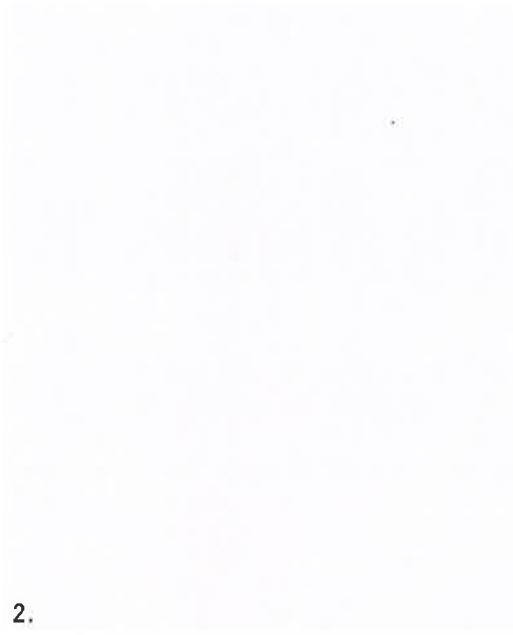


EXTERNAL MATERIALS

- 1. White paint to existing timber soffits (able to be reinstated to original finish in future)
- 2. Light paint colour to existing brick (able to be reinstated to original finish in future)
- 3. Travertine exterior floor tiles to replace existing damaged tiles
- 4. Existing timber shingled roof
- 5. White sandstone terraces walls
- 6. New low-e glazing to all windows including existing + refurbish existing bronze frames
- 7. Retain and relocate existing ceramic artwork
- 8. Retain and refurbish existing copper door

1.



2.



3.



4.



5.



6.



7.



8.

DRAWING REGISTER

DRAWING NUMBER	DRAWING TITLE	DRAWING SCALE	PAGE SIZE
LS4_S5-01	DRAWING REGISTER, PROJECT NOTES AND PLANT SCHEDULE	NO SCALE	A2
LS4_S5-02	SITE PLAN	1:200	A2
LS4_S5-03	LANDSCAPE PLAN - REAR GARDEN	1:100	A2
LS4_S5-04	SCHEMATIC PLANTING DETAILS	1:20	A2

PLANT SCHEDULE - REAR GARDEN					
LATIN NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	QUANTITY
APTENIA CORDIFOLIA	BABY SUN ROSE	GROUND COVER	GROUND COVER	140MM	62
CARISSA MACROCARPA 'DESERT STAR'	NATAL PLUM	0.5 - 1M	1M	200MM	76
CISSUS ANTARCTICA	KANGAROO VINE	GROUND COVER	GROUND COVER	140MM	320
CORYMBIA MACULATA	SPOTTED GUM	25 - 30M	8 - 10M	400L	1
ELAEOCARPUS EUMUNDI	EUMUNDI QUANDONG	10M	3 - 5M	400L	8
LIVISTONA AUSTRALIS	CABBAGE PALM	15 - 18M	6 - 8M	EX-GROUND	8
LOMANDRA LONGIFOLIA 'TANIKAI'	MAT RUSH	0.5M	0.6M	140MM	280
MISCANTHUS TRANSMORRISONENSIS	EVERGREEN FEATHER GRASS	1.2M	1M	140MM	27
PITTOSPORUM TOBIRA	JAPANESE PITTOSPORUM	0.5M	1M	300MM	80
RHAPHIOLEPIS INDICA 'SNOW MAIDEN'	INDIAN HAWTHORN	0.7 - 1M	1M	300MM	40
STENOTAPHRUM SECUNDATUM	SIR WALTER BUFFALO	MAINTAINED	MAINTAINED	TURF	66.5M ²
SYZYGIVM PANICULATUM	MAGENTA LILLY PILLY	8M	2 - 4M	400L	8
XANTHORRHOEA AUSTRALIS	GRASS TREE	1.5M	1M	300MM	24

NOTES - GENERAL

FOR S4.55 ONLY - NOT FOR CONSTRUCTION

DO NOT SCALE FROM DRAWINGS

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LANDSCAPE TECHNICAL SPECIFICATION

NO 'WASH OUT' FROM CONSTRUCTION TO TAKE PLACE IN IDENTIFIED GARDEN AREAS

ALL DISCREPANCIES OR CONFLICT TO BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE DESIGNER PRIOR TO CONSTRUCTION OR INSTALLATION

ALL DIMENSIONS IN MM UNLESS OTHERWISE STATED

ALL TREE DIMENSIONS AND RL'S IN METERS

USE FIGURED DIMENSIONS ONLY

VERIFY ALL DIMENSIONS ON SITE BEFORE THE COMMENCEMENT OF ANY WORKS

ANY LEVELS ARE NOMINAL AND ARE INDICATIVE ONLY

CONTRACTORS SHALL LOCATE AND PROTECT ALL SERVICES PRIOR TO CONSTRUCTION

CONTRACTORS TO CONTACT DIAL-BEFORE-YOU-DIG TO CONFIRM LOCATION OF SERVICES BEFORE EXCAVATION

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH CURRENT VERSIONS OF AUSTRALIAN STANDARDS, BCA AND LOCAL GOVERNMENT REGULATIONS

STRUCTURAL DETAILS SHALL BE SUBJECT TO ENGINEER'S SPECIFICATIONS

DRAINAGE AND WATER FEATURE DETAILS SHALL BE SUBJECT TO HYDRAULIC ENGINEER'S SPECIFICATIONS

ALL WORK SHALL BE CARRIED OUT IN A PROFESSIONAL MANNER BY QUALIFIED TRADESPERSON ACCORDING TO THE LANDSCAPE DRAWINGS & TECHNICAL SPECIFICATION AND ENGINEER'S SPECIFICATIONS

PROTECT ALL ADJOINING PROPERTY BUILDING, WALLS AND PAVING, DAMAGED ELEMENTS ARE TO BE REPLACED AT NO COST TO THE CLIENT

NO RESPONSIBILITY WILL BE TAKEN BY FIELDWORK ASSOCIATES PTY LTD FOR ANY VARIATIONS IN DESIGN, CONSTRUCTION METHOD, MATERIALS SPECIFIED AND GENERAL SPECIFICATIONS WITHOUT PERMISSION FROM THE PROJECT ENGINEER OR LANDSCAPE DESIGNER

