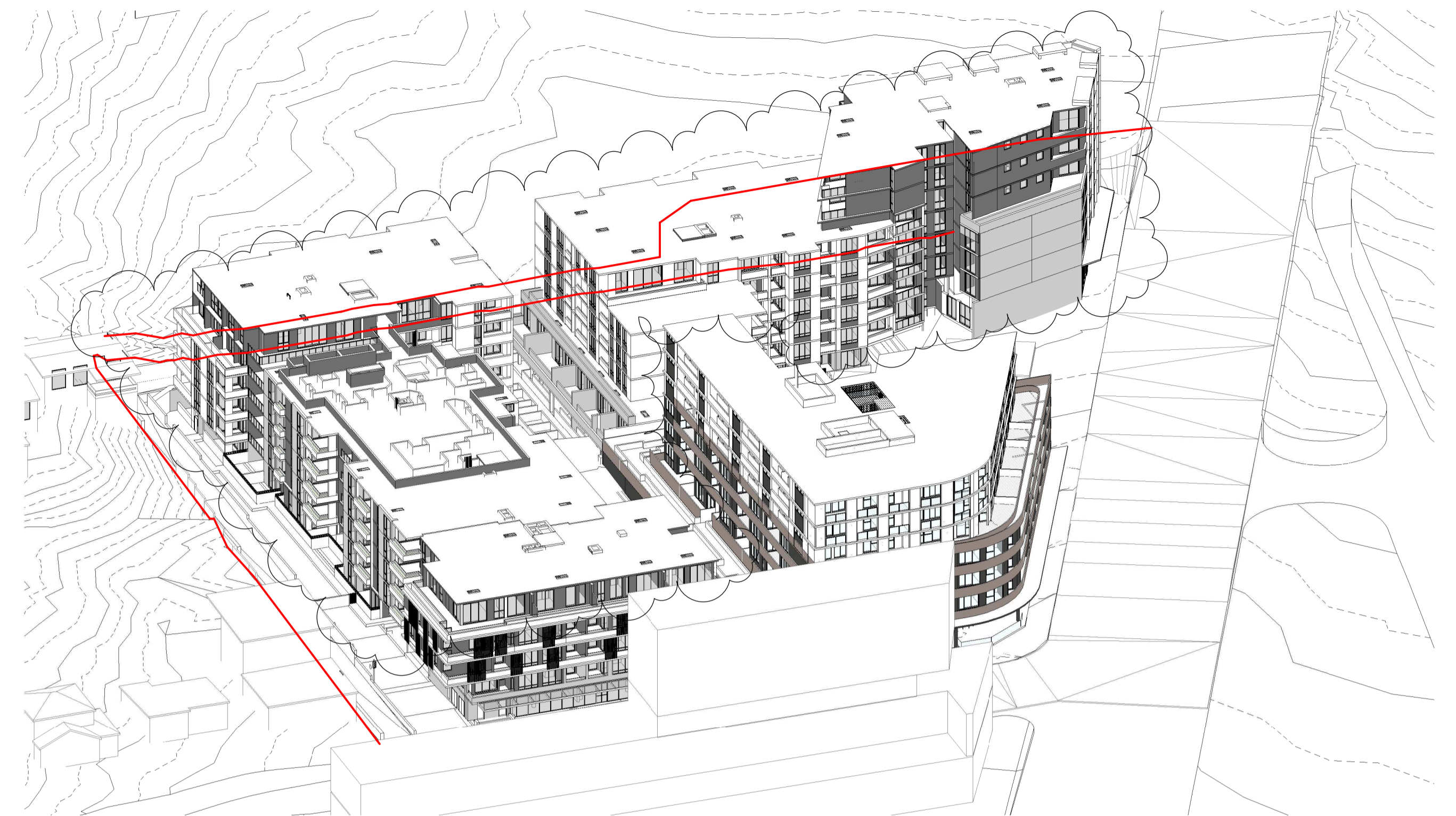


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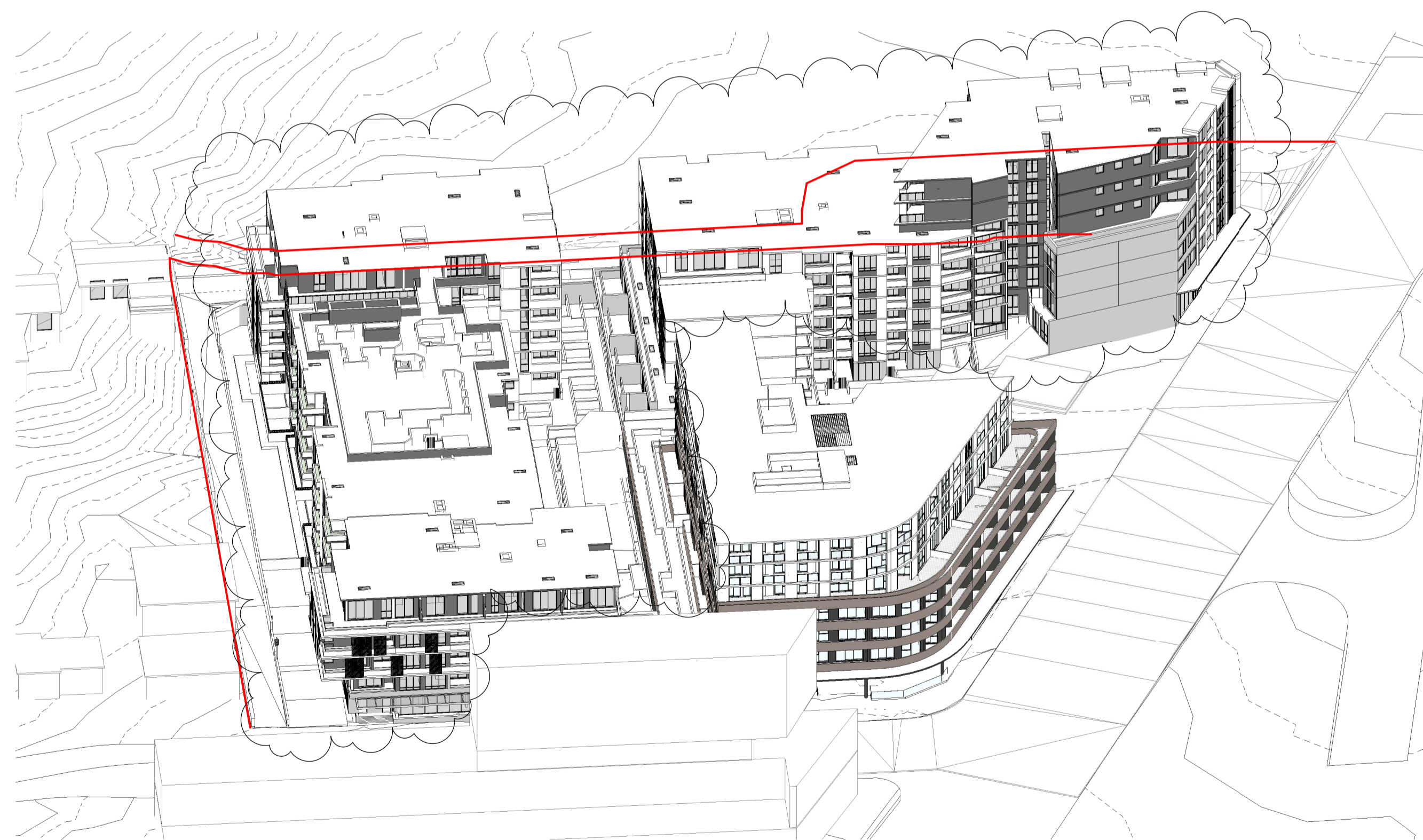
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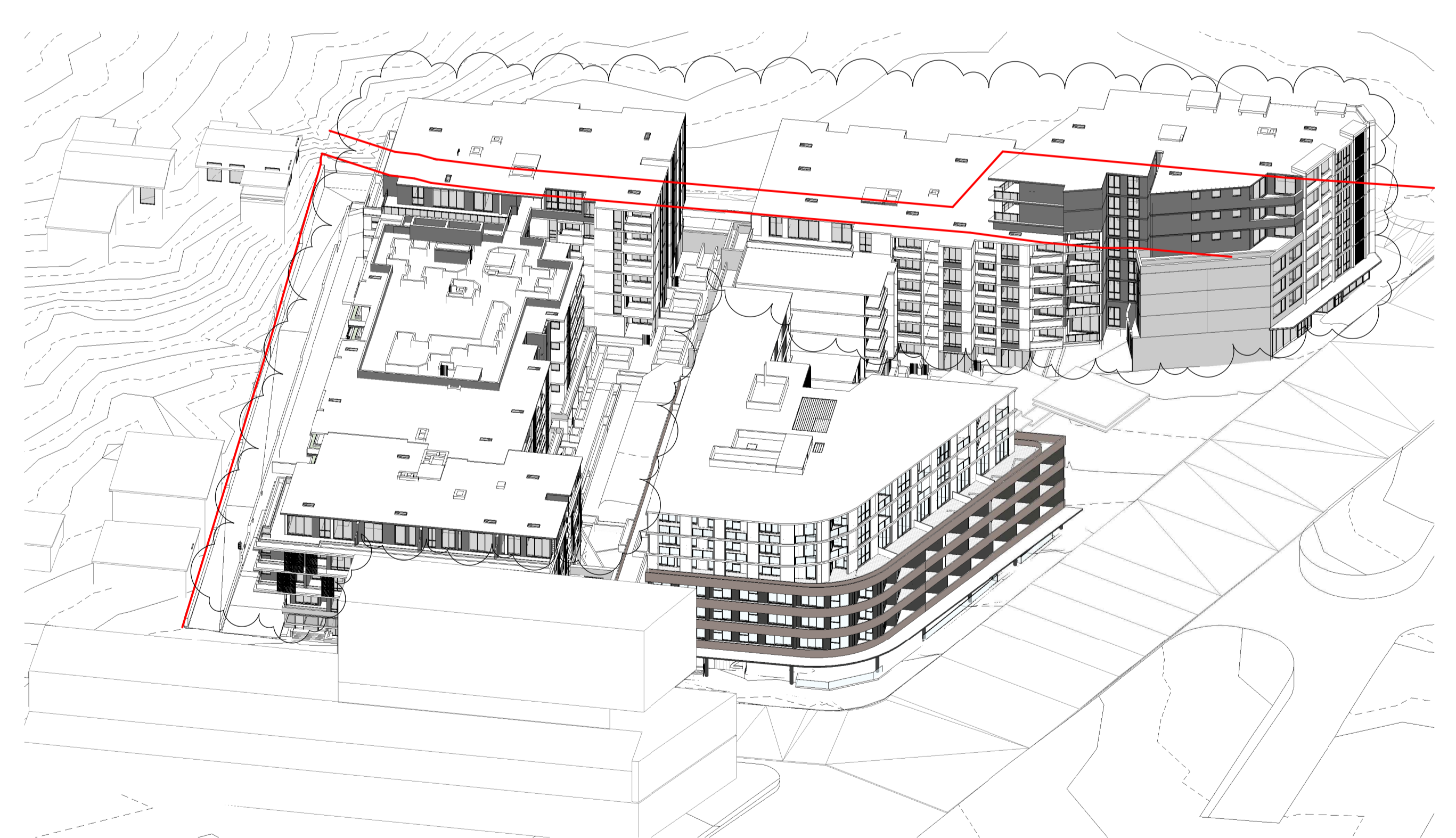
0900



1000



1100



1200

DA SUBMISSION

Revisions			
A	14.12.2021	DEVELOPMENT APPLICATION	JC
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Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**

Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **SHADOW ANALYSIS - POV**

Project No. / **221054**

Date / **07.12.2022**

Author / **JC**

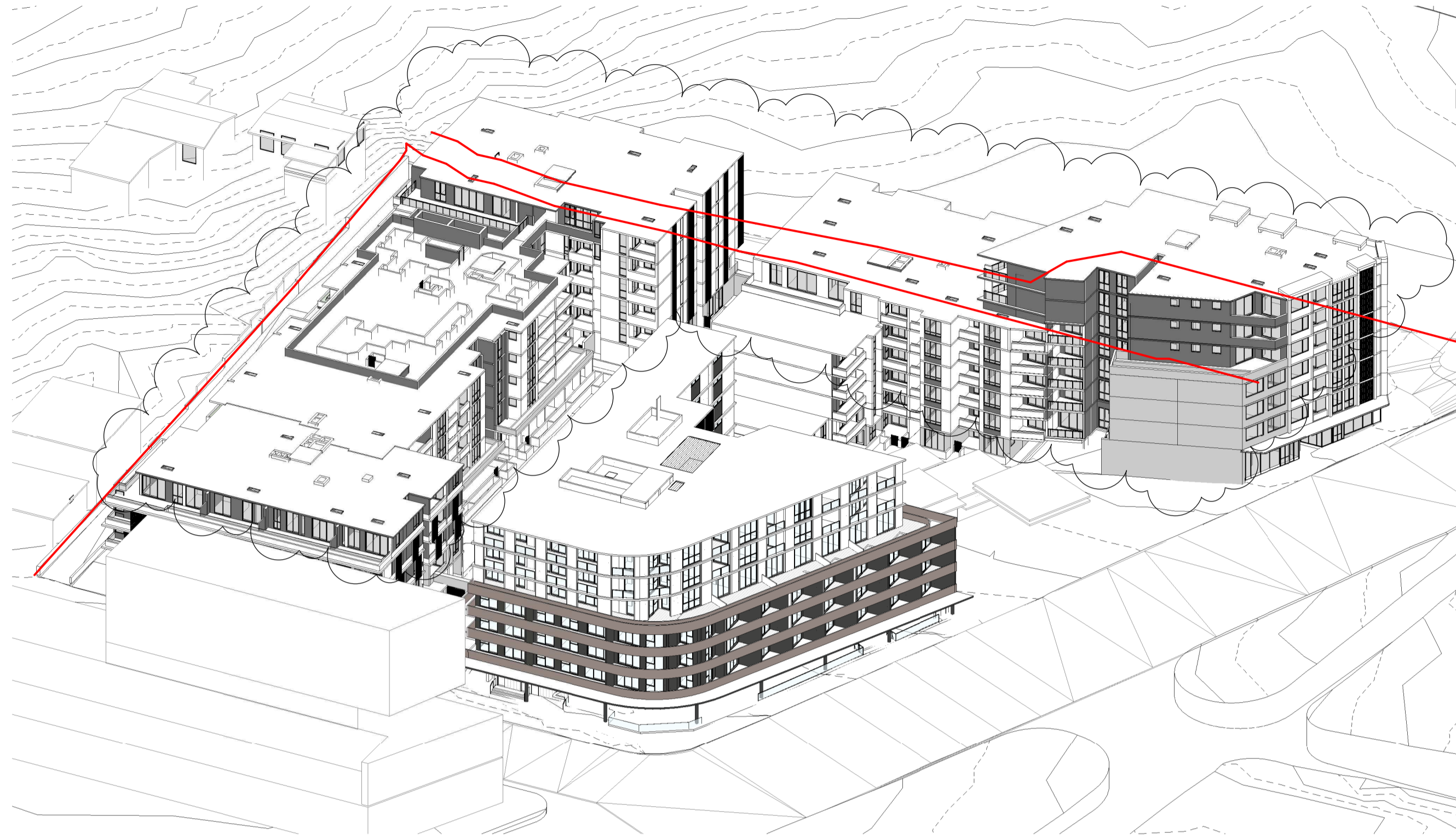
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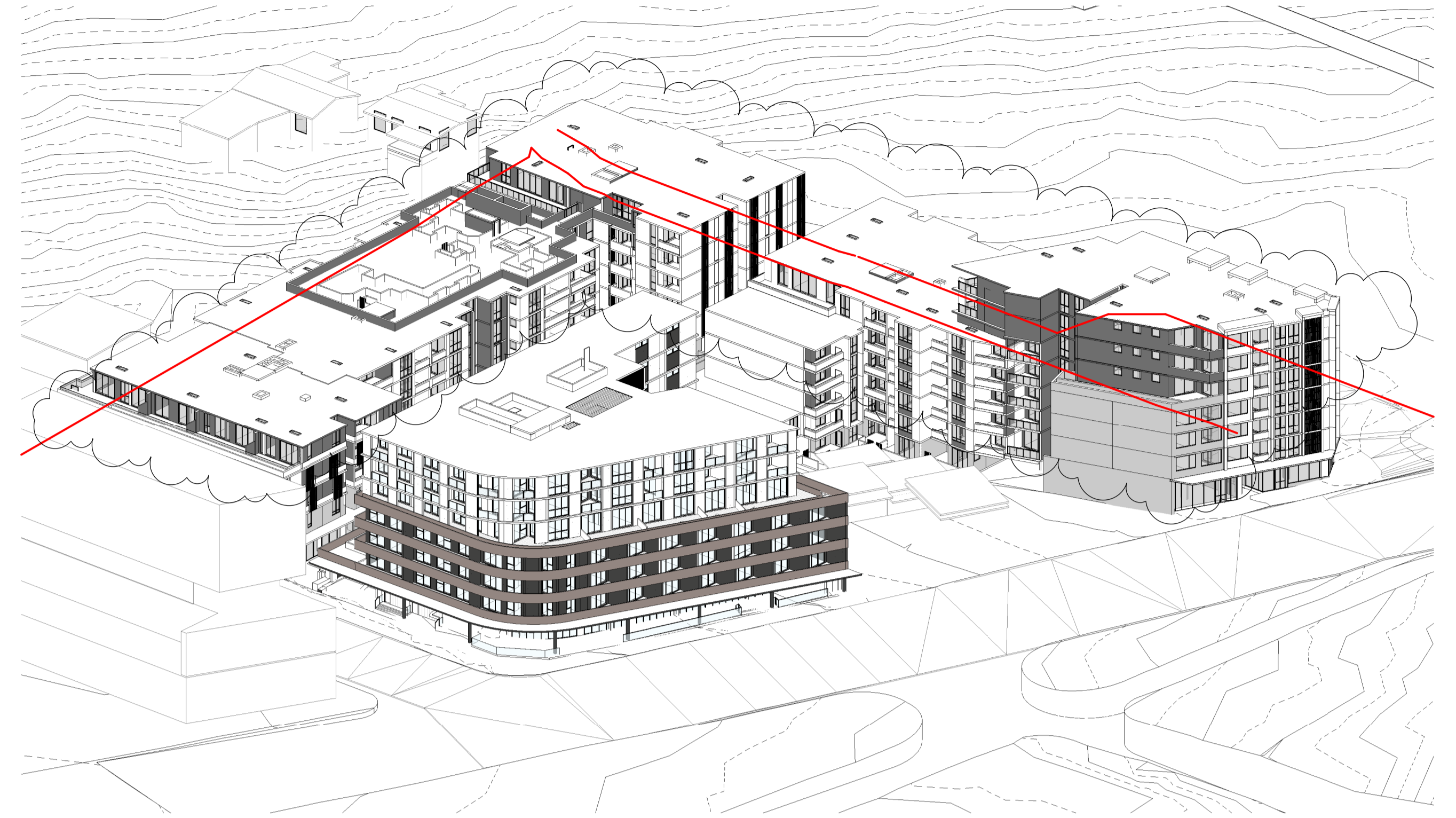
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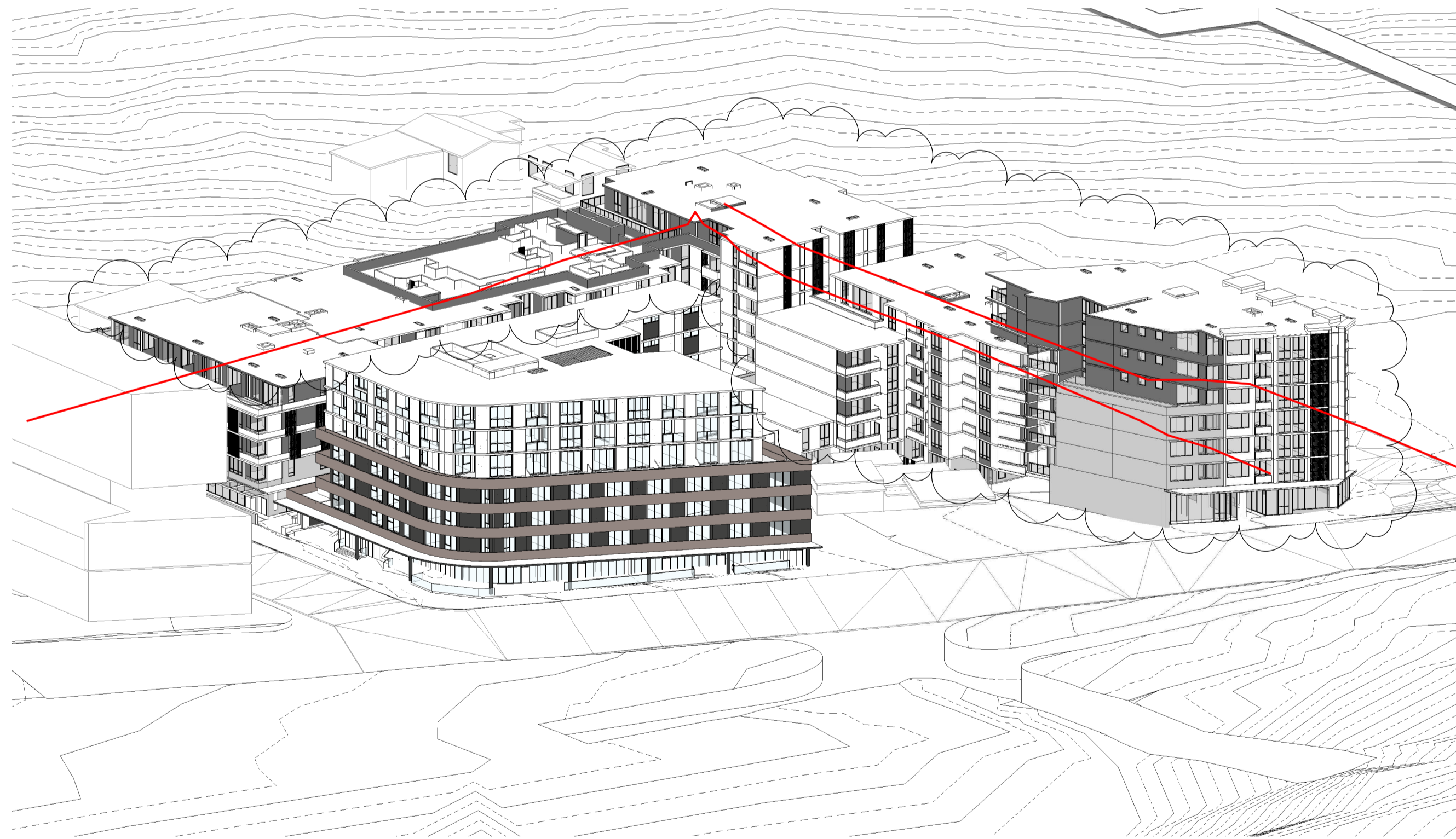
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1300