ANY SPECIFIED MATERIALS OR PRODUCTS ARE TO BE INSTALLED AS PER THE MANUFACTURER'S / SUPPLIER'S INSTRUCTIONS

SERVICE LOCATION ON PLANS ARE INDICATIVE ONLY. FIELDWORK ASSOCIATES PTY LTD ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SERVICE LOCATIONS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SERVICE LOCATIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DAMAGES TO SERVICES AND ASSOCIATED DAMAGES REMAINS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE RECTIFIED AT NO COST TO THE CLIENT

THIS DRAWING IS COPYRIGHT TO FIELDWORK ASSOCIATES PTY LTD

FIELDWORK ASSOCIATES PTY LTD RESERVES THE RIGHT NOT TO PROVIDE LANDSCAPE CERTIFICATES AT PROJECT COMPLETION IF NOT EMPLOYED THROUGH THE CONSTRUCTION DOCUMENTATION AND IMPLEMENTATION PHASES

ANY CLAIMS MADE AGAINST FIELDWORK ASSOCIATES PTY LTD FOR ANY FAULTS IN THE LANDSCAPE IMPLEMENTATION ARE VOID IF FIELDWORK ASSOCIATES PTY LTD HAS NOT BEEN EMPLOYED THROUGH THE CONSTRUCTION DOCUMENTATION AND IMPLEMENTATION PHASES

NOTES - PLANTING

PROJECT LANDSCAPE DESIGNER TO SET OUT PLANT MATERIAL

PLANT QUANTITIES TO BE CONFIRMED BY FIELDWORK ASSOCIATES PTY LTD AT TIME OF CONSTRUCTION

ALL GARDEN BED AREAS TO BE CLEARED OF RUBBLE AND DEBRIS PRIOR TO PLANTING

PLANTING MEDIA TO BE CONFIRMED WITH LANDSCAPE CONTRACTOR AND FIELDWORK ASSOCIATES PTY LTD

ALL WEED SPECIES ON SITE ARE TO BE ERADICATED

ALL SITE SOIL IS TO BE MAINTAINED AND IMPROVED WITH COMPOST SPECIFIED BY FIELDWORK ASSOCIATES PTY LTD

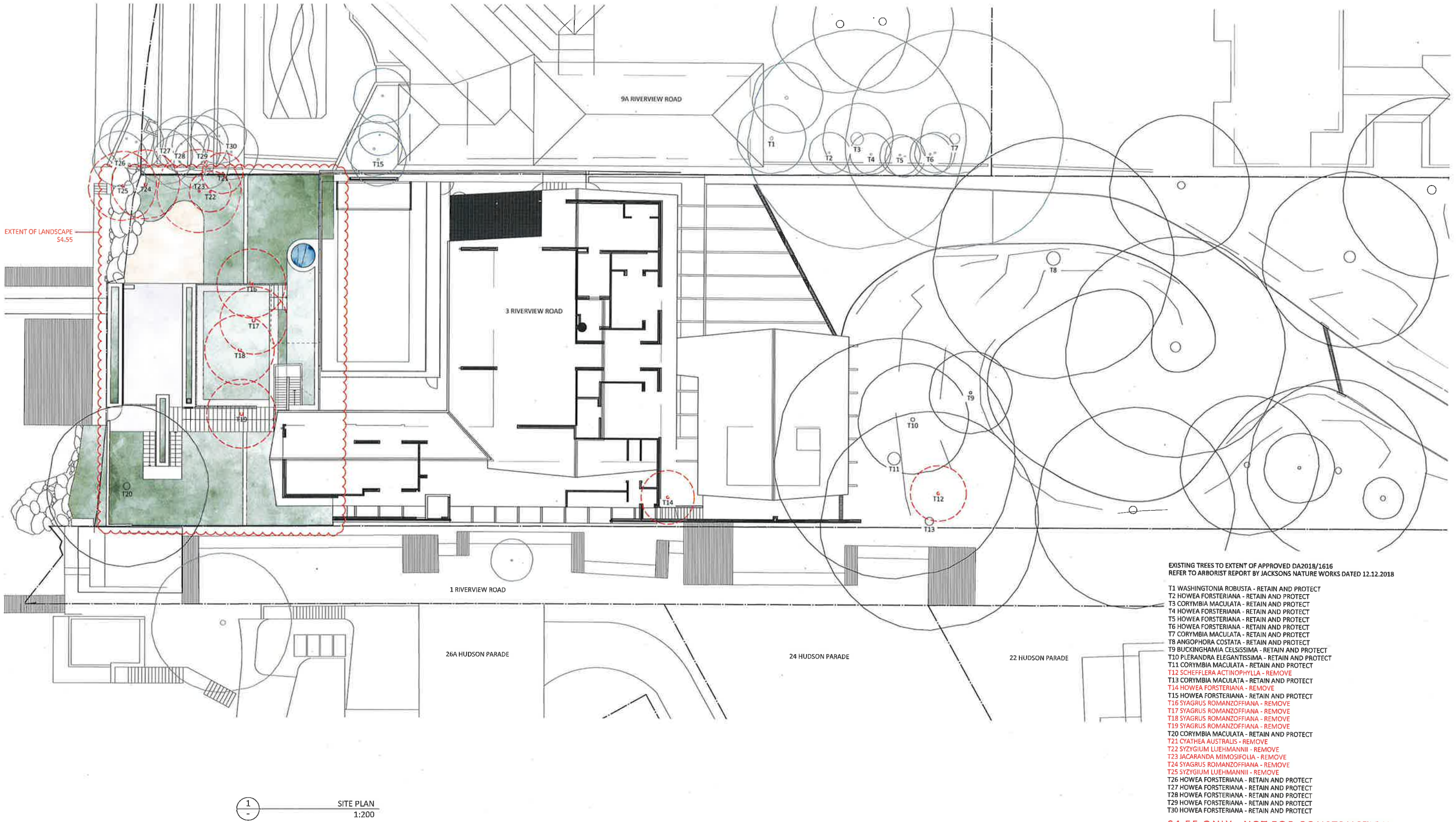
ALL PLANT SPECIES SHOULD BE IN ACCORDANCE WITH THE PLANTING SCHEDULE UNLESS CONSENT IS GIVEN FROM FIELDWORK ASSOCIATES PTY LTD