1400



1500

DA SUBMISSION

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Drawing / **SHADOW ANALYSIS - POV**

Project No / **221054**

Date / **07.12.2022**

Author / **JC**

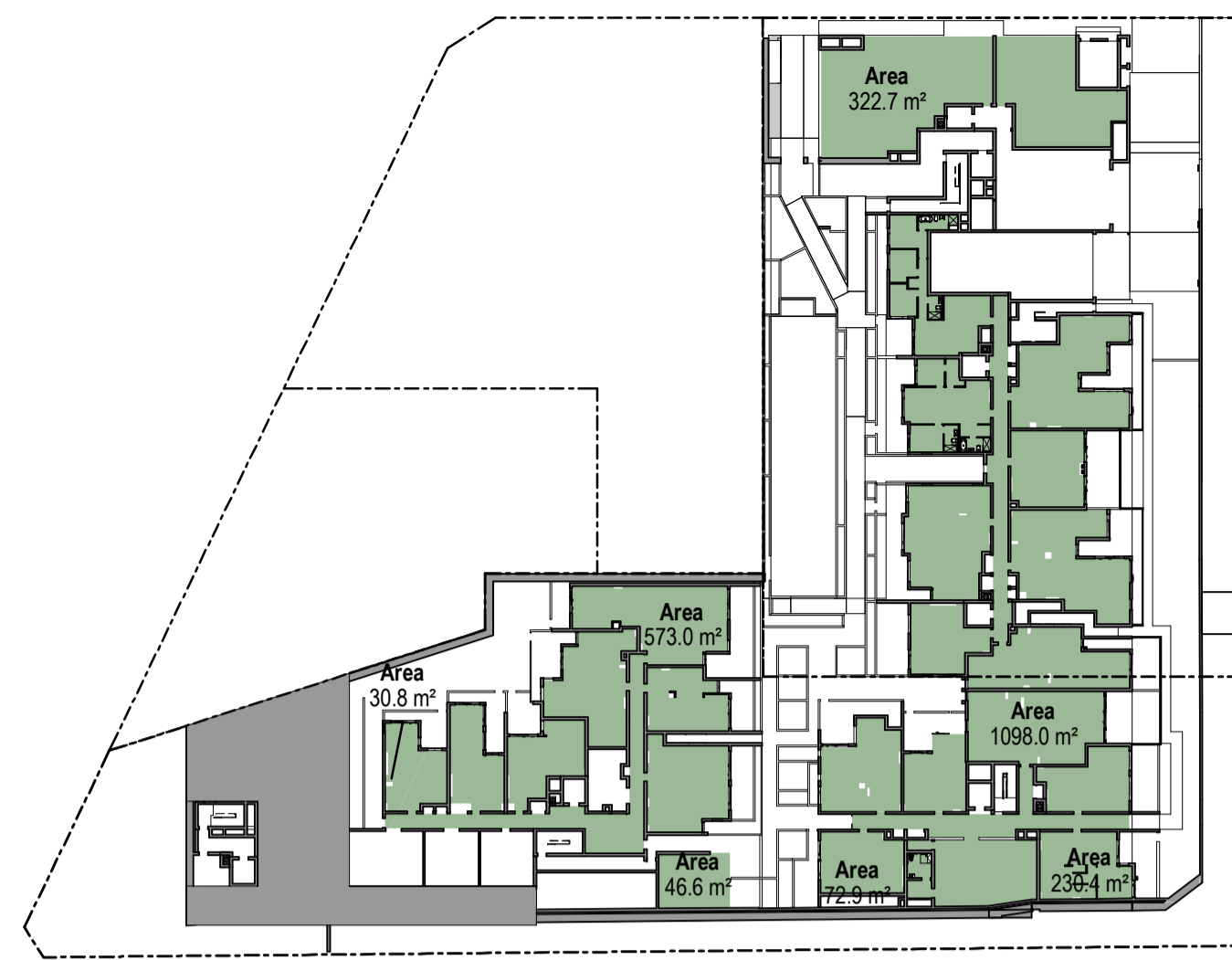
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Drawing No. / **TP05.02 C**

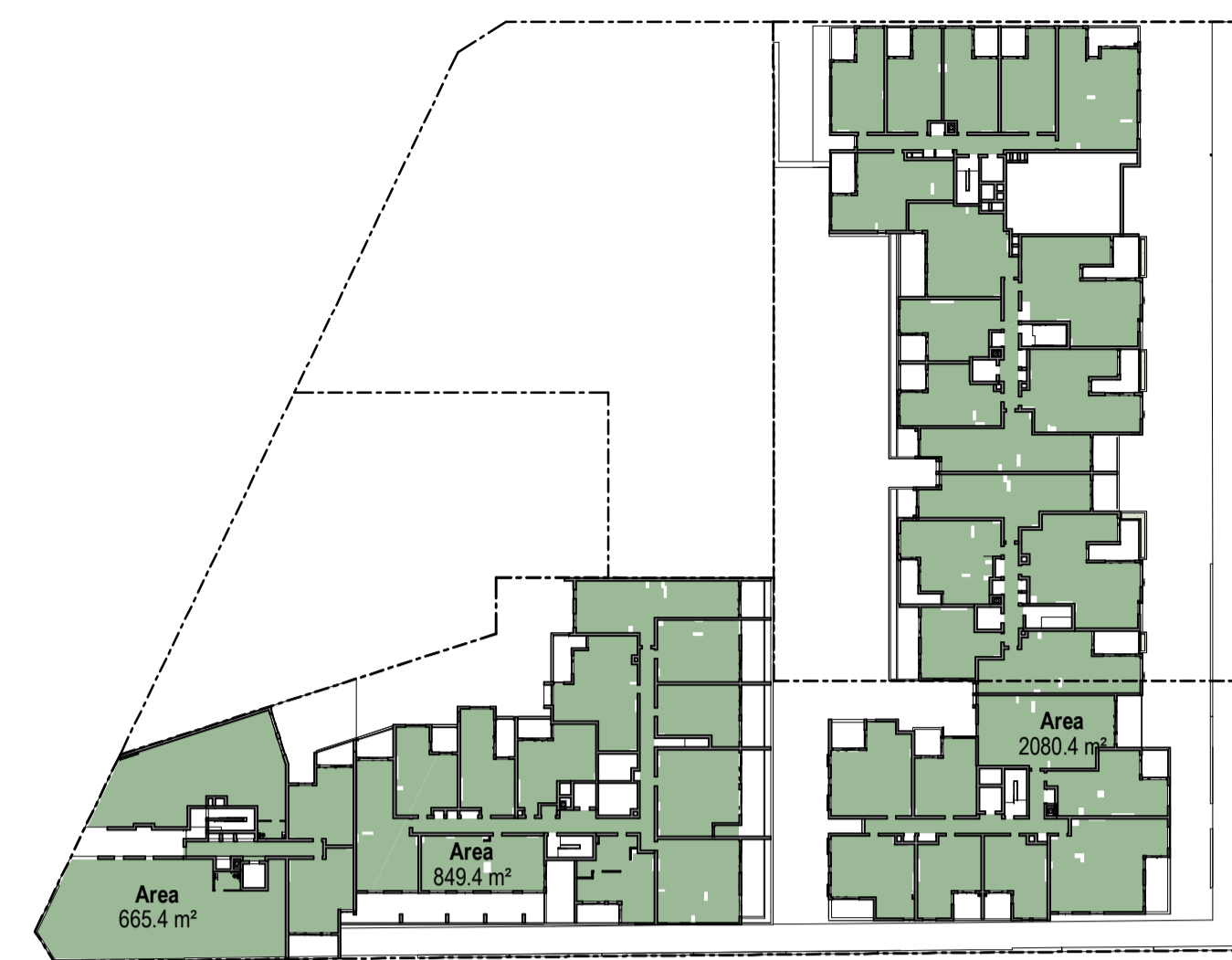
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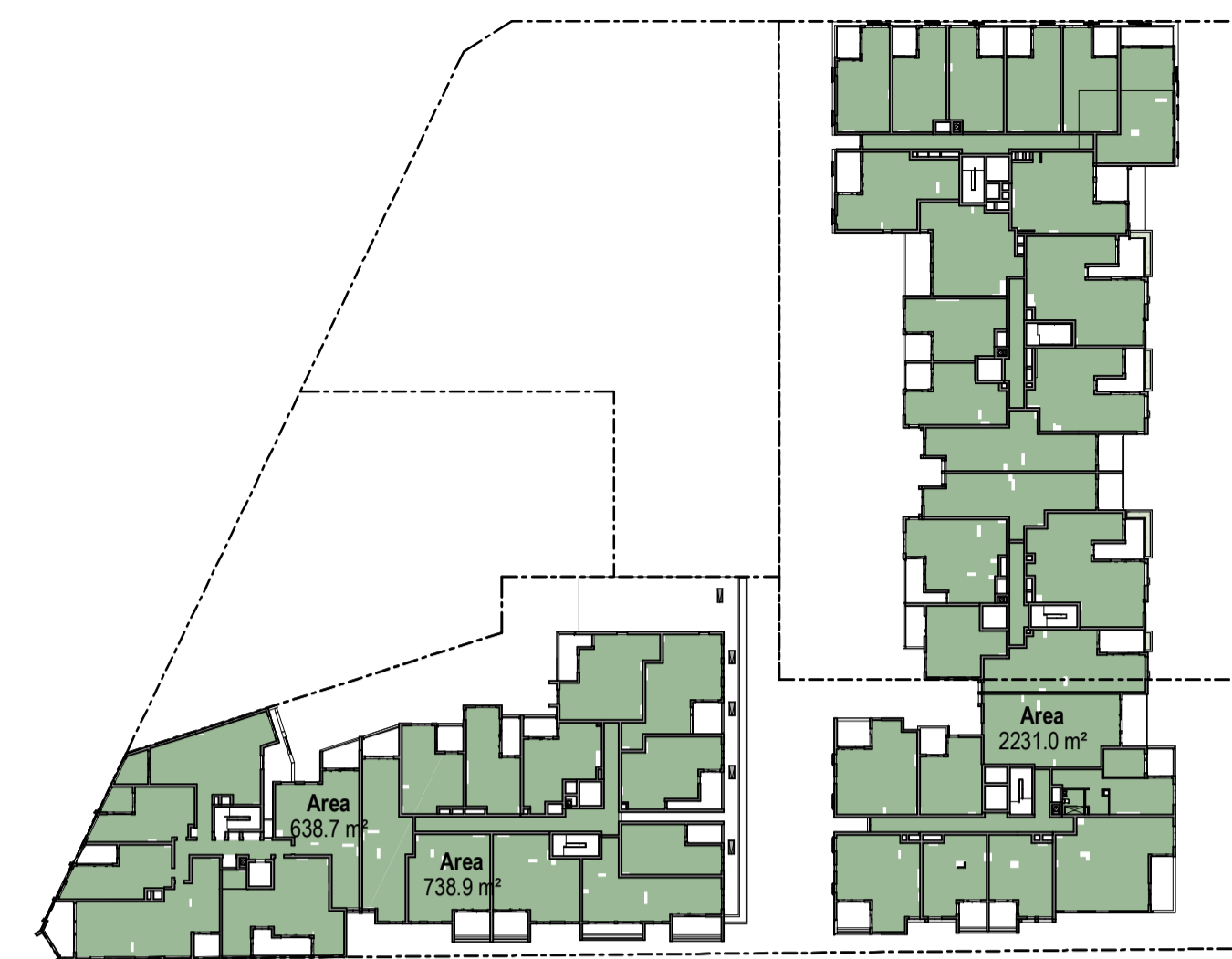
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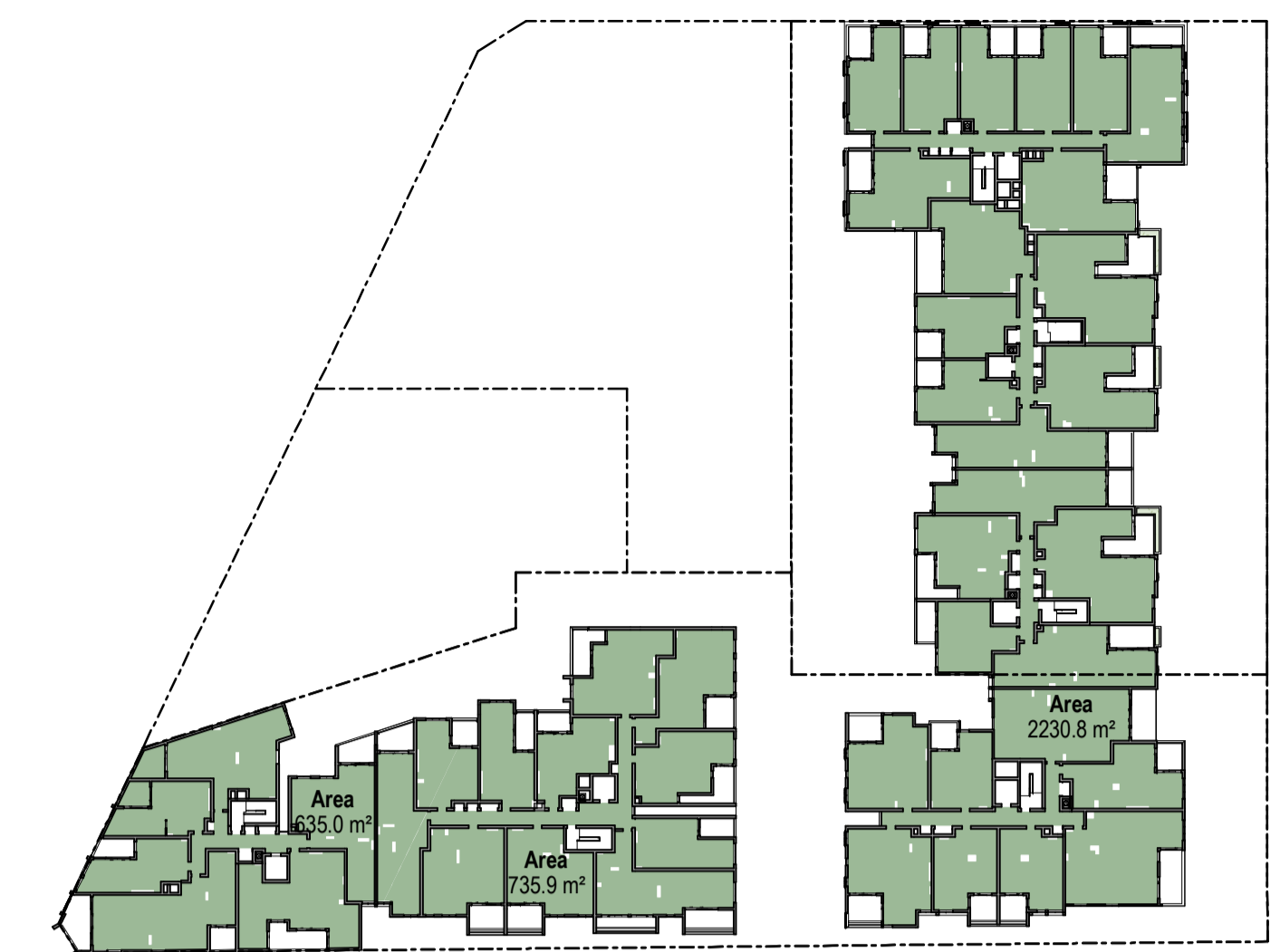
GROUND



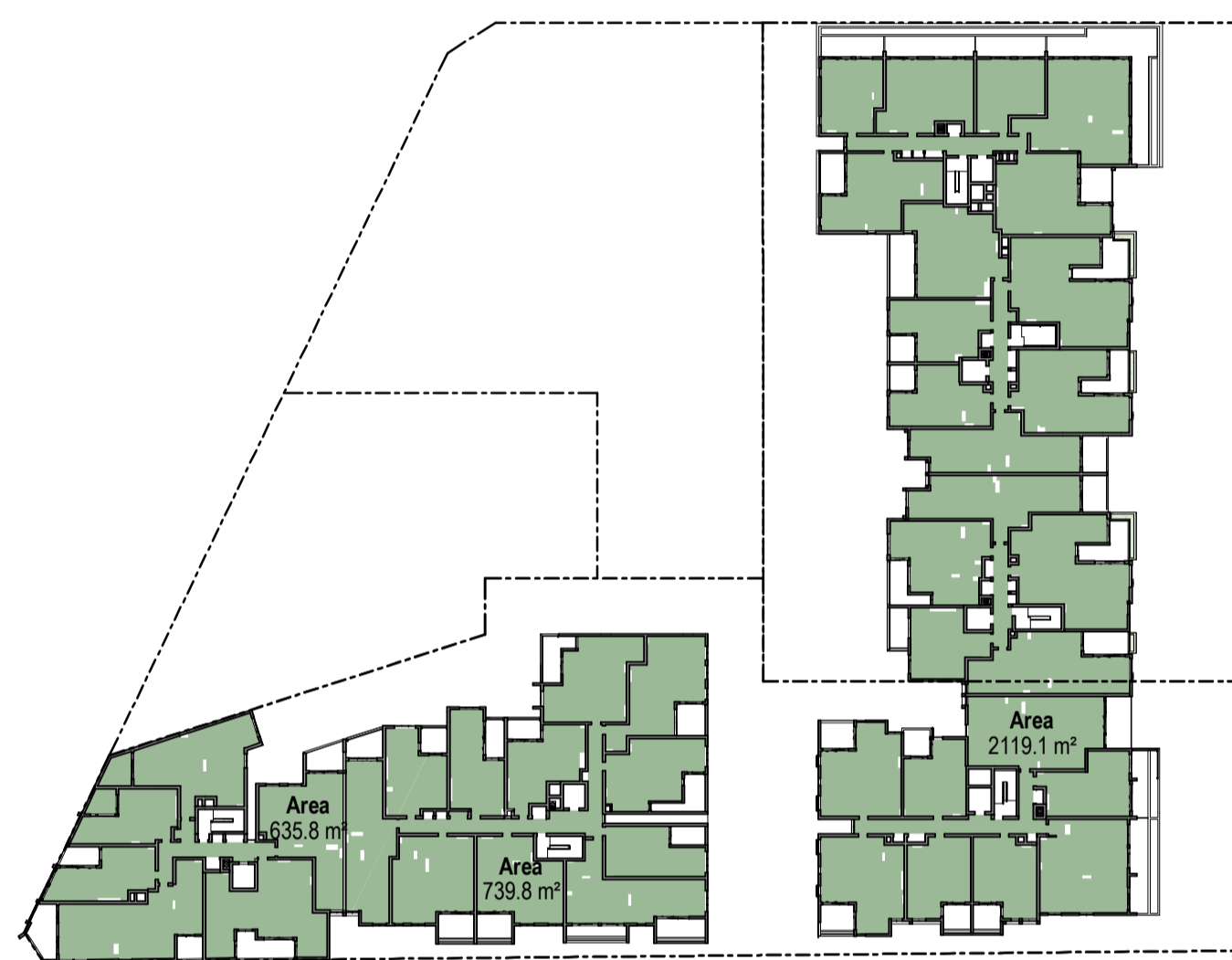
LEVEL 1



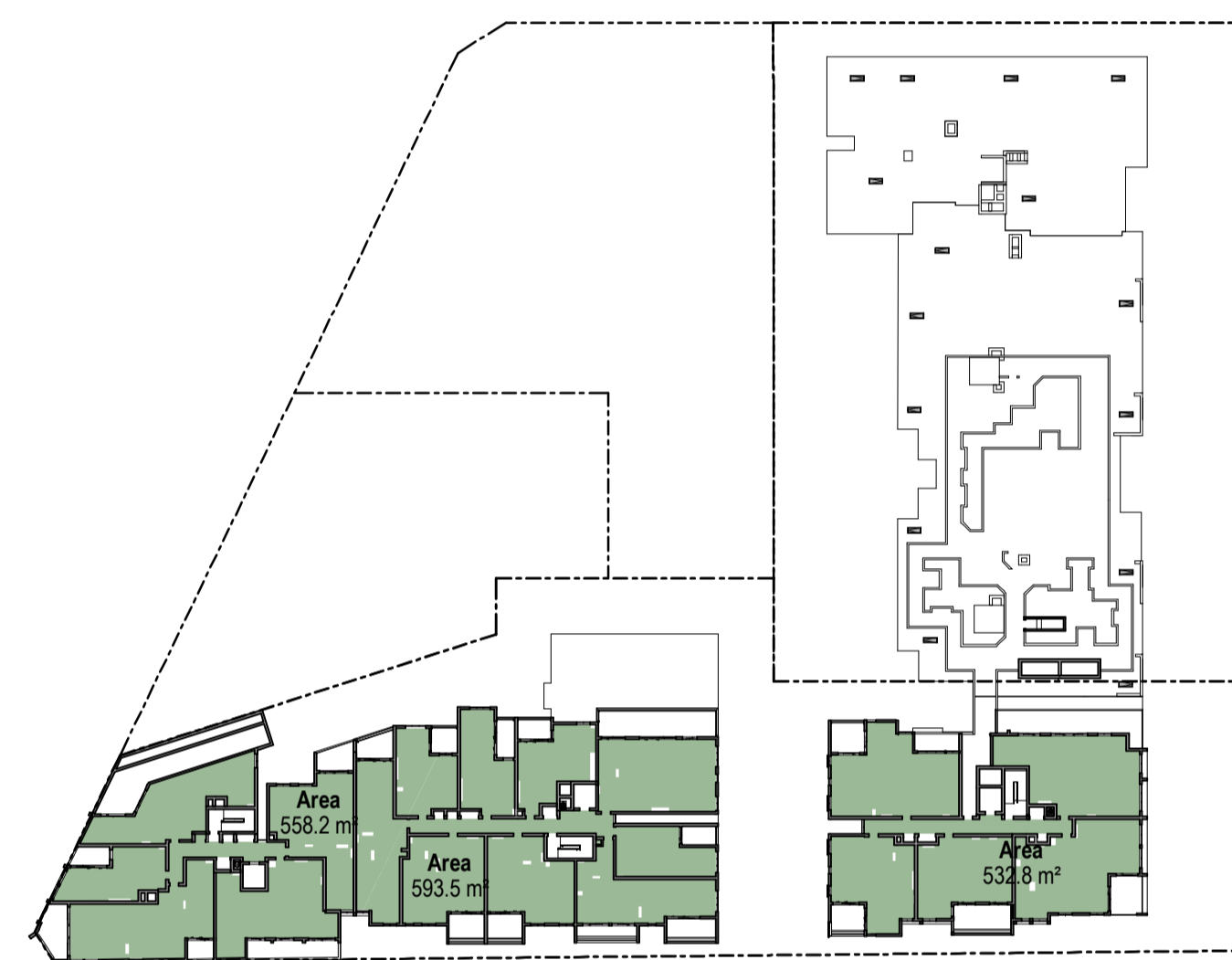
LEVEL 2



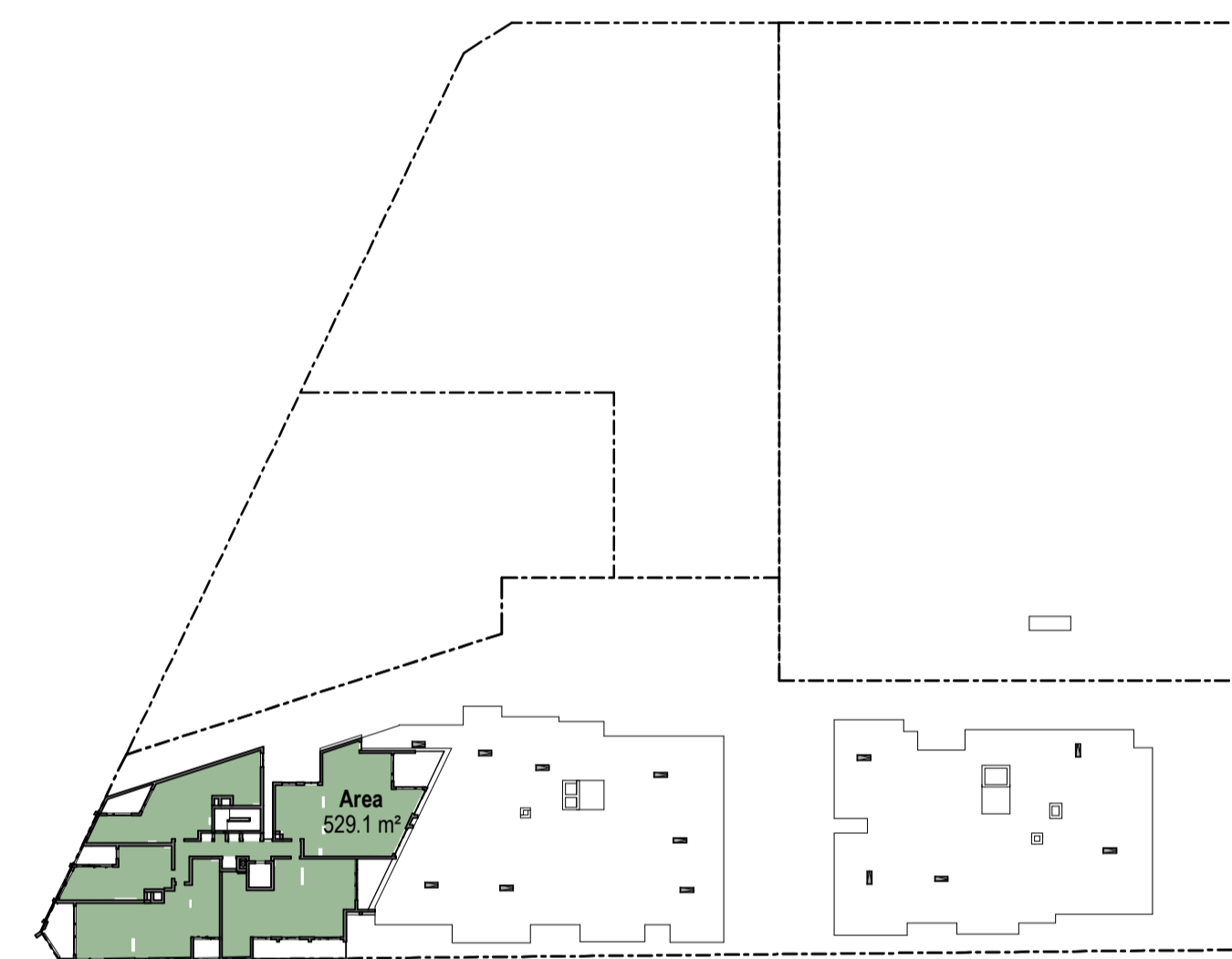
LEVEL 3



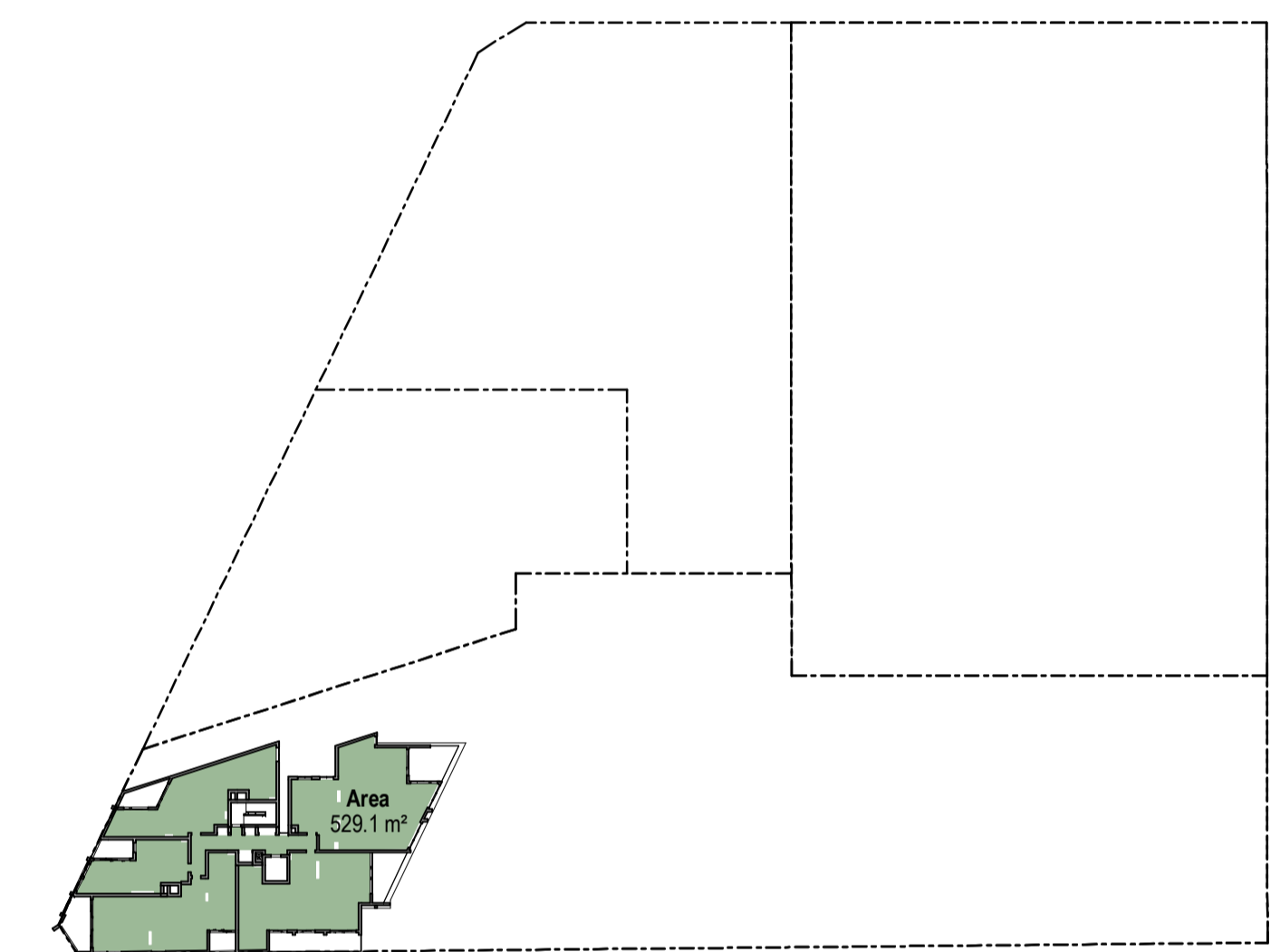
LEVEL 4



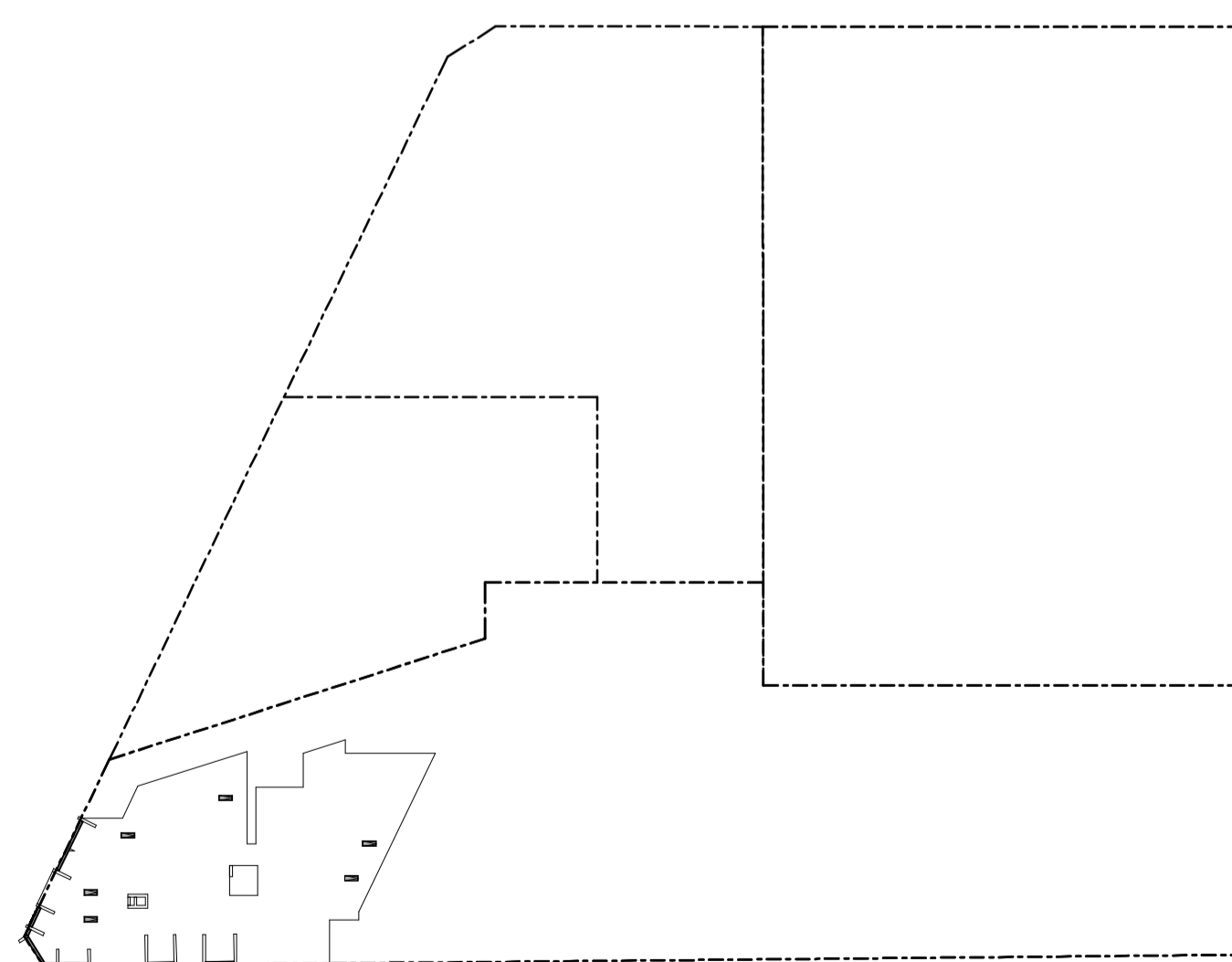
LEVEL 5



LEVEL 6



LEVEL 7



LEVEL 8

GFA
AREA
19417.5 m ²
19417.5 m ²

GFA - 2.4-1	
LEVEL	AREA
GROUND	2343.6 m ²
LEVEL 1	2929.9 m ²
LEVEL 2	2969.9 m ²
LEVEL 3	2966.7 m ²
LEVEL 4	2858.9 m ²
LEVEL 5	1126.4 m ²
	15195.4 m ²

SITE AREA: 6800m²
 PERMISSIBLE FSR: 16320m²

GFA - 3.2-1	
LEVEL	AREA
GROUND	30.8 m ²
LEVEL 1	665.4 m ²
LEVEL 2	638.7 m ²
LEVEL 3	635.0 m ²
LEVEL 4	635.8 m ²
LEVEL 5	558.2 m ²
LEVEL 6	529.1 m ²
LEVEL 7	529.1 m ²
	4222.1 m ²

SITE AREA: 990m²
 PERMISSIBLE FSR: 3168m²

SITE AREA	FSR	PERMISSIBLE GFA
7790m ²	2.4 & 3.2	19488m ²

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Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd** Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

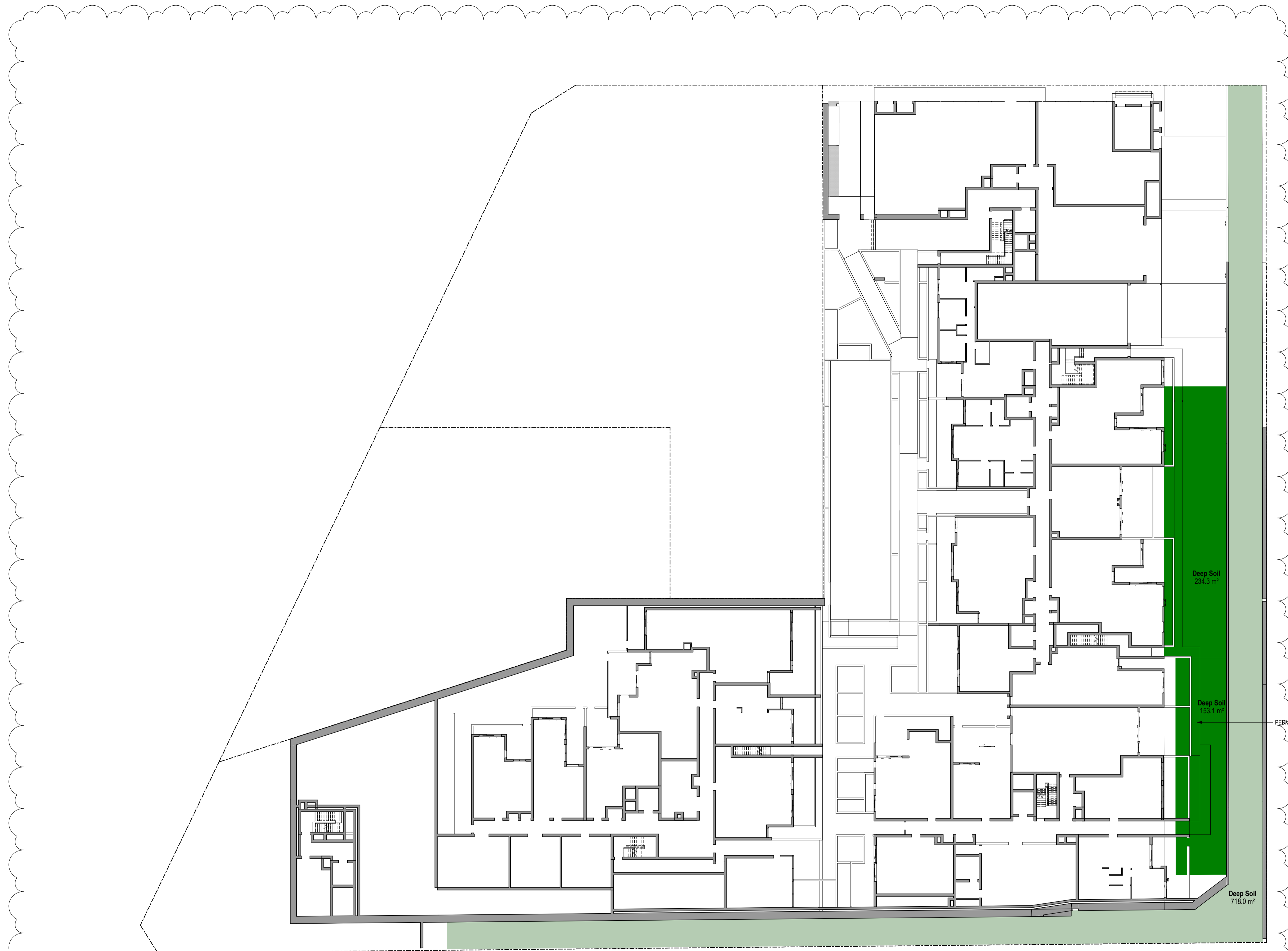
Drawing / **GFA PLANS**

Project No. / **221054** Date / **07.12.2022** Author / **RIC** Scale: @ A1 / **1 : 750**

Drawing No. / **TP06.01 C**

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MIN. 3M DIMENSION
 MIN. 6M DIMENSION

DEEP SOIL	% Achieved
718.0 m ²	9%
387.4 m ²	5%

TOTAL DEEP SOIL	% Achieved
1105.4 m ²	14%

SITE AREA = 7790 m²

Revisions	Date	Description	Author
A	14.12.2021	DEVELOPMENT APPLICATION	JC
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Client: **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**

Project: **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing: **DEEP SOIL**

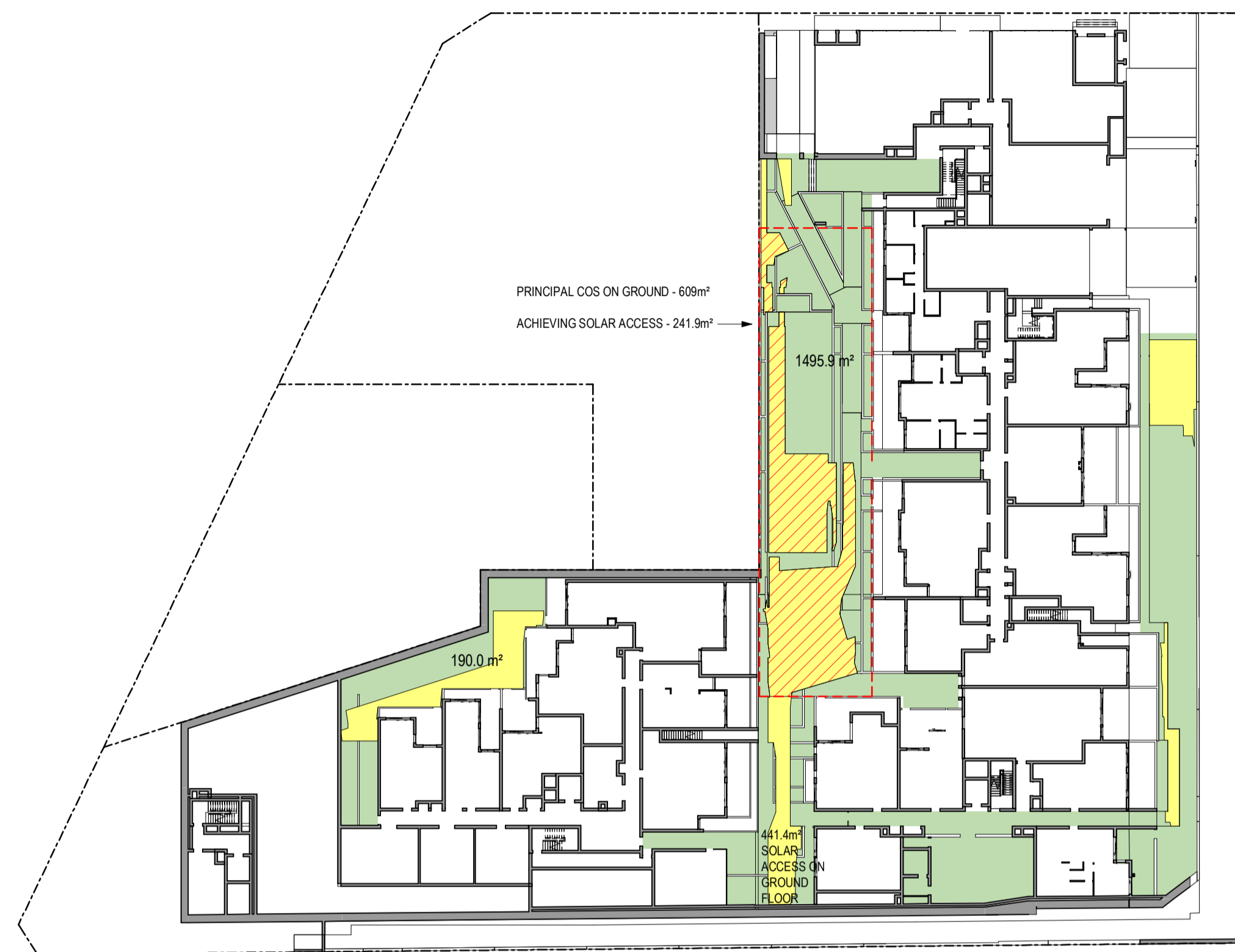
Project No: **221054** Date: **07.12.2022** Author: **BR** Scale: **@ A1 1 : 250**