ALL GARDEN BEDS ARE TO BE MULCHED, MULCH TYPE TBC WITH FIELDWORK ASSOCIATES PTY LTD

S4.55 ONLY - NOT FOR CONSTRUCTION

<div>FIELDWORK ASSOCIATES</div>	<div>FIELDWORK ASSOCIATES SUITE 111, 120 BOURKE STREET WOOLLOOMOOLOO, NSW 2011 PHONE: 0499 589 199 EMAIL: DESIGN@FIELDWORK.NET.AU</div>	3 RIVERVIEW ROAD AVALON		DATE 01.10.2019 02.10.2019	ISSUE A B	REASON FOR ISSUE REVIEW S4.55	DESIGNED C. OWEN
		LANDSCAPE S4.55 DOCUMENTATION DRAWING REGISTER, PLANT SCHEDULE AND PROJECT NOTES					DRAWN E. ROWE, C. LEE
		DRAWING NO. LS4.55-01	SCALE				CHECKED C. OWEN
		DO NOT SCALE DIMENSIONS. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS FOR PLANTS ARE TO BE MARKED ON SITE. ALL PLANTING IS TO BE CONFINED BY CURBS, KERBS AND BOUNDARIES TO BE SHOWN ON THE DRAWING. ALL PLANTS ARE TO BE PLANTED IN ACCORDANCE WITH THE LANDSCAPE TECHNICAL SPECIFICATION. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE LANDSCAPE TECHNICAL SPECIFICATION. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE LANDSCAPE TECHNICAL SPECIFICATION. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE LANDSCAPE TECHNICAL SPECIFICATION.					DATE 02.10.2019

T3
T4
T5
T6
T7
T8



EXISTING TREES TO EXTENT OF APPROVED DA2018/1616
REFER TO ARBORIST REPORT BY JACKSONS NATURE WORKS DATED 12.12.2018

- T1 WASHINGTONIA ROBUSTA - RETAIN AND PROTECT
- T2 HOWEA FORSTERIANA - RETAIN AND PROTECT
- T3 CORYMBIA MACULATA - RETAIN AND PROTECT
- T4 HOWEA FORSTERIANA - RETAIN AND PROTECT
- T5 HOWEA FORSTERIANA - RETAIN AND PROTECT
- T6 HOWEA FORSTERIANA - RETAIN AND PROTECT
- T7 CORYMBIA MACULATA - RETAIN AND PROTECT
- T8 ANGOPHORA COSTATA - RETAIN AND PROTECT
- T9 BUCKINGHAMIA CELSISSIMA - RETAIN AND PROTECT
- T10 PLERANDRA ELEGANTISSIMA - RETAIN AND PROTECT
- T11 CORYMBIA MACULATA - RETAIN AND PROTECT
- T12 SCHEFFLERA ACTINOPHYLLA - REMOVE
- T13 CORYMBIA MACULATA - RETAIN AND PROTECT
- T14 HOWEA FORSTERIANA - REMOVE
- T15 HOWEA FORSTERIANA - RETAIN AND PROTECT
- T16 SYAGRUS ROMANZOFFIANA - REMOVE
- T17 SYAGRUS ROMANZOFFIANA - REMOVE
- T18 SYAGRUS ROMANZOFFIANA - REMOVE
- T19 SYAGRUS ROMANZOFFIANA - REMOVE
- T20 CORYMBIA MACULATA - RETAIN AND PROTECT
- T21 CYATHEA AUSTRALIS - REMOVE
- T22 SYZYGIUM LUEHMANNII - REMOVE
- T23 JACARANDA MINOSIFOLIA - REMOVE
- T24 SYAGRUS ROMANZOFFIANA - REMOVE
- T25 SYZYGIUM LUEHMANNII - REMOVE
- T26 HOWEA FORSTERIANA - RETAIN AND PROTECT
- T27 HOWEA FORSTERIANA - RETAIN AND PROTECT
- T28 HOWEA FORSTERIANA - RETAIN AND PROTECT
- T29 HOWEA FORSTERIANA - RETAIN AND PROTECT
- T30 HOWEA FORSTERIANA - RETAIN AND PROTECT

S4.55 ONLY - NOT FOR CONSTRUCTION

FIELDWORK
ASSOCIATES

FIELD WORK ASSOCIATES
SUITE 111, 120 BOURKE STREET
WOODLOOMOOLOO, NSW 2011
PHONE: 0999 589 129
EMAIL: DESIGN@FIELDWORK.NET.AU