Drawing No: **TP06.03 C**

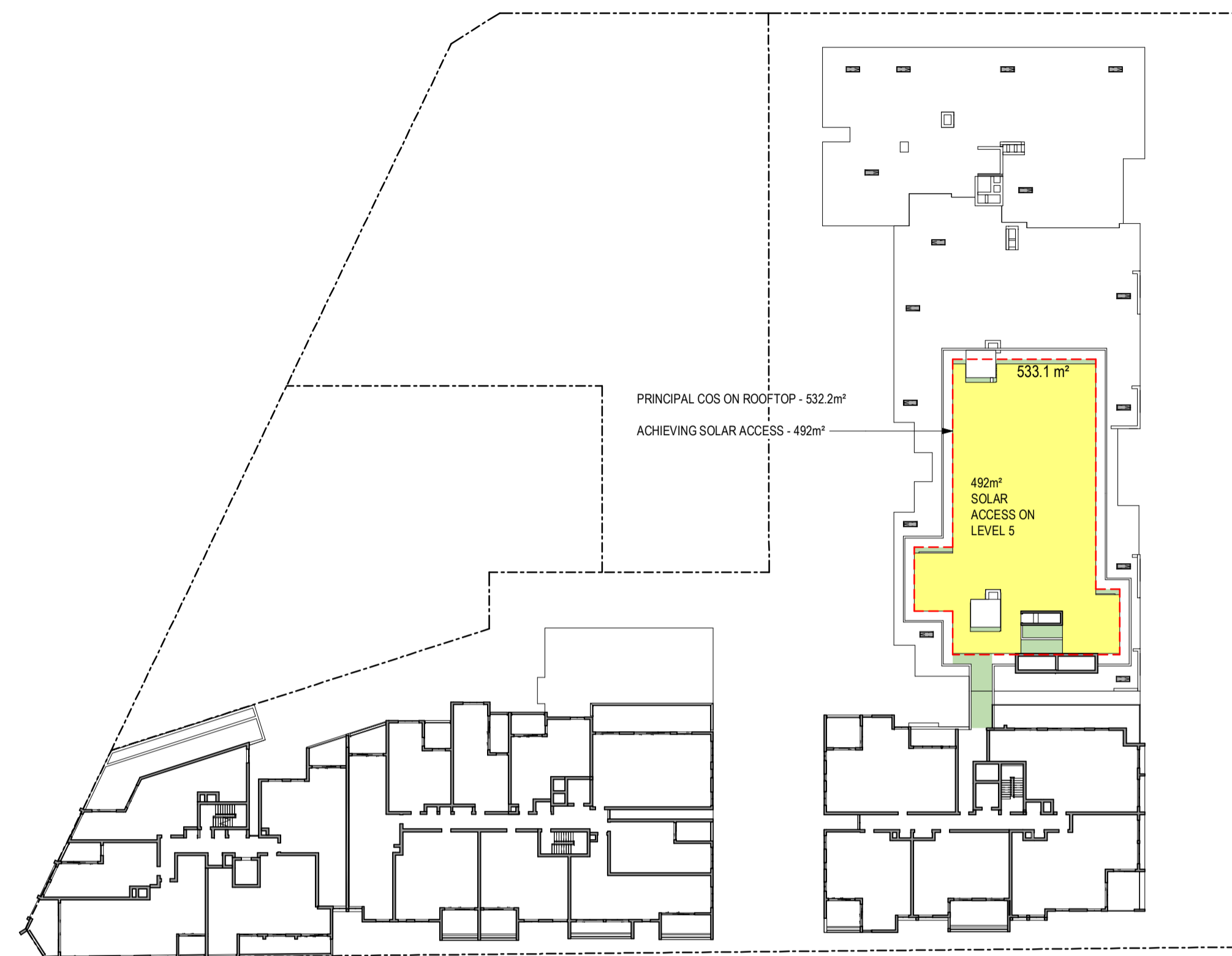
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GROUND



LEVEL 5

50% ACHIEVES 2HR SOLAR ACCESS BETWEEN 9AM AND 3PM JUNE 21

LEVEL	TOTAL COMMUNAL OPEN SPACE	% Achieved
GROUND	1686.0 m ²	22%
LEVEL 5	533.1 m ²	7%
	2219.0 m ²	28%

SITE AREA = 7790 m²

- PRINCIPAL COMMUNAL SPACE
- COMMUNAL OPEN SPACE THAT ACHIEVES 2HR SOLAR ACCESS BETWEEN 9AM AND 3PM JUNE 21 = 574m²

PRINCIPAL COMMUNAL SPACE AREA	AREA WITH SOLAR ACCESS	% WITH SOLAR ACCESS
1141.2 m ²	733.9m ²	64.3%

Revisions			
A	14.12.2021	DEVELOPMENT APPLICATION	JC
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C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**

Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **COMMUNAL / LANDSCAPE PLAN**

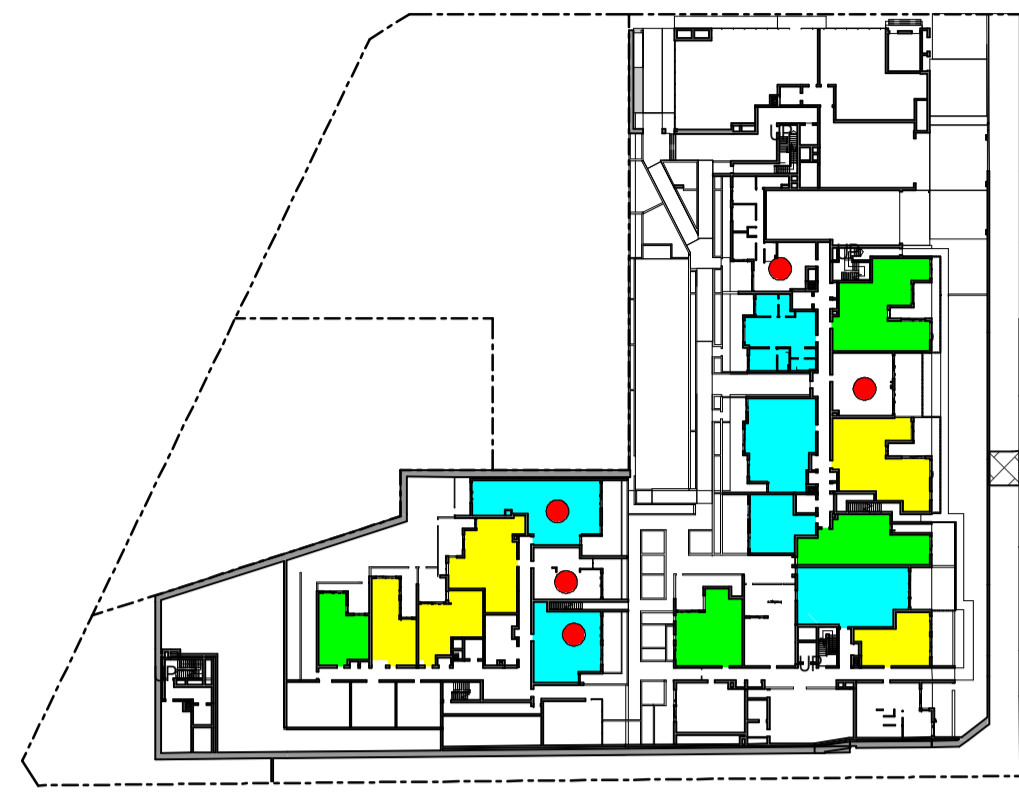
Project No / **221054** Date / **07.12.2022** Author / **BR**

Scale: @ A1 / **As indicated**

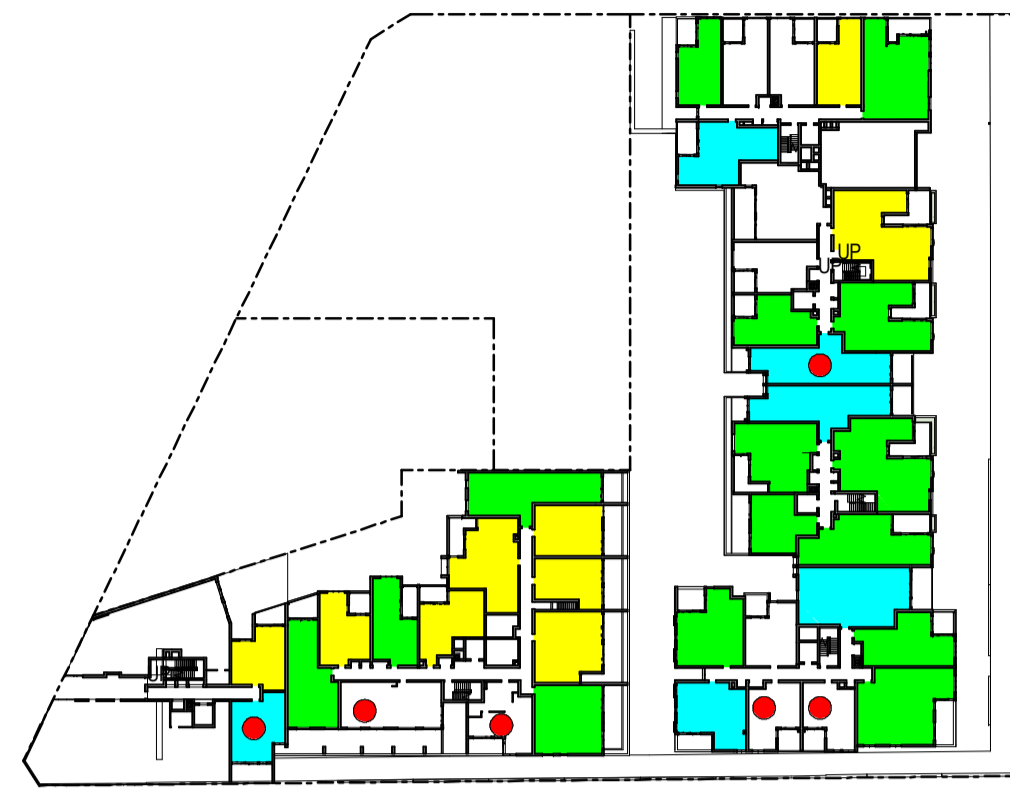
Drawing No. / **TP06.04 C**

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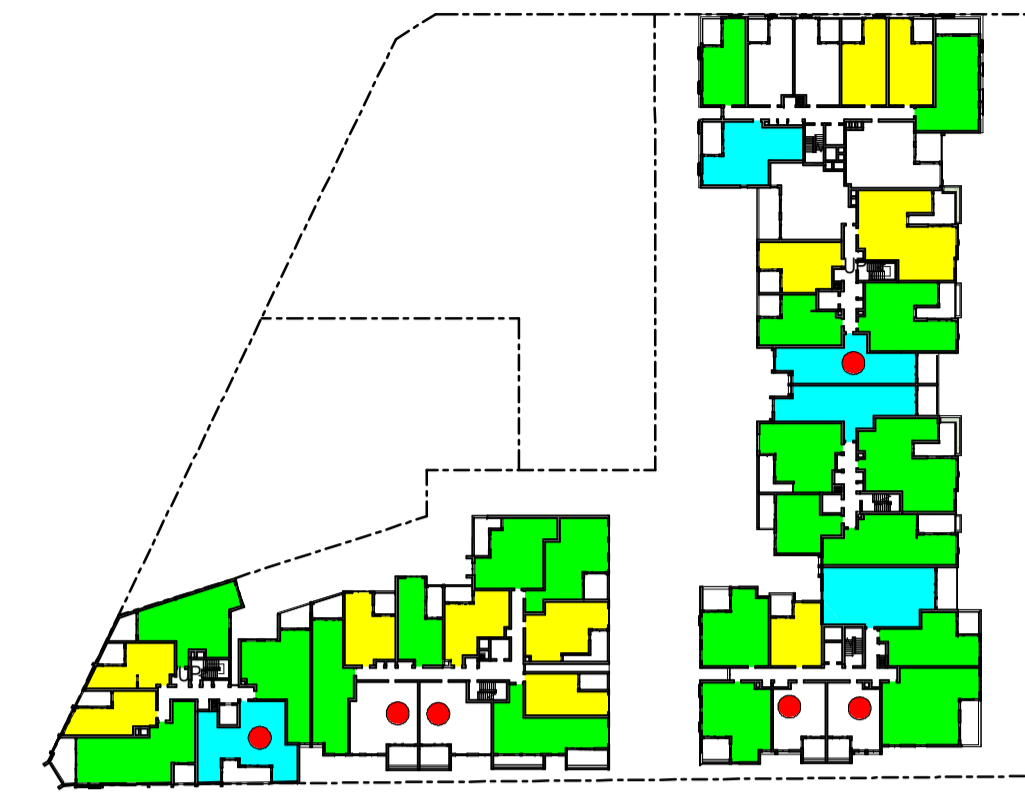
GROUND



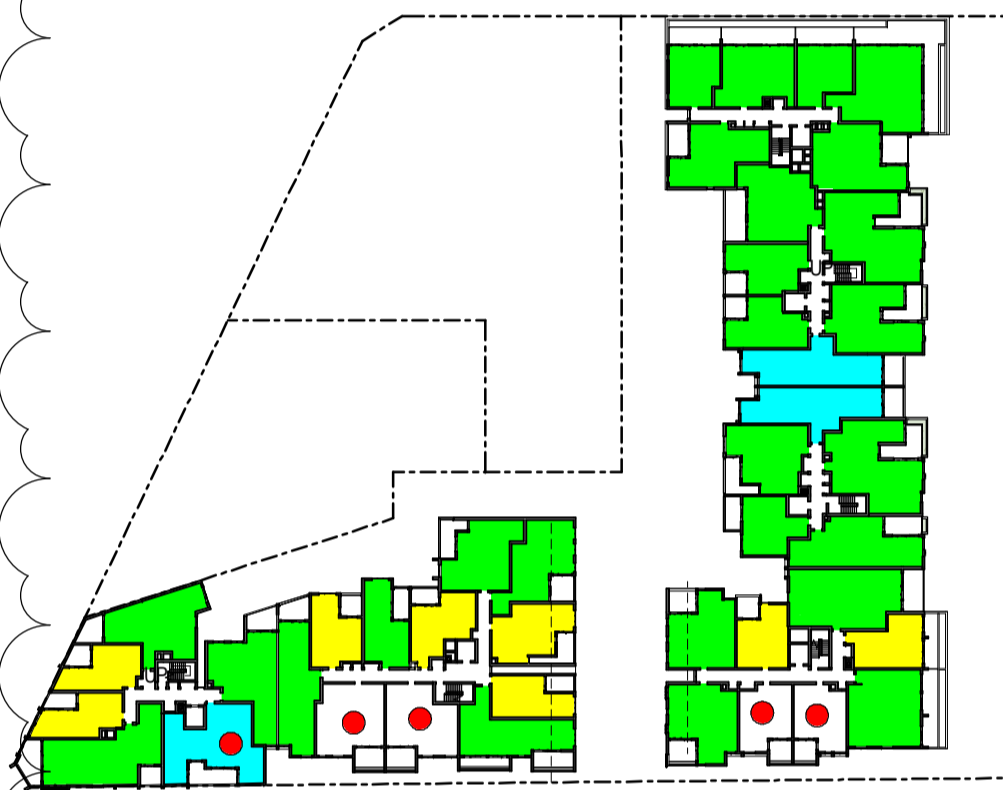
LEVEL 1



LEVEL 2



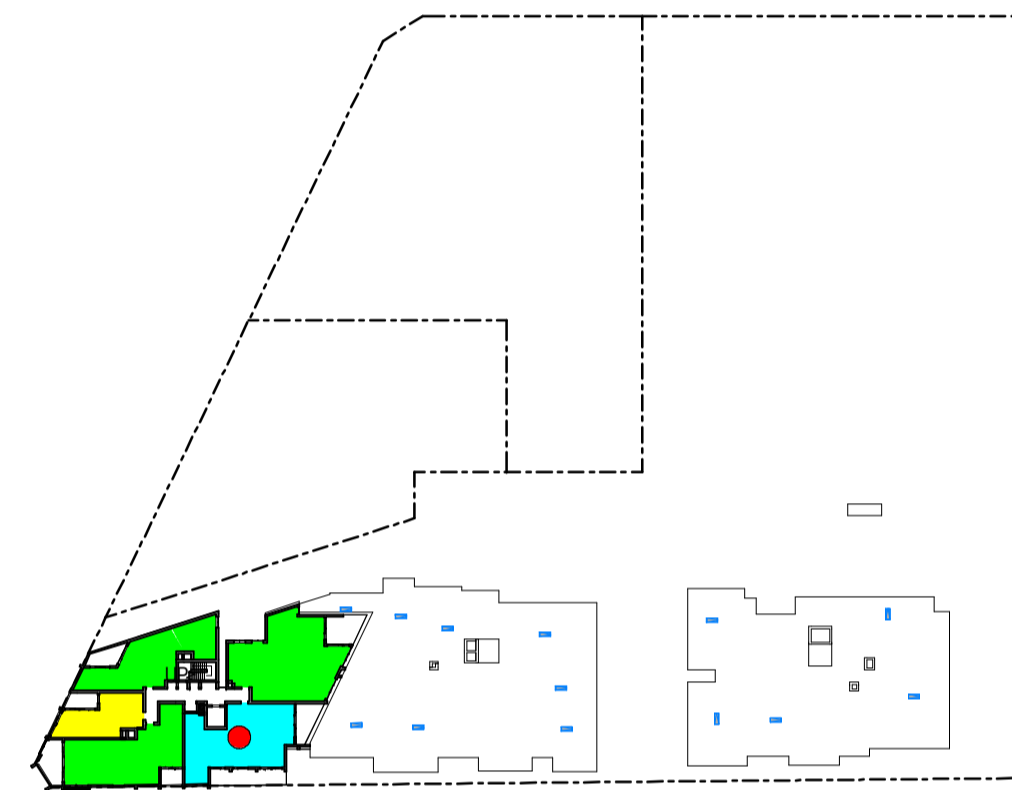
LEVEL 3



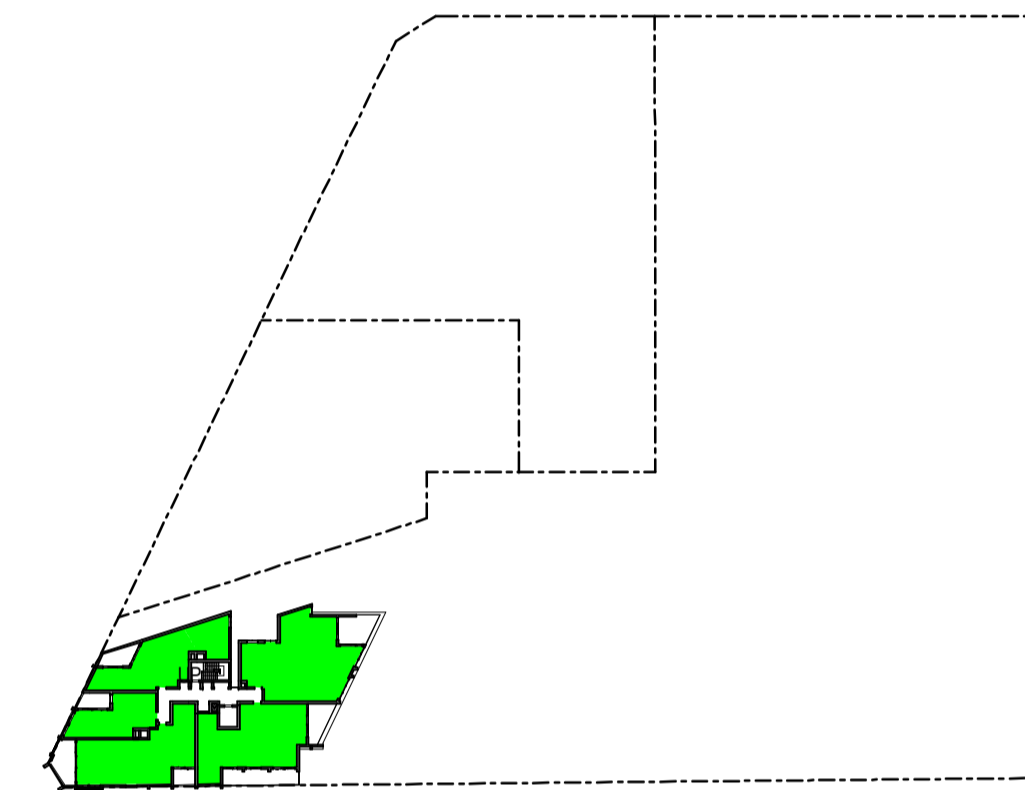
LEVEL 4



LEVEL 5



LEVEL 6



LEVEL 7

SEPP 65 SOLAR & CROSS VENTILATION COMPLIANCE LEGEND

- SOLAR COMPLIANT
- CROSS VENTILATION COMPLIANT
- SOLAR & CROSS VENTILATION COMPLIANT
- NO DIRECT SUNLIGHT
- VENTILATING SKYLIGHT FOR UNIT BELOW