3 RIVERVIEW ROAD
AVALON
LANDSCAPE S4.55 DOCUMENTATION
SITE PLAN

DRAWING NO. L54.55-02 SCALE 1:100@A2 1:200@A4

DATE
01.10.2019
02.10.2019

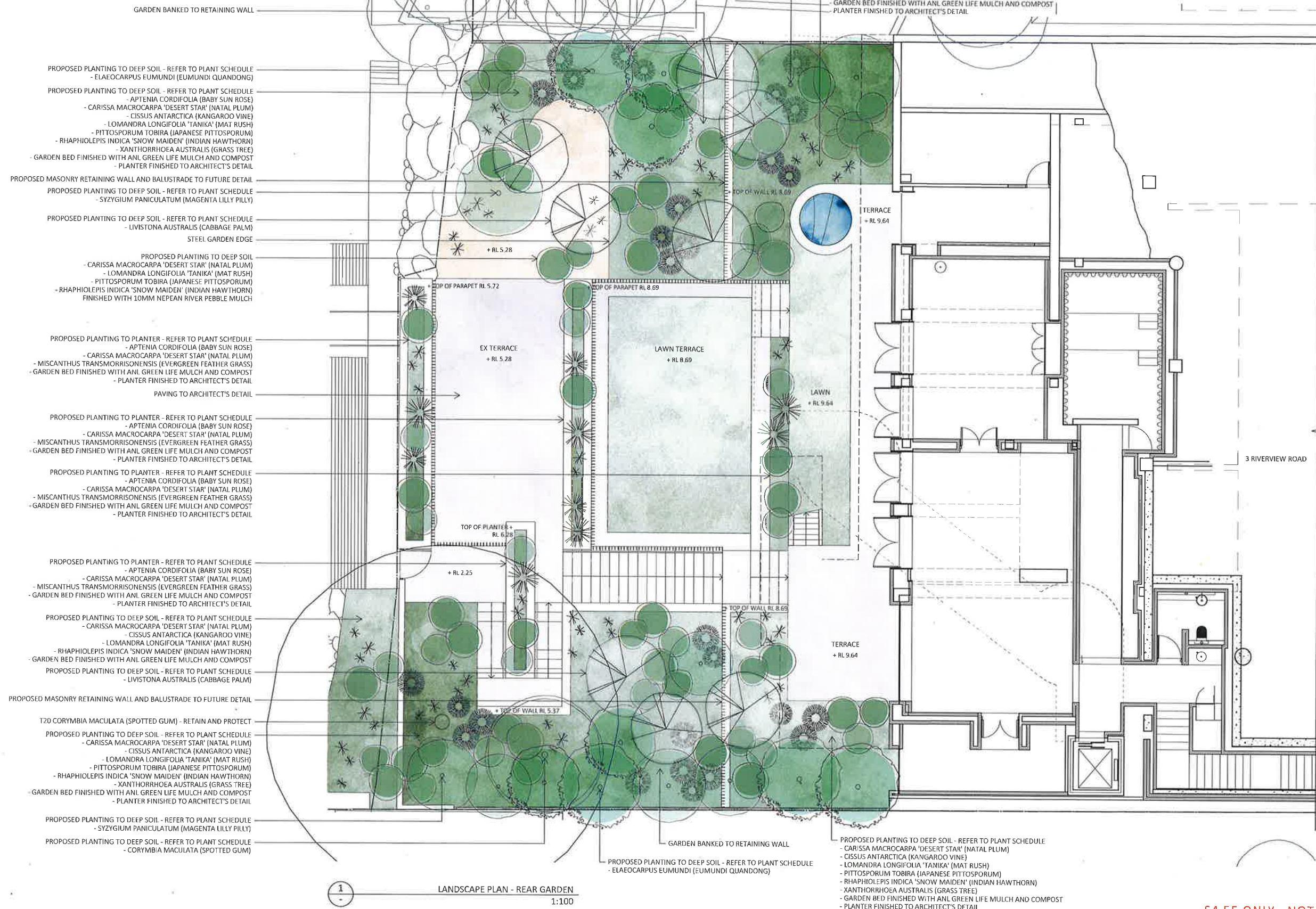
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REASON FOR ISSUE
REVIEW
S4.55

DESIGNED
C. OWEN

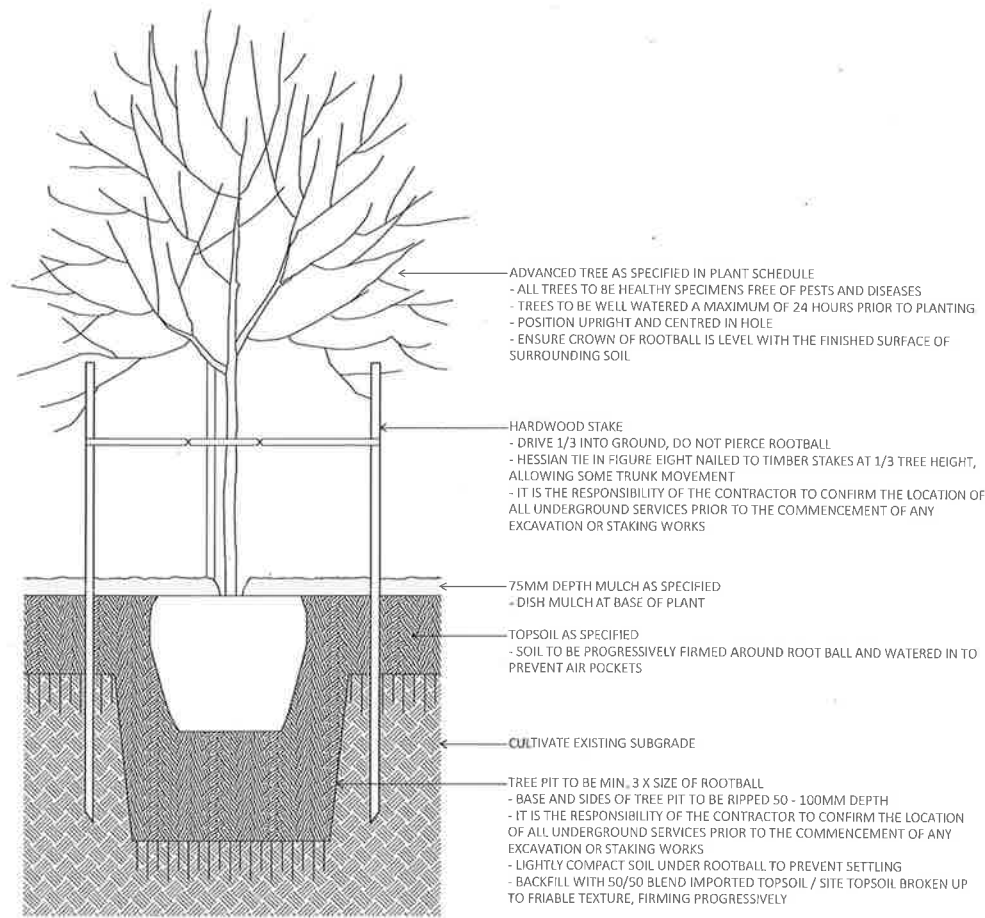
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E. ROWE, C. LEE
CHECKED
C. OWEN

DATE
02.10.2019

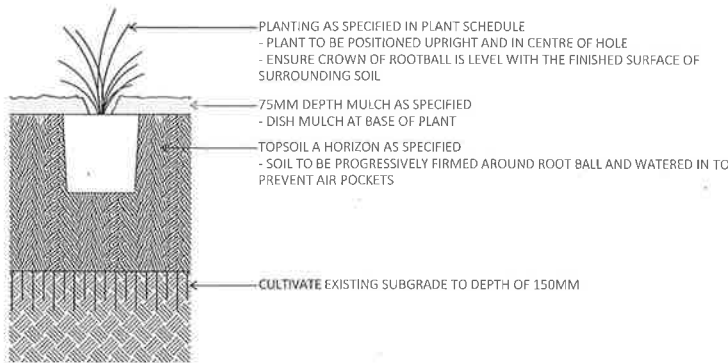


1 LANDSCAPE PLAN - REAR GARDEN 1:100

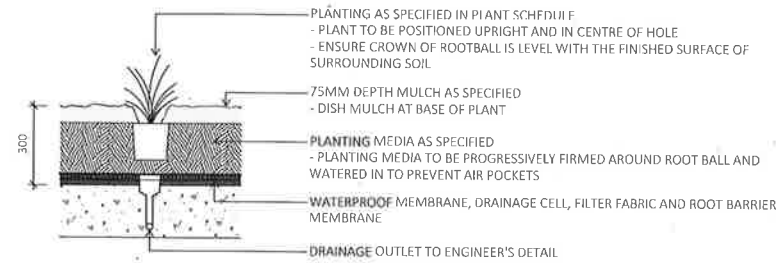
S4.55 ONLY - NOT FOR CONSTRUCTION



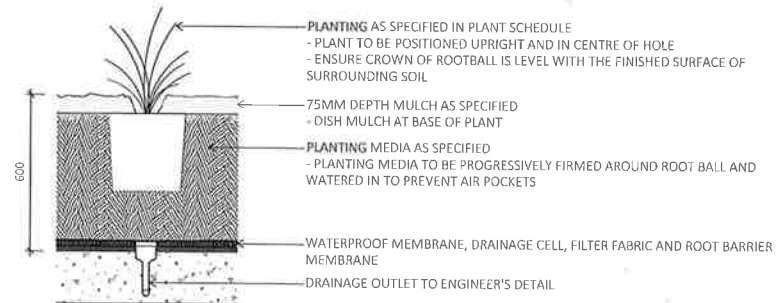
1 SCHEMATIC TREE PLANTING TO DEEP SOIL 1:20



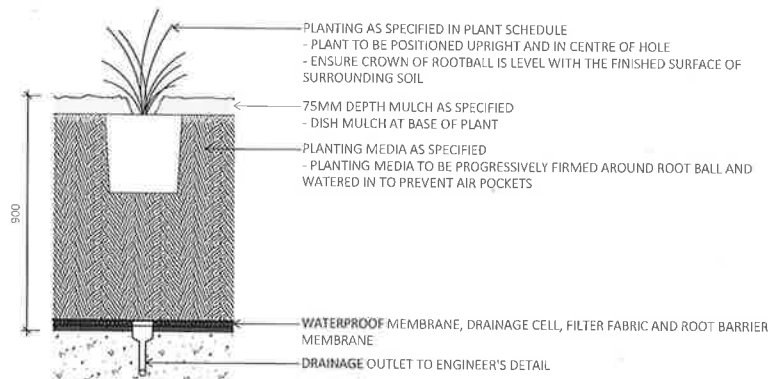
2 SCHEMATIC SHRUB AND GROUNDCOVER PLANTING TO DEEP SOIL 1:20



3 SCHEMATIC GROUND COVER PLANTING TO SLAB 1:20



4 SCHEMATIC SHRUB AND GROUNDCOVER PLANTING TO SLAB 1:20



5 SCHEMATIC SHRUB AND GROUNDCOVER PLANTING TO SLAB 1:20

NOTES - PLANTING

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FIELDWORK
ASSOCIATES

FIELDWORK ASSOCIATES
SUITE 111, 120 BOURKE STREET
WOOLLOOMOOLOO, NSW 2011
PHONE 0499 589 199
EMAIL DESIGN@FIELDWORK.NET.AU

1:20
0 0.2 0.4 0.8M

3 RIVERVIEW ROAD

AVALON

LANDSCAPE S4.55 DOCUMENTATION
SCHEMATIC PLANTING DETAILS

DRAWING NO.
LS4.55-04

SCALE
1:20@A2

DATE
01.10.2019
02.10.2019

ISSUE
A
B

REASON FOR ISSUE
REVIEW
S4.55

DESIGNED
C. OWEN

DRAWN
E. ROWE, C. LEE

CHECKED
C. OWEN

DATE
02.10.2019



NOTES

1 All dimensions to be verified on site.
2 Report any discrepancies or omissions to SDS prior to construction.
3 Refer to architect for ambiguous details or when clarification is required.
4 All drawings to be read in conjunction with specifications.
5 All drawings to be read in conjunction with consultants' drawings.
6 All structure to structural engineer's details.



PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE	REASON	DATE
A	DA ISSUE	28.09.18
B	S4.35(1A) APPLICATION ISSUE	04.10.19

DRAWING SCHEDULE

DA000	Drawing Schedule, Legend
DA001	BASIX Certificate
DA002	Site Analysis Plan
DA003	Site Plan
DA100	Boatshed Ground Plan
DA101	Boathouse Level 1 & Cellar Plan
DA102	Terrace & Gym Plan
DA103	House Plan
DA104	Guest & Carport Plan
DA300	Northern Elevation
DA301	Southern Elevation
DA302	Eastern Western Elevation
DA400	Section A & B