CROSS VENTILATION COMPLIANCE

LEVEL	No. VENTILATION
GROUND	10
GROUND UPPER	0
LEVEL 1	20
LEVEL 1 UPPER	1
LEVEL 2	21
LEVEL 2 UPPER	4
LEVEL 3	21
LEVEL 3 UPPER	4
LEVEL 4	26
LEVEL 4 UPPER	4
LEVEL 5	14
LEVEL 5 UPPER	4
LEVEL 6 UPPER	4
LEVEL 7 UPPER	5
TOTAL	138

SOLAR COMPLIANCE

LEVEL	No. SOLAR
GROUND	9
GROUND UPPER	0
LEVEL 1	23
LEVEL 1 UPPER	1
LEVEL 2	24
LEVEL 2 UPPER	5
LEVEL 3	26
LEVEL 3 UPPER	5
LEVEL 4	30
LEVEL 4 UPPER	5
LEVEL 5	14
LEVEL 5 UPPER	4
LEVEL 6 UPPER	4
LEVEL 7 UPPER	5
TOTAL	155

NO DIRECT SUNLIGHT COUNT

LEVEL	No. NO DIRECT SUNLIGHT
GROUND	5
GROUND UPPER	0
LEVEL 1	5
LEVEL 1 UPPER	1
LEVEL 2	6
LEVEL 2 UPPER	1
LEVEL 3	5
LEVEL 3 UPPER	1
LEVEL 4	4
LEVEL 4 UPPER	1
LEVEL 5	0
LEVEL 5 UPPER	1
LEVEL 6 UPPER	1
LEVEL 7 UPPER	0
TOTAL	31

CROSS VENT COMPLIANT
63.0%

SOLAR COMPLIANT
70.8%

NO DIRECT SUNLIGHT
14.2%

Revisions	Date	Description	Author
A	14.12.2021	DEVELOPMENT APPLICATION	JC
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C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**

Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **SEPP 65 SOLAR & CROSS VENTILATION COMPLIANCE**

Project No. / **221054**

Date / **07.12.2022**

Author / **SJ**

Scale: @ A1 / **As indicated**

Drawing No. / **TP06.05 C**

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RESIDENTIAL STORAGE WITHIN APARTMENT			
LEVEL	UNIT	UNIT TYPE	VOLUME
GROUND	B.101	3 BED	5 m ²
GROUND	B.102	3 BED PLUS	13 m ²
GROUND	B.103	1 BED PLUS LHA	6 m ²
GROUND	B.104	2 BED	6 m ²
GROUND	C.101	3 BED PLUS LHA	7 m ²
GROUND	C.102	3 BED	9 m ²
GROUND	C.103	2 BED PLUS LHA	13 m ²
GROUND	C.104	1 BED	3 m ²
GROUND	D.101	3 BED PLUS	10 m ²
GROUND	D.102	1 BED	3 m ²
GROUND	D.103	2 BED	3 m ²
GROUND	D.104	1 BED	3 m ²
GROUND	D.105	1 BED PLUS	18 m ²
GROUND	D.106	1 BED	4 m ²
GROUND	E.101	2 BED PLUS	10 m ²
GROUND	E.102	3 BED PLUS	21 m ²
GROUND	E.103	1 BED	3 m ²
GROUND	E.104	2 BED	4 m ²
GROUND	E.105	1 BED DDA	4 m ²
GROUND	E.106	1 BED	3 m ²
GROUND	E.107	1 BED PLUS	6 m ²
LEVEL 1	A.201	1 BED	3 m ²
LEVEL 1	A.202	1 BED	5 m ²
LEVEL 1	A.203	3 BED	6 m ²
LEVEL 1	A.204	2 BED LHA	7 m ²
LEVEL 1	A.205	1 BED	3 m ²
LEVEL 1	A.206	1 BED	3 m ²
LEVEL 1	B.201	1 BED DDA	5 m ²
LEVEL 1	B.202	2 BED PLUS	7 m ²
LEVEL 1	B.203	3 BED	10 m ²
LEVEL 1	B.204	2 BED PLUS LHA	8 m ²
LEVEL 1	B.205	2 BED	5 m ²
LEVEL 1	B.206	1 BED LHA	4 m ²
LEVEL 1	C.201	2 BED LHA	4 m ²
LEVEL 1	C.202	2 BED	4 m ²
LEVEL 1	C.203	3 BED LHA	10 m ²
LEVEL 1	C.204	2 BED PLUS LHA	13 m ²
LEVEL 1	C.205	1 BED	3 m ²
LEVEL 1	D.201	3 BED	10 m ²
LEVEL 1	D.202	1 BED PLUS DDA	9 m ²
LEVEL 1	D.203	3 BED	13 m ²
LEVEL 1	D.204	1 BED LHA	3 m ²
LEVEL 1	D.205	1 BED LHA	3 m ²
LEVEL 1	D.206	1 BED PLUS	8 m ²
LEVEL 1	D.207	2 BED	5 m ²
LEVEL 1	D.208	1 BED	3 m ²
LEVEL 1	E.201	2 BED	7 m ²
LEVEL 1	E.202	2 BED	5 m ²
LEVEL 1	E.203	1 BED	8 m ²
LEVEL 1	E.204	1 BED	4 m ²
LEVEL 1	E.205	2 BED	4 m ²
LEVEL 1	E.206	2 BED	7 m ²
LEVEL 1	E.207	1 BED PLUS LHA	11 m ²
LEVEL 1	E.208	2 BED	5 m ²
LEVEL 1	E.209	2 BED	4 m ²
LEVEL 1	E.210	1 BED DDA	4 m ²
LEVEL 1	E.211	1 BED	3 m ²
LEVEL 1	E.212	1 BED PLUS	6 m ²
LEVEL 1 UPPER	F.201	1 BED	3 m ²
LEVEL 1 UPPER	F.202	1 BED	7 m ²
LEVEL 2	A.301	1 BED	3 m ²
LEVEL 2	A.302	1 BED	5 m ²
LEVEL 2	A.303	1 BED	5 m ²
LEVEL 2	A.304	2 BED	4 m ²
LEVEL 2	A.305	2 BED PLUS	11 m ²
LEVEL 2	A.306	2 BED LHA	7 m ²
LEVEL 2	A.307	1 BED	3 m ²
LEVEL 2	A.308	1 BED	3 m ²
LEVEL 2	B.301	1 BED DDA	5 m ²
LEVEL 2	B.302	2 BED PLUS	7 m ²
LEVEL 2	B.303	3 BED	10 m ²
LEVEL 2	B.304	2 BED PLUS LHA	8 m ²
LEVEL 2	B.305	2 BED	5 m ²
LEVEL 2	B.306	1 BED LHA	4 m ²
LEVEL 2	C.301	2 BED LHA	4 m ²
LEVEL 2	C.302	2 BED	4 m ²
LEVEL 2	C.303	3 BED LHA	10 m ²
LEVEL 2	C.304	2 BED PLUS LHA	13 m ²
LEVEL 2	C.305	1 BED	3 m ²
LEVEL 2	D.301	3 BED	10 m ²
LEVEL 2	D.302	1 BED PLUS DDA	9 m ²
LEVEL 2	D.303	3 BED	13 m ²

RESIDENTIAL STORAGE WITHIN APARTMENT			
LEVEL	UNIT	UNIT TYPE	VOLUME
LEVEL 2	D.304	1 BED DDA	3 m ²
LEVEL 2	D.305	1 BED DDA	3 m ²
LEVEL 2	D.306	2 BED	7 m ²
LEVEL 2	D.307	2 BED	5 m ²
LEVEL 2	D.308	1 BED	3 m ²
LEVEL 2	E.301	1 BED DDA	3 m ²
LEVEL 2	E.302	2 BED LHA	4 m ²
LEVEL 2	E.303	2 BED	5 m ²
LEVEL 2	E.304	1 BED PLUS	8 m ²
LEVEL 2	E.305	1 BED	3 m ²
LEVEL 2	E.306	2 BED	6 m ²
LEVEL 2	E.307	2 BED LHA	4 m ²
LEVEL 2	E.308	2 BED	4 m ²
LEVEL 2	E.309	2 BED	5 m ²
LEVEL 2	E.310	1 BED DDA	4 m ²
LEVEL 2	E.311	1 BED	3 m ²
LEVEL 2 UPPER	F.302	3 BED LHA	6 m ²
LEVEL 2 UPPER	F.303	1 BED	3 m ²
LEVEL 2 UPPER	F.304	1 BED	5 m ²
LEVEL 2 UPPER	F.306	2 BED	7 m ²
LEVEL 2 UPPER	F.307	2 BED PLUS LHA	6 m ²
LEVEL 2 UPPER	F.308	3 BED	5 m ²
LEVEL 3	A.401	1 BED	3 m ²
LEVEL 3	A.402	1 BED	5 m ²
LEVEL 3	A.403	1 BED	5 m ²
LEVEL 3	A.404	3 BED	10 m ²
LEVEL 3	A.405	2 BED PLUS	11 m ²
LEVEL 3	A.406	2 BED LHA	7 m ²
LEVEL 3	A.407	1 BED	3 m ²
LEVEL 3	A.408	1 BED	3 m ²
LEVEL 3	B.401	1 BED DDA	5 m ²
LEVEL 3	B.402	2 BED PLUS	7 m ²
LEVEL 3	B.403	3 BED	10 m ²
LEVEL 3	B.404	2 BED PLUS LHA	8 m ²
LEVEL 3	B.405	2 BED	5 m ²
LEVEL 3	B.406	1 BED LHA	4 m ²
LEVEL 3	C.401	2 BED LHA	4 m ²
LEVEL 3	C.402	2 BED	4 m ²
LEVEL 3	C.403	3 BED LHA	10 m ²
LEVEL 3	C.404	2 BED PLUS LHA	13 m ²
LEVEL 3	C.405	1 BED	3 m ²
LEVEL 3	D.401	3 BED	10 m ²
LEVEL 3	D.402	1 BED PLUS DDA	9 m ²
LEVEL 3	D.403	3 BED	13 m ²
LEVEL 3	D.404	1 BED DDA	3 m ²
LEVEL 3	D.405	1 BED DDA	3 m ²
LEVEL 3	D.406	2 BED	7 m ²
LEVEL 3	D.407	2 BED	5 m ²
LEVEL 3	D.408	1 BED	3 m ²
LEVEL 3	E.401	1 BED DDA	3 m ²
LEVEL 3	E.402	2 BED LHA	4 m ²
LEVEL 3	E.403	2 BED	5 m ²
LEVEL 3	E.404	1 BED PLUS	8 m ²
LEVEL 3	E.405	1 BED	3 m ²
LEVEL 3	E.406	2 BED	6 m ²
LEVEL 3	E.407	2 BED LHA	4 m ²
LEVEL 3	E.408	2 BED	4 m ²
LEVEL 3	E.409	2 BED	5 m ²
LEVEL 3	E.410	1 BED DDA	4 m ²
LEVEL 3	E.411	1 BED	3 m ²
LEVEL 3 UPPER	F.402	3 BED LHA	6 m ²
LEVEL 3 UPPER	F.403	1 BED	3 m ²
LEVEL 3 UPPER	F.404	1 BED	5 m ²
LEVEL 3 UPPER	F.406	2 BED	7 m ²
LEVEL 3 UPPER	F.407	2 BED PLUS LHA	6 m ²
LEVEL 3 UPPER	F.408	3 BED	5 m ²
LEVEL 4	A.501	1 BED	3 m ²
LEVEL 4	A.502	3 BED	6 m ²
LEVEL 4	A.503	2 BED PLUS	8 m ²
LEVEL 4	A.504	2 BED LHA	7 m ²
LEVEL 4	A.505	1 BED PLUS	3 m ²
LEVEL 4	A.506	2 BED	9 m ²
LEVEL 4	B.501	1 BED DDA	5 m ²
LEVEL 4	B.502	2 BED PLUS	7 m ²
LEVEL 4	B.503	3 BED	10 m ²
LEVEL 4	B.504	2 BED PLUS LHA	8 m ²
LEVEL 4	B.505	2 BED	5 m ²
LEVEL 4	B.506	1 BED LHA	4 m ²
LEVEL 4	C.501	2 BED LHA	4 m ²
LEVEL 4	C.502	2 BED	4 m ²
LEVEL 4	C.503	3 BED LHA	10 m ²
LEVEL 4	C.504	1 BED	3 m ²

RESIDENTIAL STORAGE WITHIN APARTMENT			
LEVEL	UNIT	UNIT TYPE	VOLUME
LEVEL 4	C.505	2 BED PLUS LHA	13 m ²
LEVEL 4	D.501	3 BED	10 m ²
LEVEL 4	D.502	1 BED	5 m ²
LEVEL 4	D.503	2 BED PLUS	14 m ²
LEVEL 4	D.504	1 BED DDA	3 m ²
LEVEL 4	D.505	1 BED DDA	3 m ²
LEVEL 4	D.506	2 BED	7 m ²
LEVEL 4	D.507	2 BED	5 m ²
LEVEL 4	D.508	1 BED	3 m ²
LEVEL 4	E.501	1 BED DDA	3 m ²
LEVEL 4	E.502	2 BED LHA	4 m ²
LEVEL 4	E.503	2 BED	5 m ²
LEVEL 4	E.504	1 BED PLUS	8 m ²
LEVEL 4	E.505	1 BED	3 m ²
LEVEL 4	E.506	2 BED	6 m ²
LEVEL 4	E.507	2 BED LHA	4 m ²
LEVEL 4	E.508	2 BED	4 m ²
LEVEL 4	E.509	2 BED	5 m ²
LEVEL 4	E.510	1 BED DDA	4 m ²
LEVEL 4	E.511	1 BED	3 m ²
LEVEL 4 UPPER	F.502	3 BED LHA	6 m ²
LEVEL 4 UPPER	F.503	1 BED	3 m ²
LEVEL 4 UPPER	F.504	1 BED	5 m ²
LEVEL 4 UPPER	F.506	2 BED	7 m ²
LEVEL 4 UPPER	F.507	2 BED PLUS LHA	6 m ²
LEVEL 5	A.604	3 BED	10 m ²
LEVEL 5	D.601	3 BED PLUS	10 m ²
LEVEL 5	D.602	3 BED	14 m ²
LEVEL 5	D.603	2 BED	4 m ²
LEVEL 5	D.604	2 BED	7 m ²
LEVEL 5	D.605	3 BED	7 m ²
LEVEL 5	E.601	3 BED	5 m ²
LEVEL 5	E.602	1 BED	3 m ²
LEVEL 5	E.603	2 BED	6 m ²
LEVEL 5	E.604	2 BED LHA	4 m ²
LEVEL 5	E.605	2 BED	4 m ²
LEVEL 5	E.606	2 BED	5 m ²
LEVEL 5	E.607	1 BED DDA	4 m ²
LEVEL 5	E.608	1 BED	3 m ²
LEVEL 5	E.609	1 BED DDA	3 m ²
LEVEL 5 UPPER	F.601	3 BED LHA	6 m ²
LEVEL 5 UPPER	F.602	1 BED	3 m ²
LEVEL 5 UPPER	F.603	2 BED	16 m ²
LEVEL 5 UPPER	F.605	2 BED PLUS LHA	6 m ²
LEVEL 5 UPPER	F.606	2 BED PLUS LHA	13 m ²
LEVEL 6 UPPER	F.701	3 BED LHA	6 m ²
LEVEL 6 UPPER	F.702	1 BED	3 m ²
LEVEL 6 UPPER	F.703	2 BED	16 m ²
LEVEL 6 UPPER	F.705	3 BED PLUS LHA	14 m ²
LEVEL 6 UPPER	F.706	3 BED LHA	13 m ²
LEVEL 7 UPPER	F.801	3 BED LHA	6 m ²
LEVEL 7 UPPER	F.802	1 BED	3 m ²
LEVEL 7 UPPER	F.803	2 BED	16 m ²
LEVEL 7 UPPER	F.805	3 BED PLUS LHA	14 m ²
LEVEL 7 UPPER	F.806	3 BED LHA	13 m ²

RESIDENTIAL STORAGE IN BASEMENTS +
GROUND CAR PARKS & STORAGE AREA

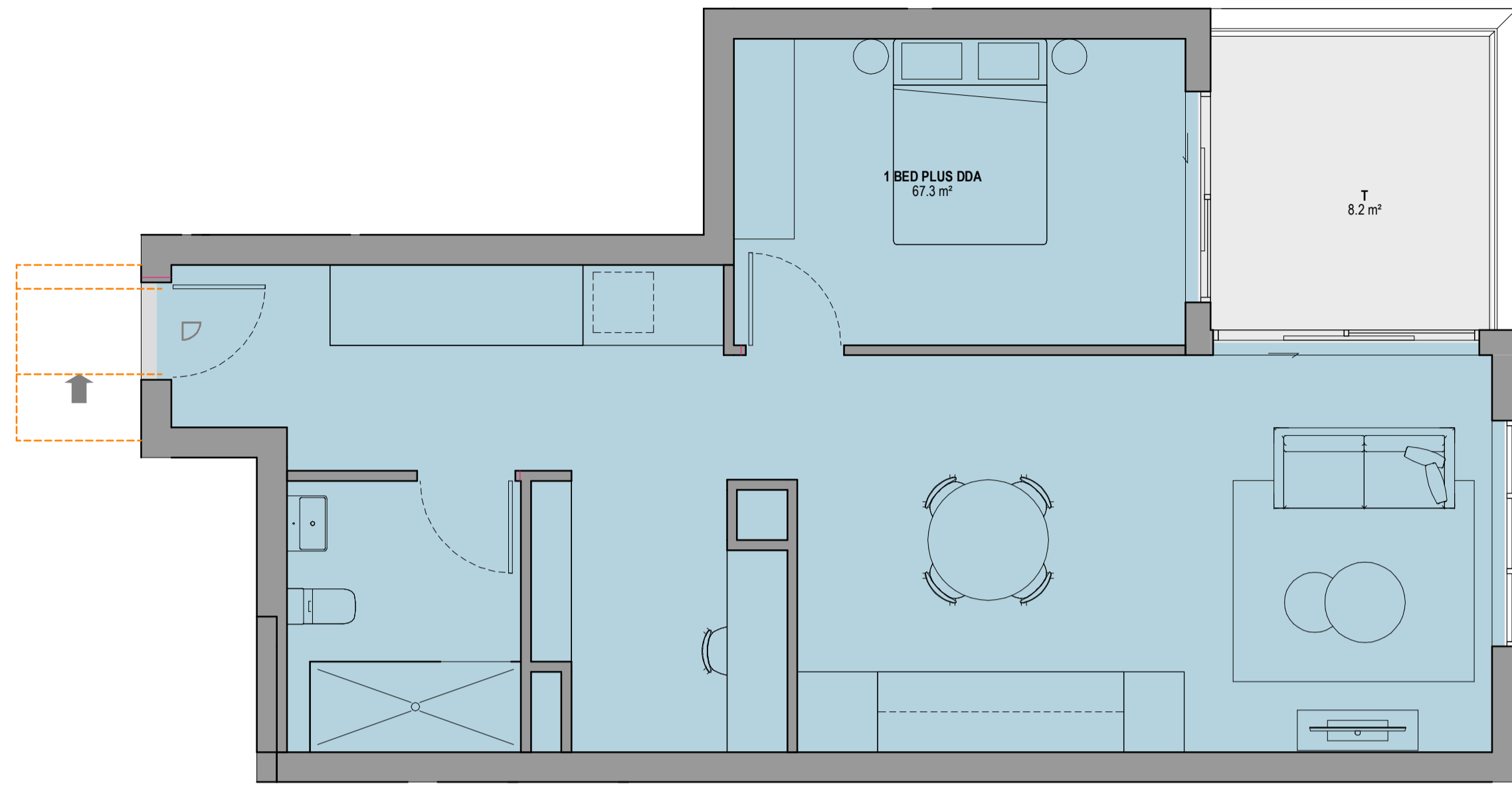
VOLUME	NO. OF STORAGE CAGES
	5
5	
157	157
157	
	104
104	