ABBREVIATIONS

AC	Air Conditioning	HWU	Hot Water Unit	U/G	Underground
ACR	Acrylic	HYD	Hydraulic	U/S	Underside
ACU	Air Condensor Unit	INS	Insulation - Thermal / Acoustic	UB	Universal Beam
ADJ	Adjustable	J	Joinery Item	UC	Universal Column
AFFL	Above Finished Floor Level	LDP	Level Datum Point	UNO	Unless Noted Otherwise
AL	Aluminium	LV	Louvre	UOS	Unless Otherwise Specified
AP	Access Panel	MC	Metal Cladding	VIN	Vinyl
AS	Australian Standard	MDB	Main Distribution Board	VP	Vent Pipe
BAL	Balustrade	ME	Metal	W	Window
BALC	Balcony	MFL	Metal Flashing	WC	Water Closet
BCA	Building Code of Australia	MG	Metal Grille	WH	Weep Hole
BG	Box Gutter	MJ	Mitred Joint	WM	Washing Machine
BHD	Bulkhead	MJ	Movement Joint	WP	Waste Pipe
BIT	Bitumen	MR	Metal Roof	WPM	Water Proof Membrane
BK	Brick	MS	Mild Steel	WT	Water Tank
BL	Building Line	MSB	Main Switch Board		
BLDG	Building	MW	Matwell (with mat)	BED	Bedroom
BLK	Blockwork	N	New Item	DIN	Dining Room
BN	Bin	N/A	Not Applicable	CORR	Corridor
BR	Brass	NTS	Not To Scale	ENS	Ensuite
BT	Bench Top	O/H	Overhead	KIT	Kitchen
CB	Concrete Block	OD	Outside Diameter	LDY	Laundry
CF	Ceiling Fan	OF	Overflow Spitter	LIV	Living Room
CFC	Compressed Fibre Cement	OV	Oven		
CJ	Construction Joint / Control Joint	PB	Plasterboard		
COL	Column	PCO	Powdercoat		
CONC	Concrete	PBFR	Plasterboard - Fire Resistant		
CP	Chrome Plated	PBMR	Plasterboard - Moisture Resistant		
CPT	Carpet	PF	Paint Finish refer Finishes Schedule		
CR	Cement Render	PFC	Parallel Flange Channel		
CRS	Cement Render and Set	PIN	Pinboard		
CT	Ceramic Tile	PU	Paving Unit		
D	Door	PVC	Polyvinylchloride		
DD	Dish Drain	R	Refrigerator		
DIA	Diameter	RA	Return Air		
DP	Downpipe	RC	Reinforced Concrete		
DSB	Distribution Switchboard	REF	Reference		
DWG	Drawing	RF	Roofing		
EA	Exposed Aggregate	RL	Relative Level		
EC	Exhaust Cow(EG Exhaust Grille)	RP	Removable Panel		
EGL	Existing Ground Level	RS	Roller Shutter		
LEC	Electrical	RWH	Rain Water Head		
ENG	Engineer	RWO	Rain Water Outlet		
EQ	Equal	SCCT	Suspended Ceiling Tile		
EX	Existing Structure or Finish	SM	Similar		
EXH	Exhaust	SL	Skylight		
F	Fixed	SO	Setout Point		
FC	Fibre Cement	SS	Stainless Steel		
FCL	Finished Ceiling Level	ST	Stone		
FFL	Finished Floor Level	ST1	Sandstone		
FG	Floor Grate	ST2	Travertine		
FGL	Finished Ground Level	STR#	Stair (number)		
FM	Flexible Mastic	STR6	Storage		
FP	Fireplace	STRUCT	Structural		
FR	Fire Resistant	SWD	Stormwater Drain		
FRL	Fire Resistance Level	SWG	Stormwater Grate		
FW	Floor Waste	SWP	Stormwater Pit		
FZ	Freezer	TBA	To Be Advised		
G	Glass / Glazing	TBC	To Be Confirmed		
GALV	Galvanised - hot dipped	TD	Top of Door		
GBAL	Glass Balustrade	TEL	Telephone		
GCB	Glass - Colour Backed	THD	Threshold		
GDR	Grated Drain	TM	Timber		
GF	Glazing - Fixed	TMF	Timber Floor		
GFC	Glass - Float Clear	TOC	Top of Column		
GND	Ground	TOK	Top of Kerb		
GLT	Glass - Laminated Tinted	TOP	Top of Parapet		
GO	Glass - Obscured	TOW	Top of Wall		
GT	Glass - Translucent	TPH	Toilet Paper Holder		
GTG	Glass - Toughened Clear	TV	Television		
GTT	Glass - Toughened Tinted	TW	Top of Window		
HRL	Handrail	U/G	Underground		
HWH	Hot Water Heater	U/S	Underside		
HWS	Hot Water Service	UB	Universal Beam		
HWU	Hot Water Unit	UC	Universal Column		
HYD	Hyd	UNO	Unless Noted Otherwise		
INS	Insulation (Thermal/ Acoustic)	UOS	Unless Otherwise Specified		
J	Joinery item	TV	Television		



SCALE

NTS

NOTES

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2 Report any discrepancies or omissions to SDG prior to construction.
3 Refer to architect for ambiguous details or when clarification is required.
4 All drawings to be read in conjunction with specification.
5 All drawings to be read in conjunction with consultants' drawings.
6 All structure to structural engineer's details.

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A329719_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A329719 lodged with the consent authority or certifier on 01 Oct 2018 with application DA2018/1616.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary
Date of issue: Monday, 30, September 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



BASIX Certificate number: A329719_02

page 1 / 9

Description of project

Project address	
Project name	Riverview 3_02
Street address	3 Riverview Road Avalon 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 3632
Lot number	6
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Delisle Hunt Wood Pty Ltd
ABN (if applicable): 631934837

BASIX Certificate number: A329719_02

page 4 / 9

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor with in-slab heating system.	R1.00 (slab edge)	in-slab heating system	
floor above existing dwelling or building.	nil		
external wall: other/undecided	R1.70 (including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	

BASIX Certificate number: A329719_02

page 5 / 9

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓		✓			
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	✓	✓	✓			
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓			
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.	✓	✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
DG.05	S	3	14	6	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W1.01	N	15.6	7.2	10.75	external louvre/blind (adjustable)	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W1.02	W	24.4	0	0	external louvre/blind (adjustable)	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

BASIX Certificate number: A329719_02

page 6 / 9

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type		
D2.03	W	6	0	0	projection/height above sill ratio >=0.36	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)		
D2.04	W	6	0	0	projection/height above sill ratio >=0.36	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)		
D2.05	W	6	0	0	projection/height above sill ratio >=0.36	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)		
D2.06	W	6	4.2	2.8	projection/height above sill ratio >=0.36	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)		
W2.01	W	8.6	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W2.02	W	3.7	0	0	external louvre/blind (adjustable)	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W3.01	E	4.3	0	0	projection/height above sill ratio >=0.43	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W3.02	E	8.1	0	0	projection/height above sill ratio >=0.43	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W3.03	W	3.8	0	0	external louvre/blind (adjustable)	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W3.04	W	5.1	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W3.05	N	13	0	0	projection/height above sill ratio >=0.36	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)		
W3.06	N	8.9	0	0	projection/height above sill ratio >=0.36	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)		
W3.07	N	8.9	0	0	projection/height above sill ratio >=0.36	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)		