TOTAL STORAGE: 266
ALL BASEMENT STORAGE CAGES MINIMUM 4.5m² TO MEET MINIMUM ADG REQUIREMENTS

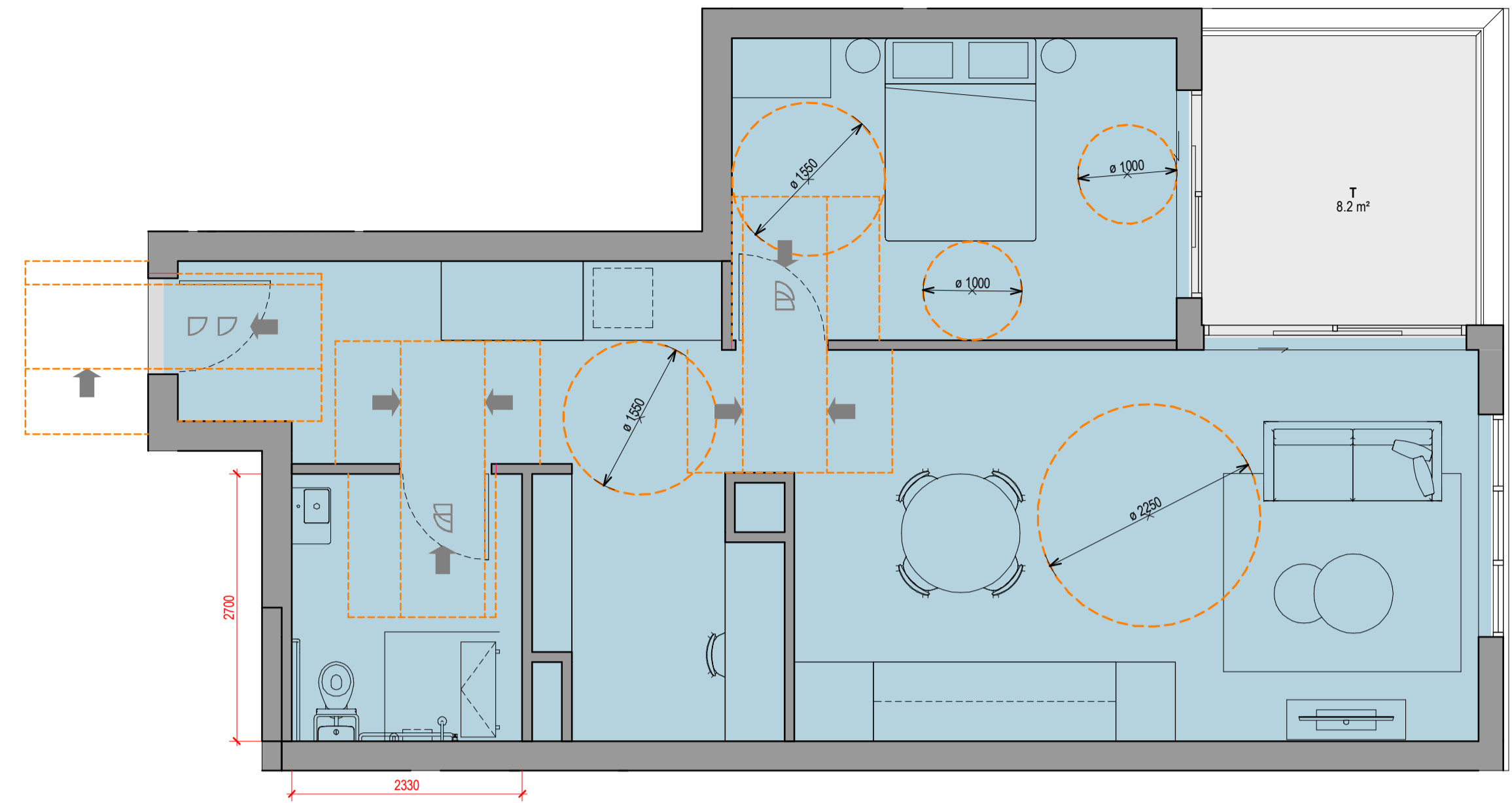
ADG REQUIREMENTS

UNIT TYPE	STORAGE SIZE VOLUME
1 BEDROOM UNIT	6m ²
2 BEDROOM UNIT	8m ²
3 BEDROOM UNIT	10m ²

At least 50% of the required storage is to be located in the apartment

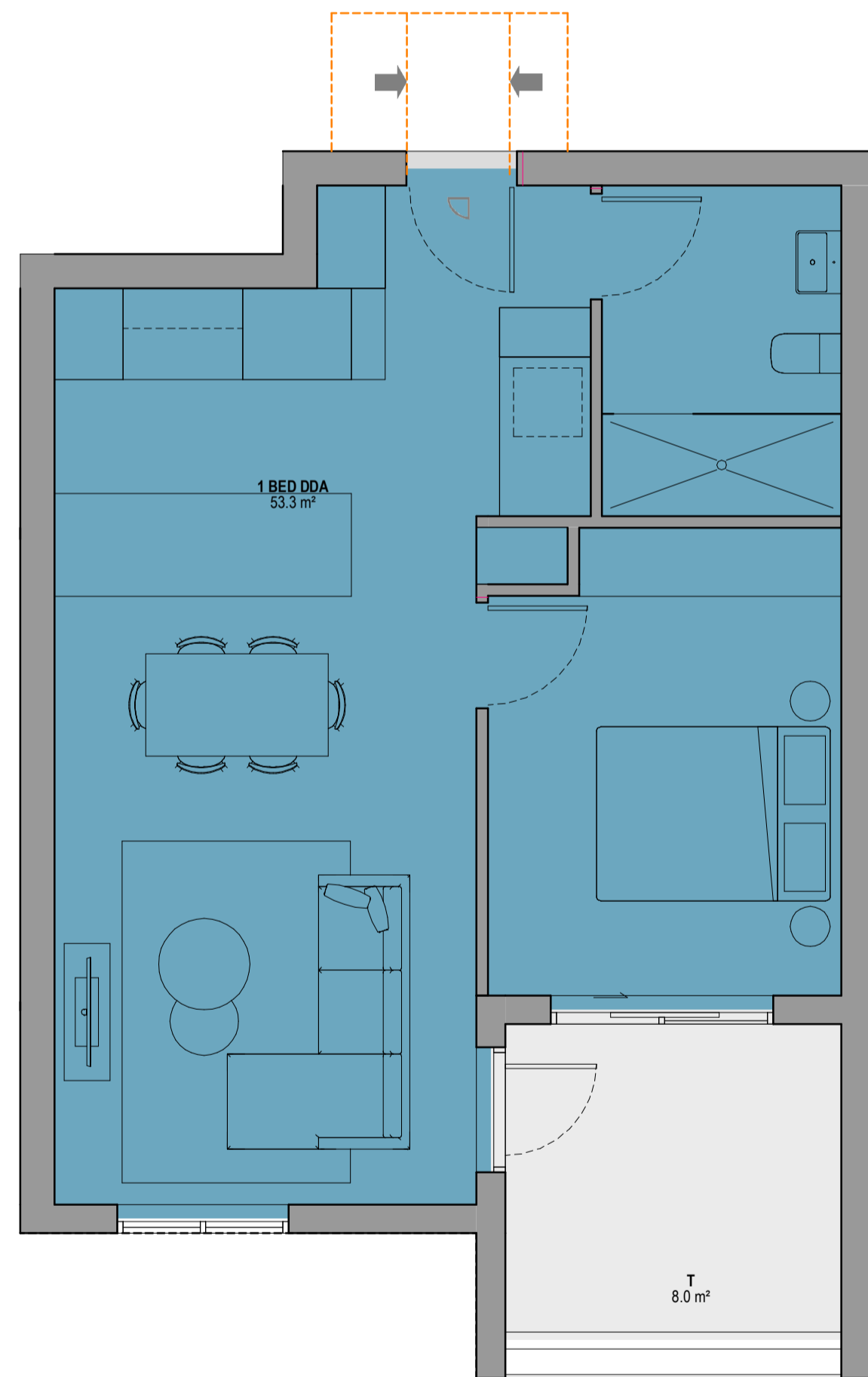


UNIT 1A - PRE

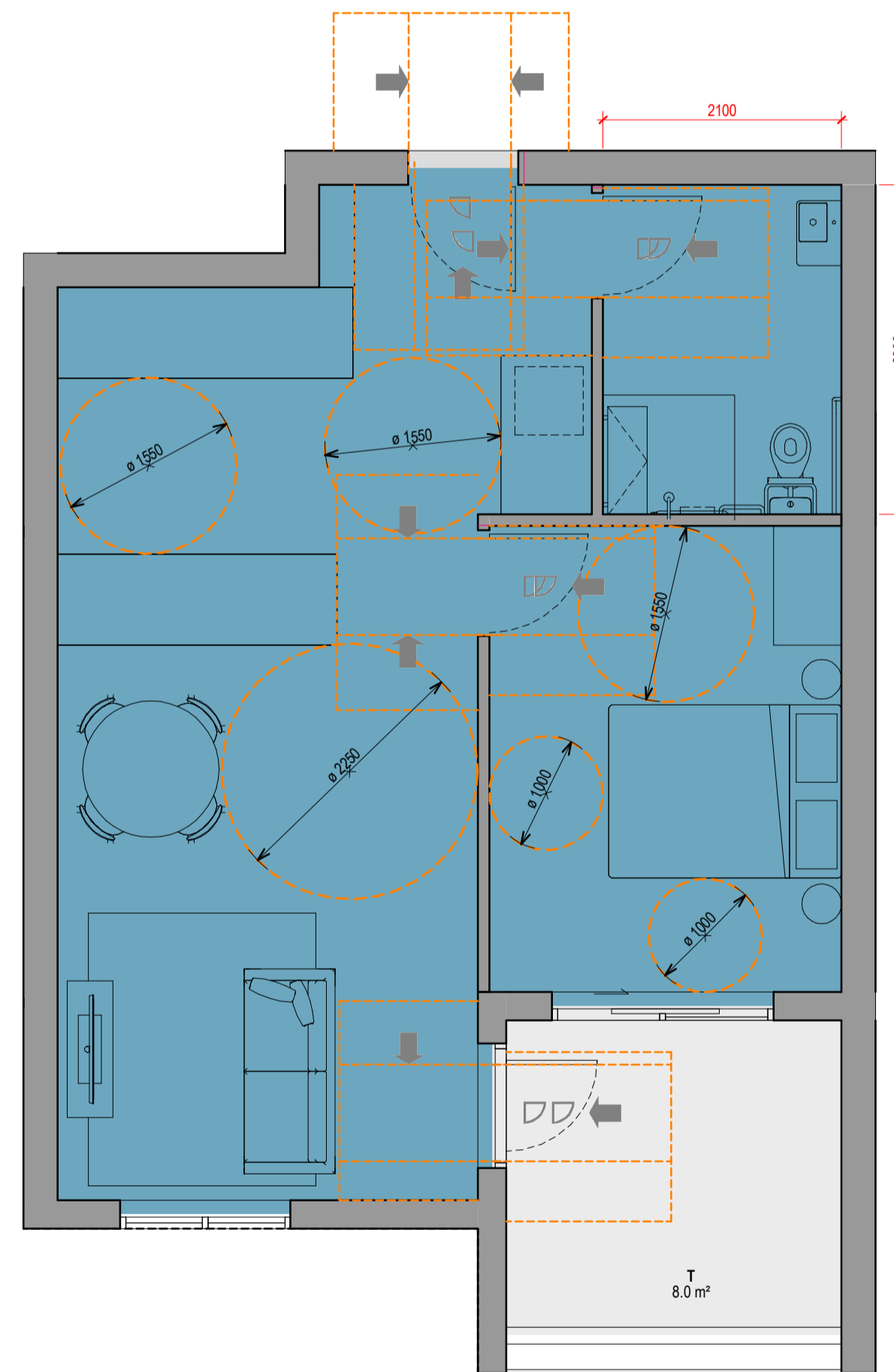


UNIT 1A - POST

UNIT NUMBERS
D202
D302
D402



UNIT 1E DDA - PRE



UNIT 1E DDA - POST

UNIT NUMBERS
D304
D305
D404
D405
D504
D505

Revisions	Date	Description	Author
A	14.12.2021	DEVELOPMENT APPLICATION	JC
B	11.11.2022	COUNCIL SUBMISSION	JC
C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**

Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **ADAPTABLE PLANS**

Project No / **221054**

Date / **07.12.2022** Author / **JC**

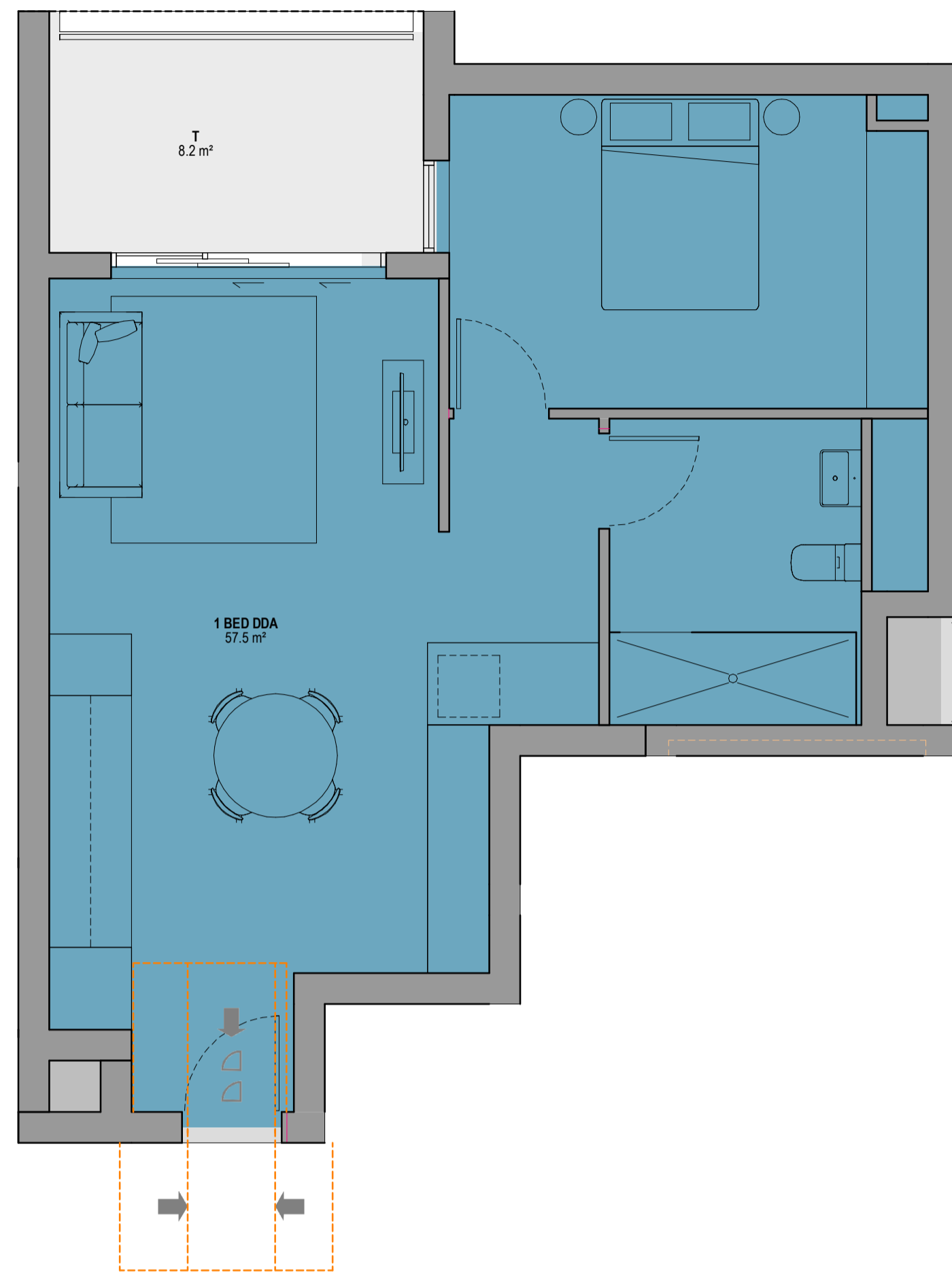
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Drawing No. / **TP06.31 C**

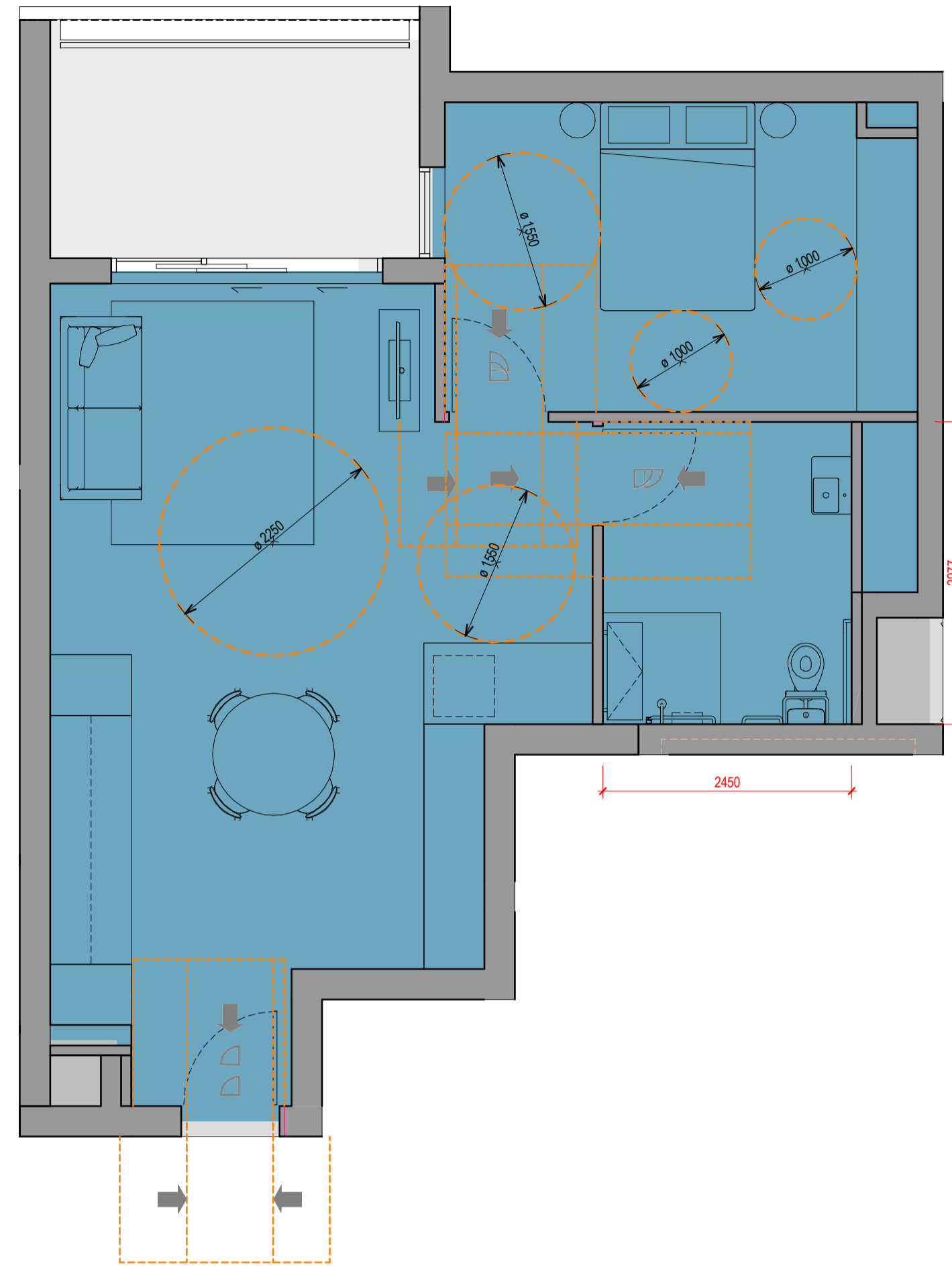
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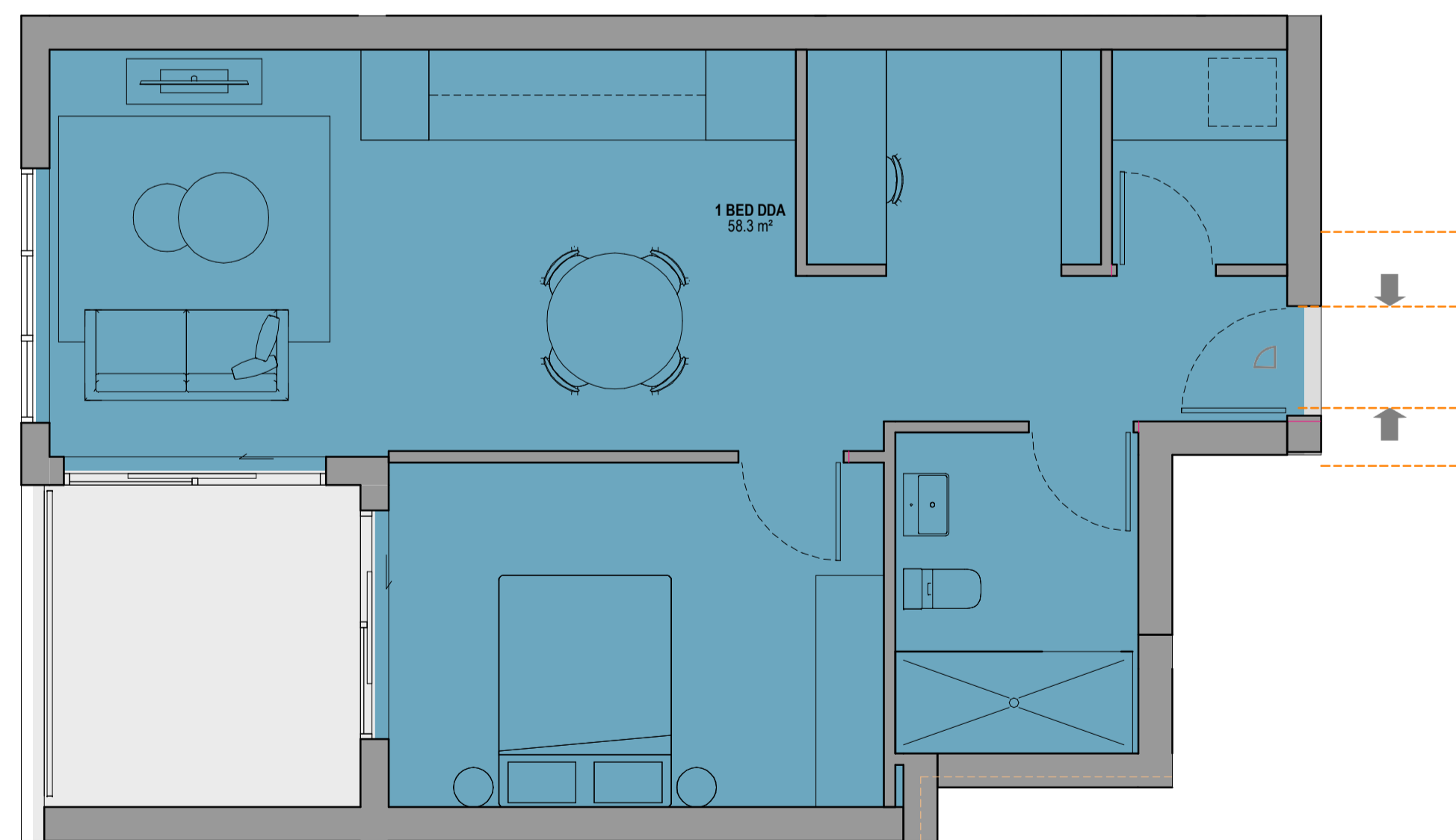