BASIX Certificate number: A329719_02

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Shading device	Distance (m)	Frame and glass type			
W3.08	N	8.9	0	0	projection/height above sill ratio >=0.36	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W3.09	W	10.1	0	0	projection/height above sill ratio >=0.43	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W3.10	W	2	0	0	projection/height above sill ratio >=0.43	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W3.11	W	4.3	0	0	projection/height above sill ratio >=0.43	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W3.12	W	8.5	0	0	projection/height above sill ratio >=0.43	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W3.13	W	4.1	0	0	projection/height above sill ratio >=0.43	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W3.14	W	4.2	0	0	projection/height above sill ratio >=0.43	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W3.15	N	8.6	2.9	9.6	projection/height above sill ratio >=0.23	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W3.15 High	W	1.6	0	0	projection/height above sill ratio >=0.36	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W3.16	N	8	0	0	projection/height above sill ratio >=0.43	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W4.03	E	1.2	20.2	35.5	projection/height above sill ratio >=0.23	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W4.04	E	1.2	20.2	35.5	projection/height above sill ratio >=0.23	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W4.05	E	1.2	0	0	projection/height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			

BASIX Certificate number: A329719_02

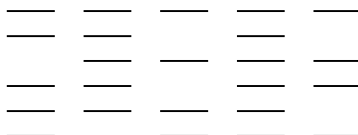
page 8 / 9

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
W4.06	E	1.2	0	0	projection/height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W4.07	E	1.2	0	0	projection/height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W4.08	E	1.2	0	0	projection/height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W3.17	S	5.4	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W3.18	S	0.6	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
Glazed roofs								
The applicant must install the glazed roofs described in the table below, in accordance with the specifications listed in the table.						✓	✓	✓
The following requirements must also be satisfied in relation to each glazed roof:							✓	✓
Glazed roofs glazing requirements								
Glazed roof number	Area of glazing (m2)	Shading device				Glass type		
G1	23.5	no shading				improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		

BASIX Certificate number: A329719_02

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



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SCALE

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PROJECT

1805 RIVERVIEW 3

DRAWN

SENIOR QA

APP D

RI

DRAFT

TB

DWG TITLE

BASIX CERTIFICATE

DWG NO

DA001

REV

B

NOTES

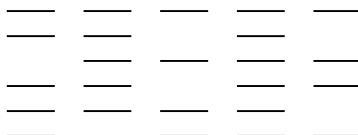
- 1 All dimensions to be verified on site.
- 2 Report any discrepancies or omissions to SDS prior to construction.
- 3 Refer to architect for ambiguous details or when clarification is required.
- 4 All drawings to be read in conjunction with specification.
- 5 All drawings to be read in conjunction with consultants' drawings.
- 6 All structure to structural engineer's details.

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE	REASON	DATE
A	DA ISSUE	28.09.18
B	DA ISSUE	11.12.18
C	DA ISSUE	15.03.19
D	S4.551(I) CONSULTANT ISSUE	23.09.19
E	S4.551(I) DRAFT ISSUE	23.09.19
F	S4.551(I) APPLICATION ISSUE	06.10.19



1 SITE ANALYSIS PLAN



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0 2500 4250 12500

SCALE
1:250 @ A1 (1:500 @ A3)



PROJECT
1805 RIVERVIEW 3
DRAWN SENIOR QA APP'D
RI DRAFT TB

DWG TITLE
SITE ANALYSIS PLAN
DWG NO REV
DA002 F

smart design studio

NOTES

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- 5 All drawings to be read in conjunction with consultants' drawings.
- 6 All structure to structural engineer's details.

ISSUE	REASON	DATE
A	DA ISSUE	28.07.18
B	RETENTION OF TREE 20 AT COUNCIL REQ.	11.12.18
	REMOVAL OF TREE 12	
	RETENTION OF TREE 9	
	REMOVAL OF GUEST PARKING ACCESS STR	
C	RELOCATION OF EX CT ART WALL	01.02.19
D	BUILDING FORESHORE LINE SHOWN	08.03.19
	SEAT TERRACE LANDSCAPE CHANGES	
E	DA ISSUE	15.03.19
F	\$4.55(1A) CONSULTANT ISSUE	23.09.19
G	\$4.55(1A) DRAFT ISSUE	25.09.19
H	\$4.55(1A) APPLICATION ISSUE	04.10.19



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DWG TITLE
SITE/ ROOF PLAN

DWG NO
DA003

REV
H

LEGEND

STUD WALL / PARTITION

CONCRETE WALL

BLOCK WALL

BRICK WALL

EXISTING WALL RETAINED (GREY SHOWS DETAIL)