UNIT 1G DDA PRE

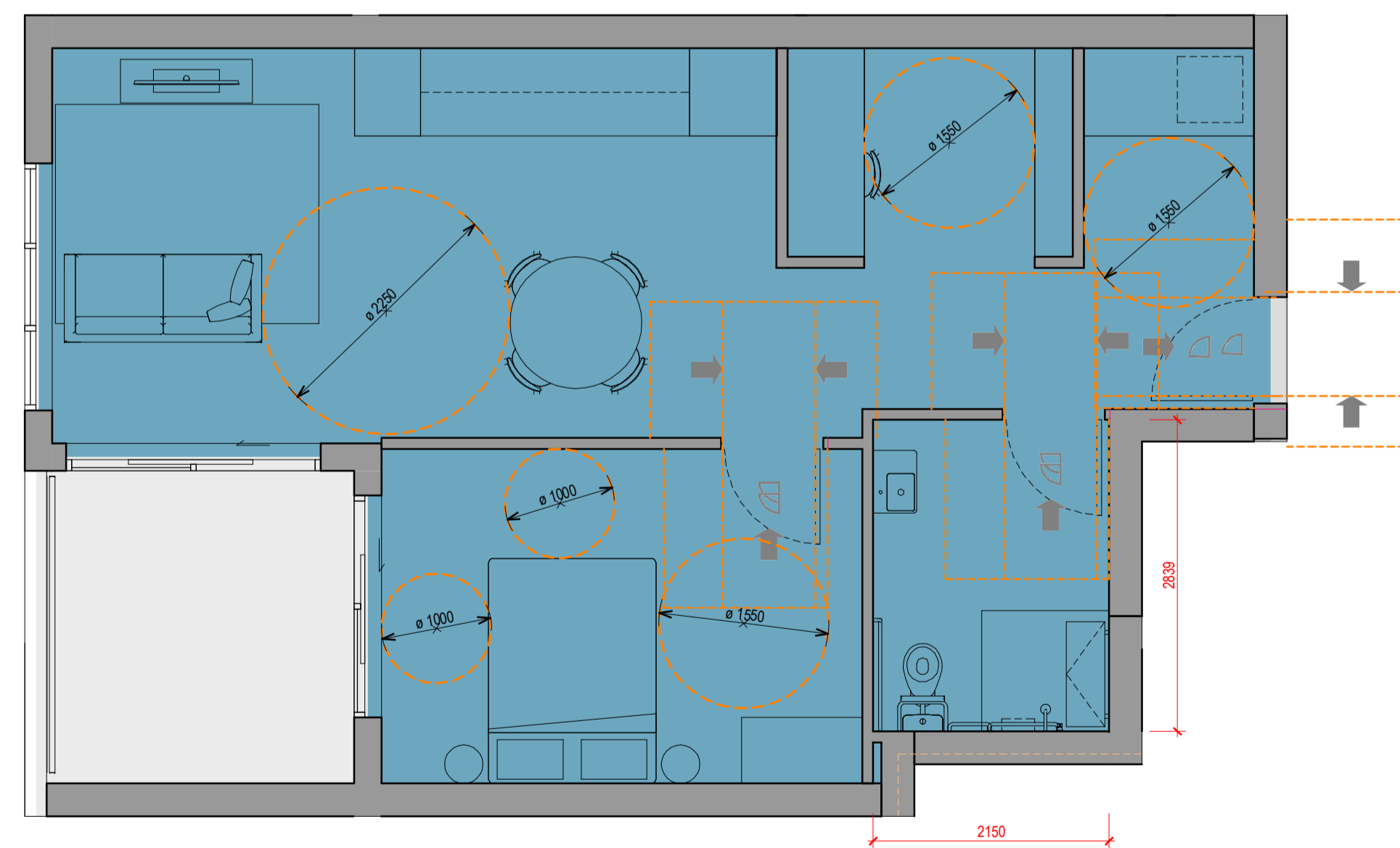


UNIT 1G DDA POST

UNIT NUMBERS
E301
E401
E501
E609



UNIT 1B DDA PRE



UNIT 1B DDA POST

UNIT NUMBERS
B201
B301
B401
B501

Revisions	Date	Description	Author
A	14.12.2021	DEVELOPMENT APPLICATION	JC
B	11.11.2022	COUNCIL SUBMISSION	JC
C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**

Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **ADAPTABLE PLANS**

Project No / **221054** Date / **07.12.2022** Author / **JC**

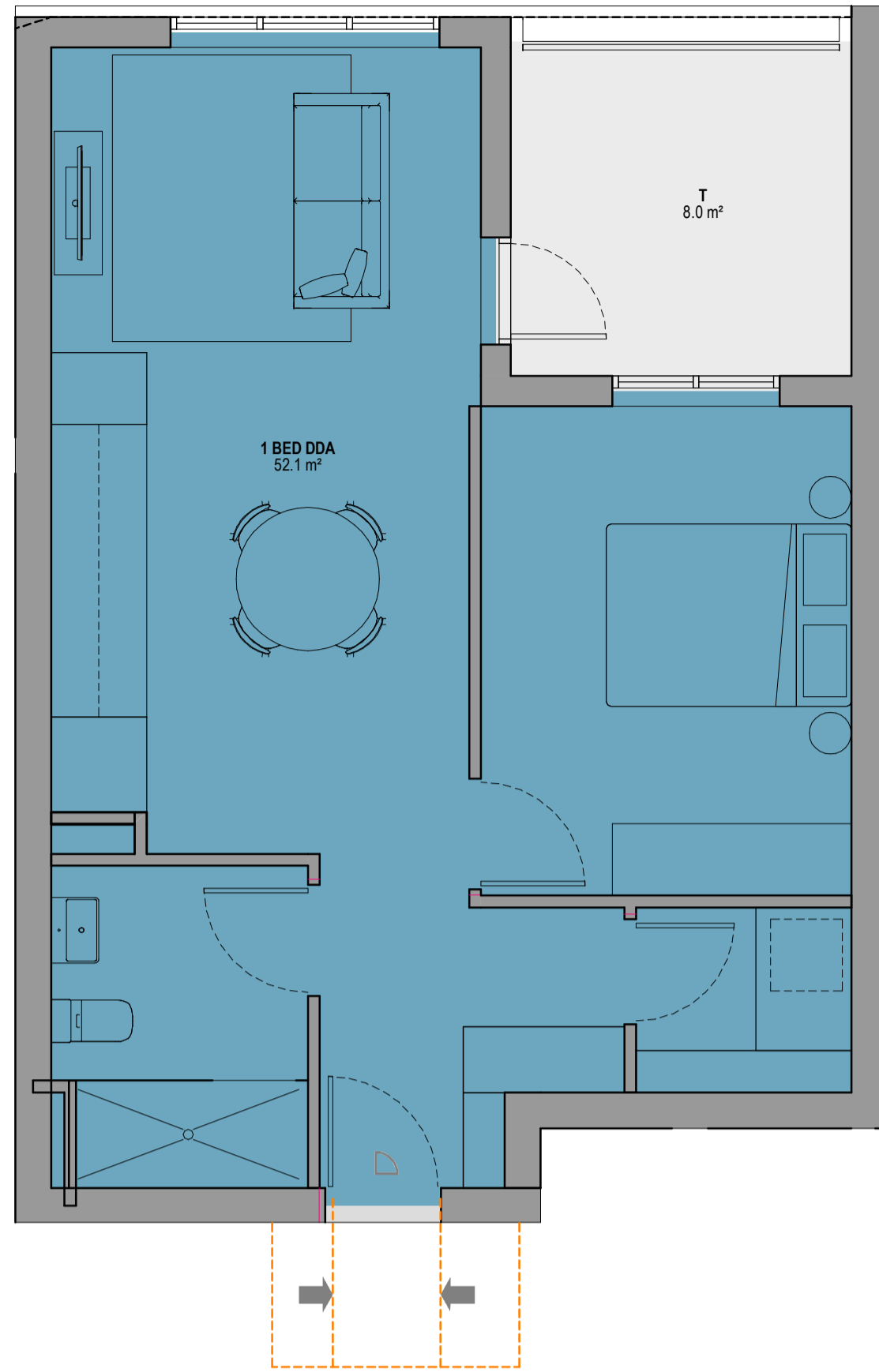
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Drawing No. / **TP06.32 C**

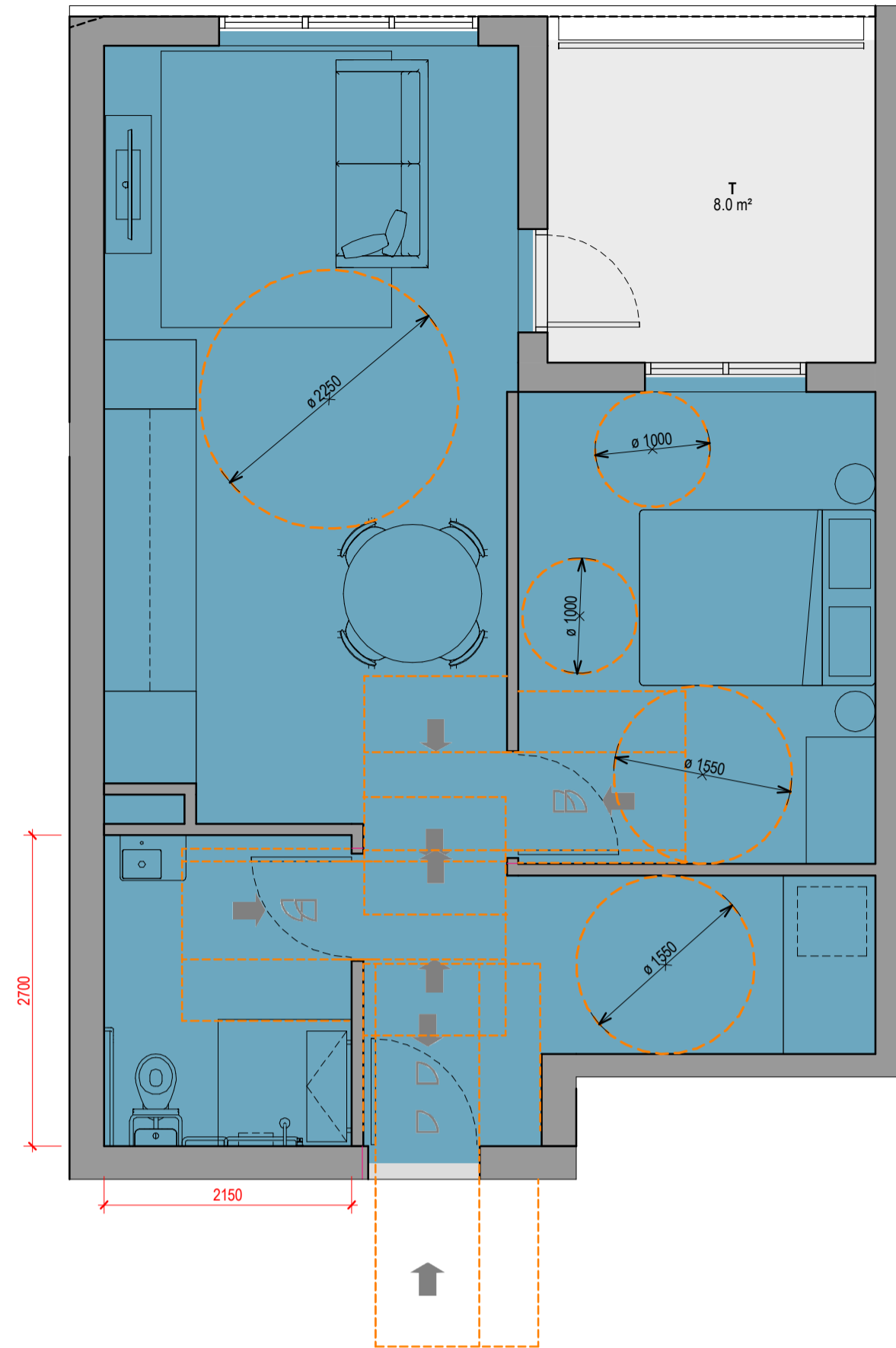
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UNIT 11 DDA PRE



UNIT 11 DDA POST

UNIT NUMBERS
E105
E210
E310
E410
E510
E607

ADAPTABLE UNITS

NUMBER	TYPE	TOTAL UNITS	BUILDING
B.201	1 BED DDA	1	BLD A
B.301	1 BED DDA	1	BLD A
B.401	1 BED DDA	1	BLD A
B.501	1 BED DDA	1	BLD A
D.202	1 BED PLUS DDA	1	BLD A
D.302	1 BED PLUS DDA	1	BLD A
D.304	1 BED DDA	1	BLD A
D.305	1 BED DDA	1	BLD A
D.402	1 BED PLUS DDA	1	BLD A
D.404	1 BED DDA	1	BLD A
D.405	1 BED DDA	1	BLD A
D.504	1 BED DDA	1	BLD A
D.505	1 BED DDA	1	BLD A
E.105	1 BED DDA	1	BLD B
E.210	1 BED DDA	1	BLD B
E.301	1 BED DDA	1	BLD B
E.302	2 BED LHA	1	BLD B
E.310	1 BED DDA	1	BLD B
E.401	1 BED DDA	1	BLD B
E.410	1 BED DDA	1	BLD B
E.501	1 BED DDA	1	BLD B
E.510	1 BED DDA	1	BLD B
E.607	1 BED DDA	1	BLD B
E.609	1 BED DDA	1	BLD B
		24	

LHA SILVER LEVEL COMPLIANT UNITS

NUMBER	TYPE	TOTAL UNITS	BUILDING
C.103	2 BED PLUS LHA	1	BLD A
A.204	2 BED LHA	1	BLD A
B.204	2 BED PLUS LHA	1	BLD A
B.206	1 BED LHA	1	BLD A
C.201	2 BED LHA	1	BLD A
C.203	3 BED LHA	1	BLD A
C.204	2 BED PLUS LHA	1	BLD A
D.204	1 BED LHA	1	BLD A
D.205	1 BED LHA	1	BLD A
E.207	1 BED PLUS LHA	1	BLD B
A.306	2 BED LHA	1	BLD A
B.304	2 BED PLUS LHA	1	BLD A
B.306	1 BED LHA	1	BLD A
C.301	2 BED LHA	1	BLD A
C.303	3 BED LHA	1	BLD A
C.304	2 BED PLUS LHA	1	BLD A
E.302	2 BED LHA	1	BLD B
E.307	2 BED LHA	1	BLD B
F.307	2 BED PLUS LHA	1	BLD B
F.308	3 BED	1	BLD B
A.406	2 BED LHA	1	BLD A
B.404	2 BED PLUS LHA	1	BLD A
B.406	1 BED LHA	1	BLD A
C.401	2 BED LHA	1	BLD A
C.403	3 BED LHA	1	BLD A
C.404	2 BED PLUS LHA	1	BLD A
E.402	2 BED LHA	1	BLD B
E.407	2 BED LHA	1	BLD B
F.407	2 BED PLUS LHA	1	BLD B
F.408	3 BED	1	BLD B
A.504	2 BED LHA	1	BLD A
B.504	2 BED PLUS LHA	1	BLD A
B.506	1 BED LHA	1	BLD A
C.501	2 BED LHA	1	BLD A
C.503	3 BED LHA	1	BLD A
D.502	1 BED	1	BLD A
E.502	2 BED LHA	1	BLD B
E.507	2 BED LHA	1	BLD B
F.507	2 BED PLUS LHA	1	BLD B
F.508	3 BED	1	BLD B
E.604	2 BED LHA	1	BLD B
F.605	2 BED PLUS LHA	1	BLD B
F.705	3 BED PLUS LHA	1	BLD B
F.706	3 BED LHA	1	BLD B
F.805	3 BED PLUS LHA	1	BLD B
F.806	3 BED LHA	1	BLD B
		46	

Revisions	A	14.12.2021	DEVELOPMENT APPLICATION	JC
	B	11.11.2022	COUNCIL SUBMISSION	JC
	C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**

Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **ADAPTABLE PLANS & LHA SCHEDULE**

Project No. / **221054**

Date / **07.12.2022**

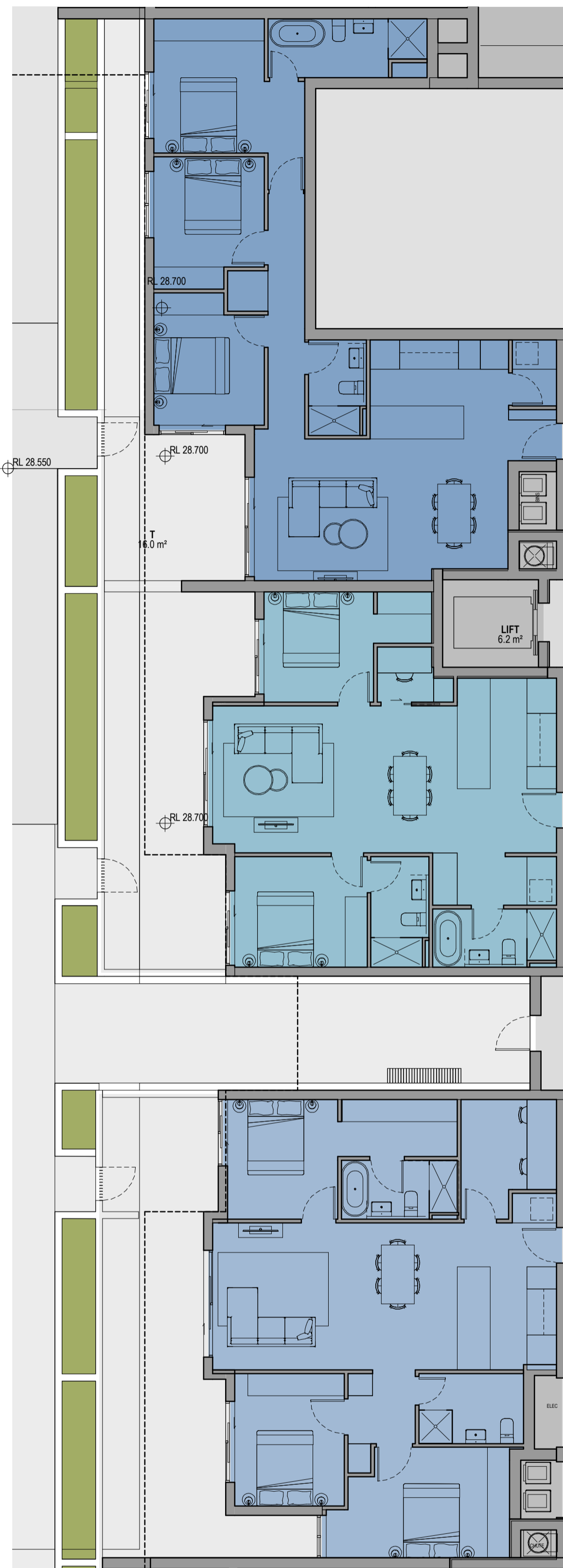
Author / **JC**

Scale: @ A1 / **1 : 50**

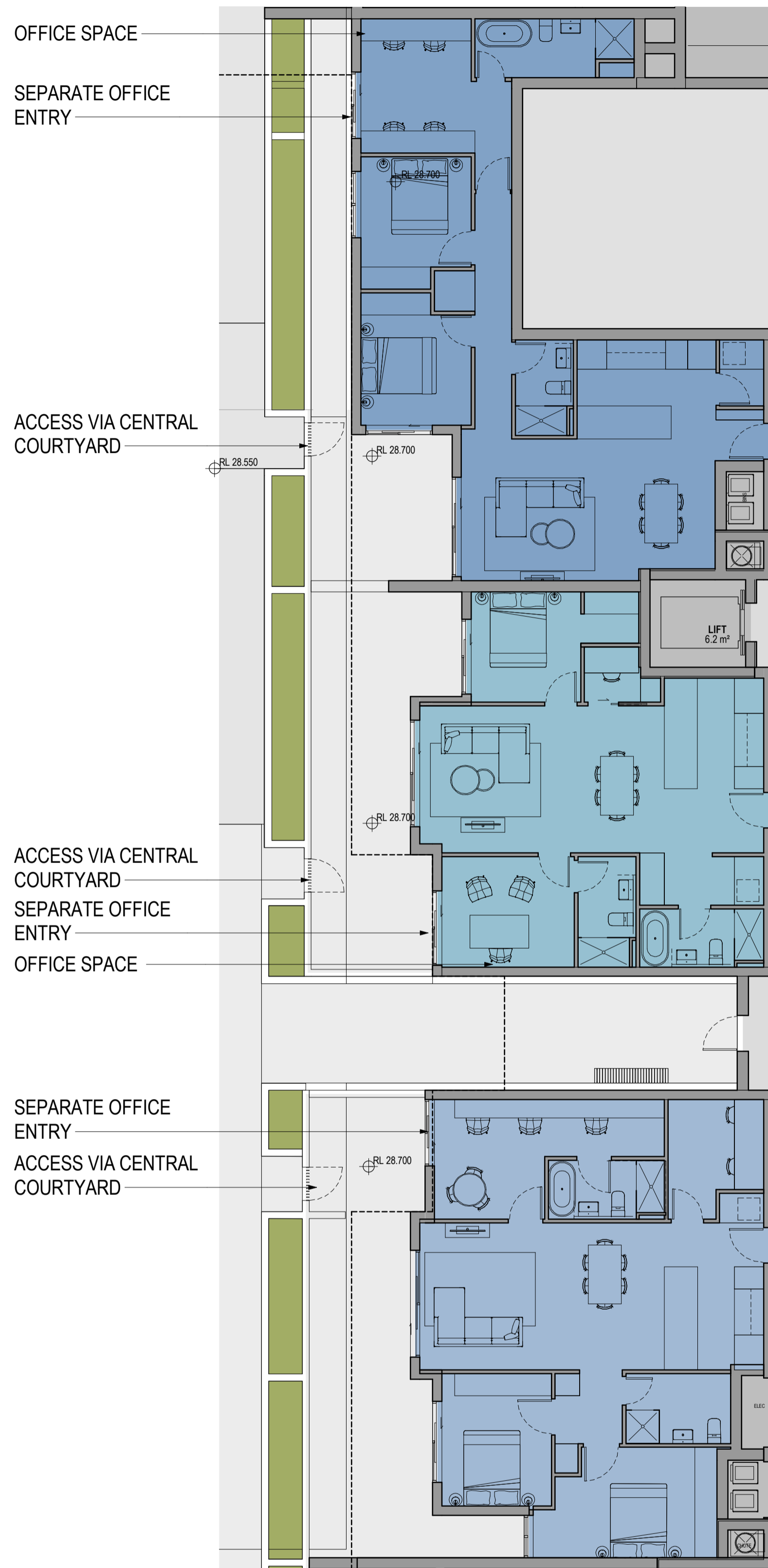
Drawing No. / **TP06.33 C**

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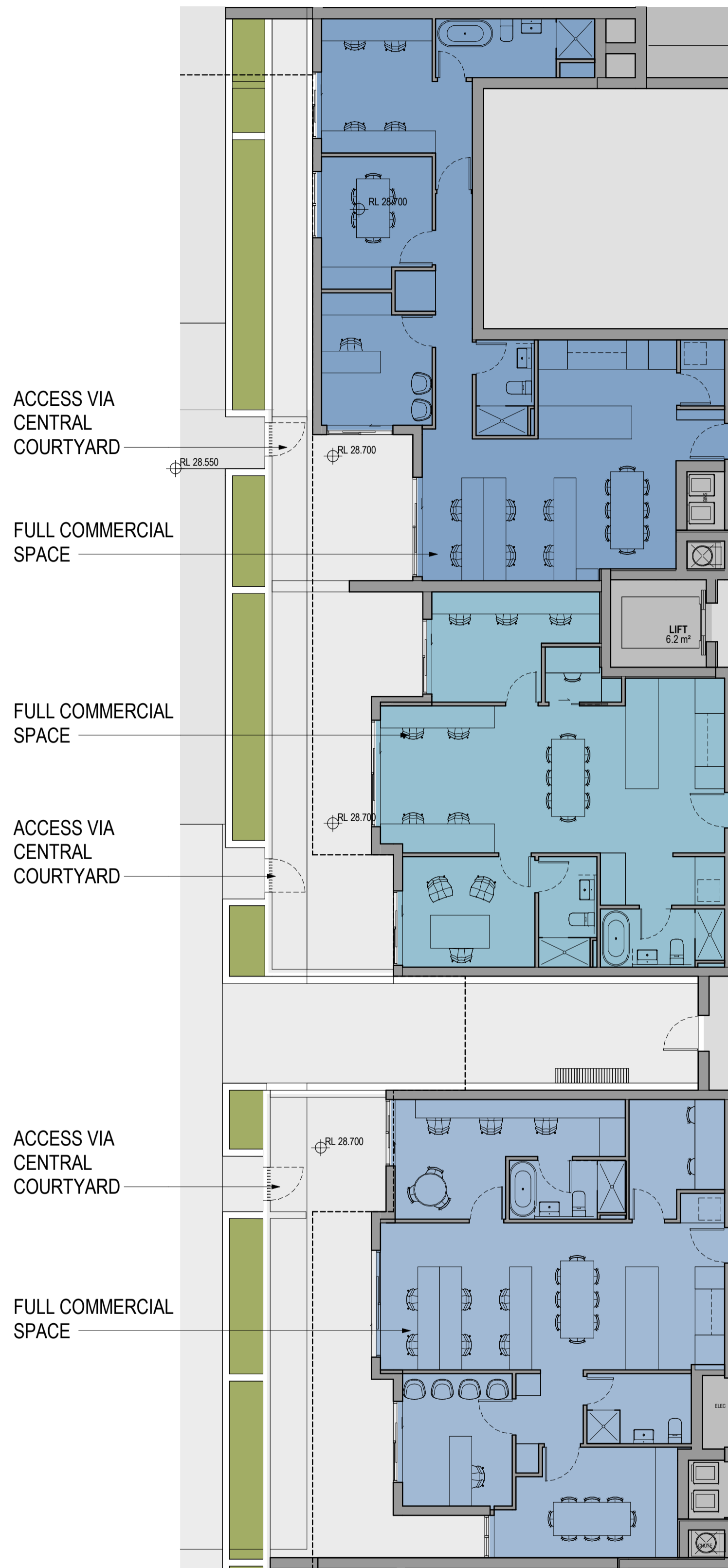
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GROUND Residential



GROUND Part Commercial



GROUND Full Commercial



Pittwater Road Western Perspective



Pittwater Road Southern Perspective

Revisions / A 11.11.2022 COUNCIL SUBMISSION
 B 07.12.2022 COUNCIL SUBMISSION

JC
 JC

Client / **Dee Why 3 Pty Ltd &
 Dee Why 4 Pty Ltd**

Project / **4 Delmar Pde & 812
 Pittwater Rd, Dee Why**

Drawing / **PERSPECTIVES**

Project No. / **221054** Date / **07.12.2022** Author / **BR**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP07.01 B**

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Stony Range Western Perspective



Stony Range Eastern Perspective

Revisions /
 A 11.11.2022 COUNCIL SUBMISSION
 B 07.12.2022 COUNCIL SUBMISSION

JC
 JC

Client /
**Dee Why 3 Pty Ltd &
 Dee Why 4 Pty Ltd**

Project /
**4 Delmar Pde & 812
 Pittwater Rd, Dee Why**

Drawing /
PERSPECTIVES

Project No. / **221054** Date / **07.12.2022** Author / **BR**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP07.02 B**

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Delmar Parade Perspective



Eastern Perspective

Revisions / A 11.11.2022 COUNCIL SUBMISSION
 B 07.12.2022 COUNCIL SUBMISSION

JC
 JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd**

Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **PERSPECTIVES**

Project No. / **221054** Date / **07.12.2022** Author / **BR**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP07.03 B**

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BUILDING A - DELMAR PDE

LEVEL	RESIDENTIAL	RESIDENTIAL AMENITIES	PARKING	COMMERCIAL	CIRCULATION/SERVICES	TERRACE	APARTMENTS						
							No. 1 BEDS	No. 1 BEDS PLUS	No. 2 BEDS	No. 2 BEDS PLUS	No. 3 BEDS	No. 3 BEDS PLUS	TOTAL UNITS
BASEMENT 2	0.0 m ²	0.0 m ²	5390.4 m ²	0.0 m ²	55.9 m ²	0.0 m ²	0	0	0	0	0	0	0
BASEMENT 1	0.0 m ²	0.0 m ²	4861.9 m ²	0.0 m ²	92.3 m ²	0.0 m ²	0	0	0	0	0	0	0
GROUND	1075.0 m ²	89.8 m ²	122.2 m ²	381.4 m ²	354.6 m ²	348.1 m ²	3	2	2	1	2	3	13
LEVEL 1	1891.1 m ²	0.0 m ²	0.0 m ²	0.0 m ²	220.9 m ²	288.4 m ²	10	3	5	2	5	0	25
LEVEL 2	2031.4 m ²	0.0 m ²	0.0 m ²	0.0 m ²	226.8 m ²	297.8 m ²	11	1	7	4	4	0	27
LEVEL 3	2031.4 m ²	0.0 m ²	0.0 m ²	0.0 m ²	226.8 m ²	297.8 m ²	11	1	7	4	4	0	27
LEVEL 4	1930.7 m ²	0.0 m ²	0.0 m ²	0.0 m ²	215.9 m ²	365.7 m ²	8	1	7	5	4	0	25
LEVEL 5	484.5 m ²	0.0 m ²	0.0 m ²	0.0 m ²	73.8 m ²	102.3 m ²	0	0	2	0	2	1	5
	9444.2 m ²	89.8 m ²	10374.5 m ²	381.4 m ²	1466.8 m ²	1700.1 m ²	43	8	30	16	21	4	122
							35.2%	6.6%	24.6%	13.1%	17.2%	3.3%	100%

GFA - BLD A	
LEVEL	AREA
GROUND	1724.0 m ²
LEVEL 1	2080.4 m ²
LEVEL 2	2231.0 m ²
LEVEL 3	2230.8 m ²
LEVEL 4	2119.1 m ²
LEVEL 5	532.8 m ²
10918.2 m ² (INCLUDING COMMERCIAL)	

BUILDING B - PITTWATER RD

LEVEL	RESIDENTIAL	RESIDENTIAL AMENITIES	PARKING	COMMERCIAL	CIRCULATION/SERVICES	TERRACE	APARTMENTS						
							No. 1 BEDS	No. 1 BEDS PLUS	No. 2 BEDS	No. 2 BEDS PLUS	No. 3 BEDS	No. 3 BEDS PLUS	TOTAL UNITS
GROUND	552.6 m ²	0.0 m ²	0.0 m ²	0.0 m ²	494.2 m ²	167.0 m ²	4	1	1	1	0	1	8
GROUND UPPER	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	14.0 m ²	0.0 m ²	0	0	0	0	0	0	0
LEVEL 1	818.4 m ²	0.0 m ²	0.0 m ²	0.0 m ²	253.5 m ²	165.6 m ²	4	2	6	0	0	0	12
LEVEL 1 UPPER	106.8 m ²	0.0 m ²	0.0 m ²	438.5 m ²	53.1 m ²	20.5 m ²	2	0	0	0	0	0	2
LEVEL 2	741.7 m ²	0.0 m ²	0.0 m ²	0.0 m ²	90.4 m ²	118.4 m ²	4	1	6	0	0	0	11
LEVEL 2 UPPER	483.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	56.5 m ²	73.3 m ²	2	0	1	1	2	0	6
LEVEL 3	741.8 m ²	0.0 m ²	0.0 m ²	0.0 m ²	91.6 m ²	118.4 m ²	4	1	6	0	0	0	11
LEVEL 3 UPPER	482.9 m ²	0.0 m ²	0.0 m ²	0.0 m ²	55.4 m ²	73.3 m ²	2	0	1	1	2	0	6
LEVEL 4	741.8 m ²	0.0 m ²	0.0 m ²	0.0 m ²	90.4 m ²	118.4 m ²	4	1	6	0	0	0	11
LEVEL 4 UPPER	482.8 m ²	0.0 m ²	0.0 m ²	0.0 m ²	55.7 m ²	72.9 m ²	2	0	1	1	2	0	6
LEVEL 5	622.8 m ²	0.0 m ²	0.0 m ²	0.0 m ²	70.1 m ²	118.9 m ²	4	0	4	0	1	0	9
LEVEL 5 UPPER	431.5 m ²	0.0 m ²	0.0 m ²	0.0 m ²	52.2 m ²	110.6 m ²	1	0	1	2	1	0	5
LEVEL 6 UPPER	489.5 m ²	0.0 m ²	0.0 m ²	0.0 m ²	53.9 m ²	88.7 m ²	1	0	1	0	2	1	5
LEVEL 7 UPPER	489.9 m ²	0.0 m ²	0.0 m ²	0.0 m ²	53.9 m ²	89.1 m ²	1	0	1	0	2	1	5
	7185.5 m ²	0.0 m ²	0.0 m ²	438.5 m ²	1485.0 m ²	1335.2 m ²	35	6	35	6	12	3	97
							36.1%	6.2%	36.1%	6.2%	12.4%	3.1%	100%

GFA - BLD B	
LEVEL	AREA
GROUND	650.4 m ²
LEVEL 1	1514.9 m ²
LEVEL 2	1377.6 m ²
LEVEL 3	1371.0 m ²
LEVEL 4	1375.6 m ²
LEVEL 5	1151.8 m ²
LEVEL 6	529.1 m ²
LEVEL 7	529.1 m ²
8499.3 m ² (INCLUDING COMMERCIAL)	

BUILDING A & B SUMMARY

RESIDENTIAL	RESIDENTIAL AMENITIES	PARKING	COMMERCIAL	CIRCULATION/SERVICES	TERRACE	APARTMENTS						
						No. 1 BEDS	No. 1 BEDS PLUS	No. 2 BEDS	No. 2 BEDS PLUS	No. 3 BEDS	No. 3 BEDS PLUS	TOTAL UNITS
16629.7 m ²	89.8 m ²	10374.5 m ²	819.9 m ²	3532.0 m ²	3035.3 m ²	78	14	65	22	33	7	219
						35.6%	6.4%	29.7%	10.0%	15.1%	3.2%	100%

GFA
AREA
19417.5 m ²
19417.5 m ²
MAX ALLOWABLE GFA = 19497m ²

BASEMENT CARPARKS

Level	CARPARKS			
	Residential	Visitor	Commercial	Total
BASEMENT 2	181	0	0	181
BASEMENT 1	78	47	28	153
GROUND	0	0	0	0
	259	47	28	334

ACCESSIBLE PARKING SPACES: 23

Level	Visitor Bicycle Parks
BASEMENT 2	8
BASEMENT 1	8
GROUND	2

TOTAL TANDEMS: 11
SMALL CARS: 2

*For preliminary feasibility purposes. Areas are not to be used for purpose of lease or sale agreements. Layouts may not comply with building regulations or other regulatory requirements. The information contained in this schedule is believed to be correct at the time of printing. Areas are generally measured in accordance with the Property Council of Australia Method of Measurement.

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AMENDED WARRINGAH DCP 2011

Parking rates within the Dee Why Town Centre

Multi-dwelling housing, Residential flat buildings, Serviced apartments, Shop-top housing:

- 0.6 spaces per 1 bedroom dwelling
- 0.9 spaces per 2 bedroom dwelling
- 1.4 spaces per 3 bedroom dwelling
- 1 visitor space per 5 units or part of dwellings
- 1 car share space per 25 dwellings (for properties with more than 25 dwellings) each with car share space replacing (1) regular car parking space.

Business Premises:

- 1 space per 40m² GFA excluding customer service/access areas
- for customer service/access areas 1 space per 16.4m² GFA

Office Premises:

- 1 space per 40m² GFA

Shop (includes retail/business component of shop top housing, retail premises and neighbourhood shop):

- 1 space per 23.8m² GLFA (4.2 spaces per 100m² GLFA)

Revisions			
A	14.12.2021	DEVELOPMENT APPLICATION	JC
B	11.11.2022	COUNCIL SUBMISSION	JC
C	07.12.2022	COUNCIL SUBMISSION	JC

Client / **Dee Why 3 Pty Ltd & Dee Why 4 Pty Ltd** Project / **4 Delmar Pde & 812 Pittwater Rd, Dee Why**

Drawing / **DEVELOPMENT SUMMARY**

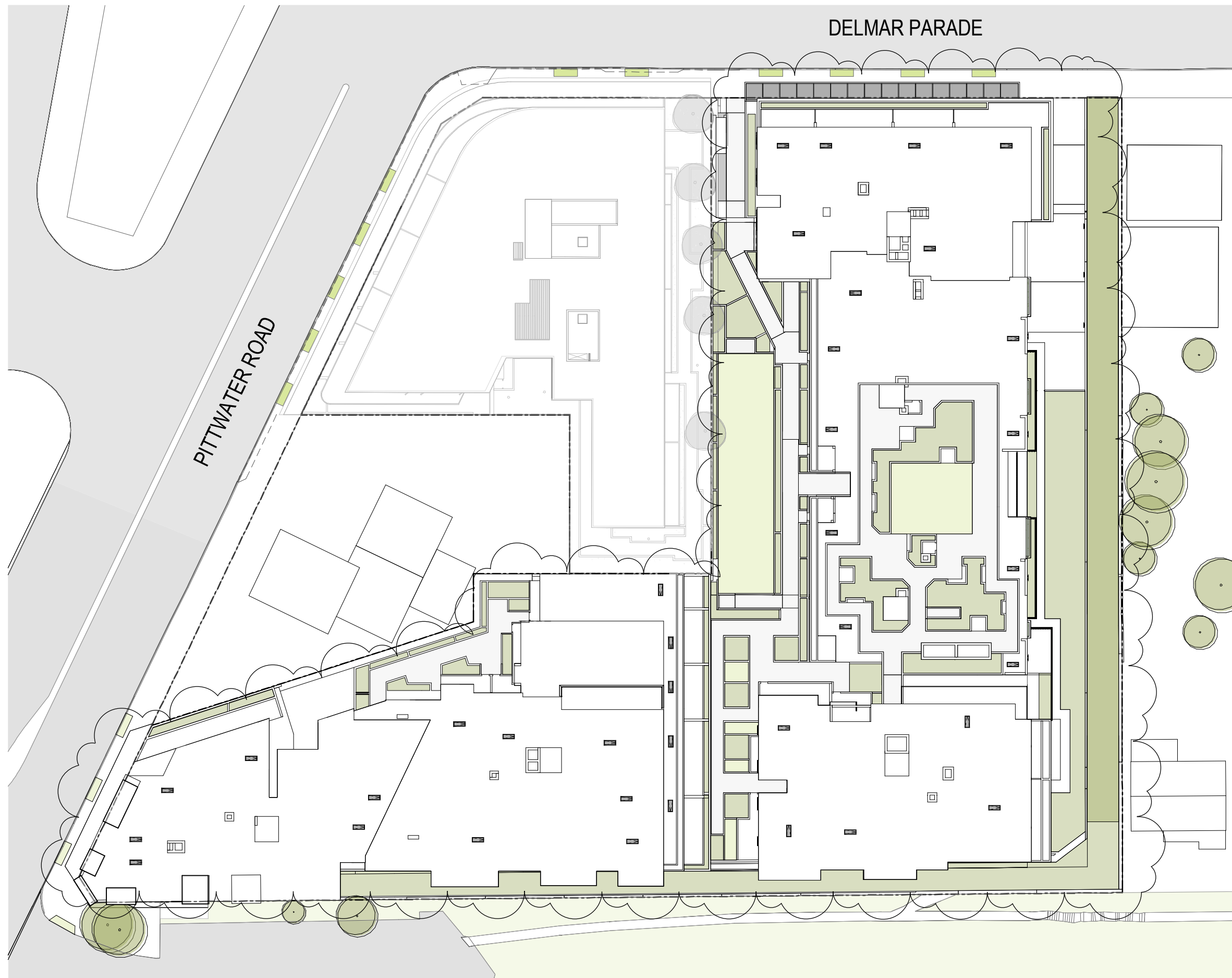
Project No / **221054** Date / **07.12.2022** Author / **JC**

Scale: @ A1

Drawing No. / **TP10.01 C**

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DELMAR PARADE

PITTWATER ROAD

Revisions /
 A 14.12.2021 DEVELOPMENT APPLICATION JC
 B 07.12.2022 COUNCIL SUBMISSION JC

Project /
**4 Delmar Pde & 812
 Pittwater Rd, Dee Why**

Drawing /
**NOTIFICATION - SITE
 PLAN**

Project No / **221054** Date / **07.12.2022** Author / **JC**

Scale: @ A3 / **1 : 500**

Drawing No. / **TP12.01 B**

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NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

Revisions /
 A 14.12.2021 DEVELOPMENT APPLICATION JC
 B 07.12.2022 COUNCIL SUBMISSION JC

Project /
**4 Delmar Pde & 812
 Pittwater Rd, Dee Why**

Drawing /
**NOTIFICATION -
 ELEVATIONS**

Project No / **221054** Date / **07.12.2022** Author / **JC**

Scale: @ A3 / **1 : 400**

Drawing No. / **TP12.02 B**

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SOUTH WEST ELEVATION



SOUTH ELEVATION

Revisions /
 A 14.12.2021 DEVELOPMENT APPLICATION JC
 B 07.12.2022 COUNCIL SUBMISSION JC

Project /
**4 Delmar Pde & 812
 Pittwater Rd, Dee Why**

Drawing /
**NOTIFICATION -
 ELEVATIONS**

Project No / **221054** Date / **07.12.2022** Author / **JC**

Scale: @ A3 / **1 : 400**

Drawing No. / **TP12.03 B**

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