WALL TO BE DEMOLISHED

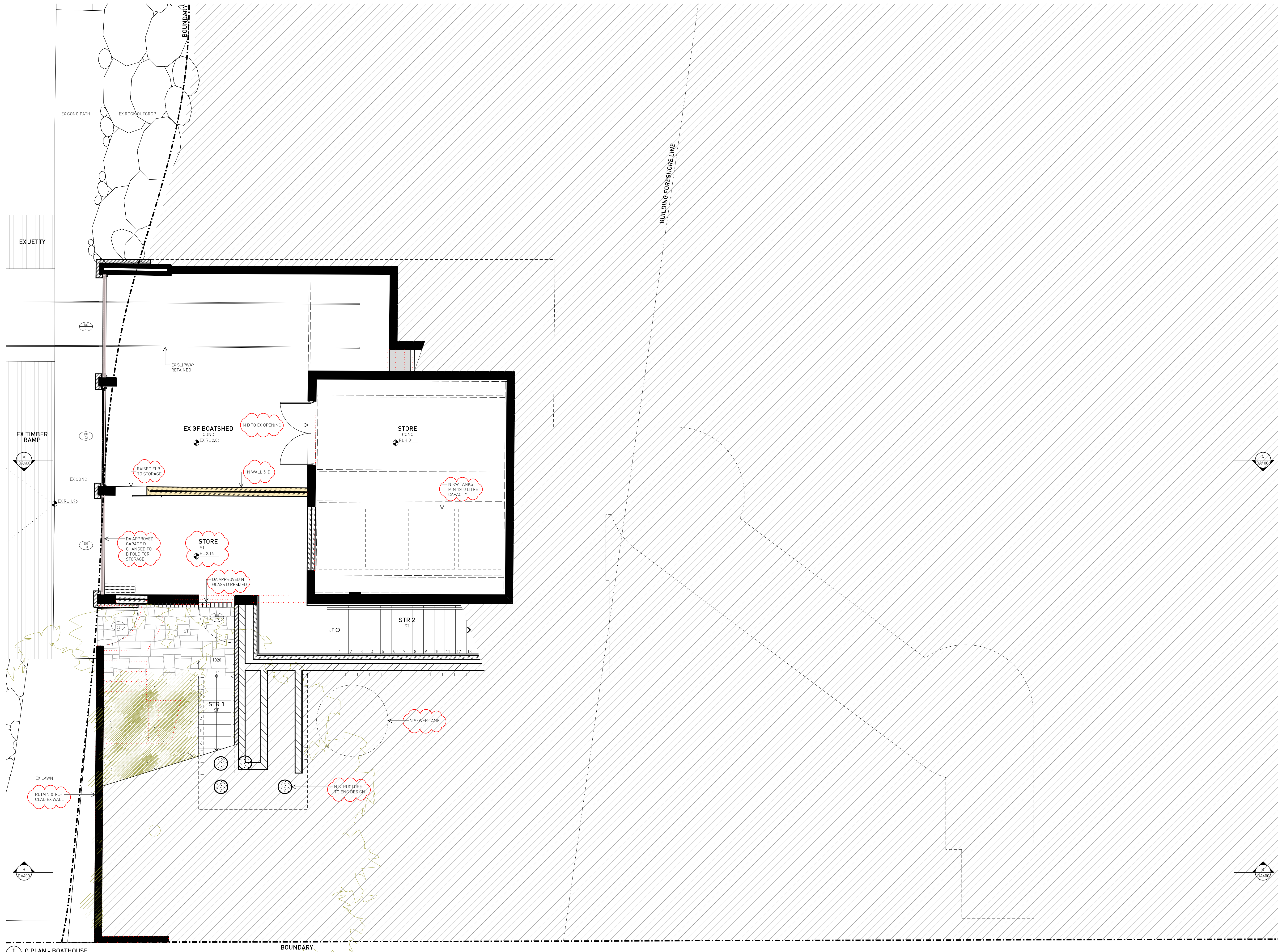
EXTENT OF PROPOSED WORKS

5% CHANGES

NOTES

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- 5 All drawings to be read in conjunction with consultants' drawings.
- 6 All structure to structural engineer's details.

ISSUE	REASON	DATE
A	DA ISSUE	28.09.18
B	BUILDING FORSHORE LINE SHOWN	08.03.19
C	\$4.55(1A) CONSULTANT ISSUE	23.09.19
D	\$4.55(1A) DRAFT ISSUE	25.09.19
E	\$4.55(1A) APPLICATION ISSUE	04.10.19



1 G PLAN - BOATHOUSE

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PROJECT
1805 RIVERVIEW 3

DRAWN SENIOR QA APP'D
RI DRAFT TB

DWG TITLE
G PLAN - BOATSHED

DWG NO
DA100

REV
E

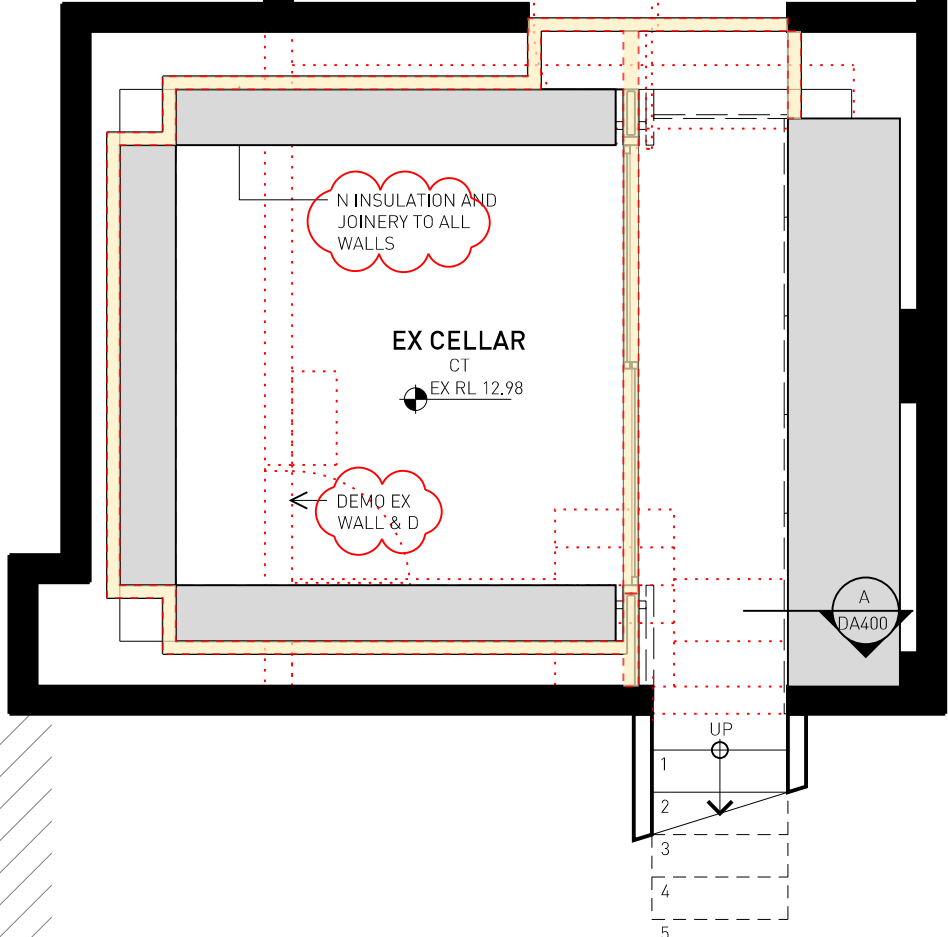
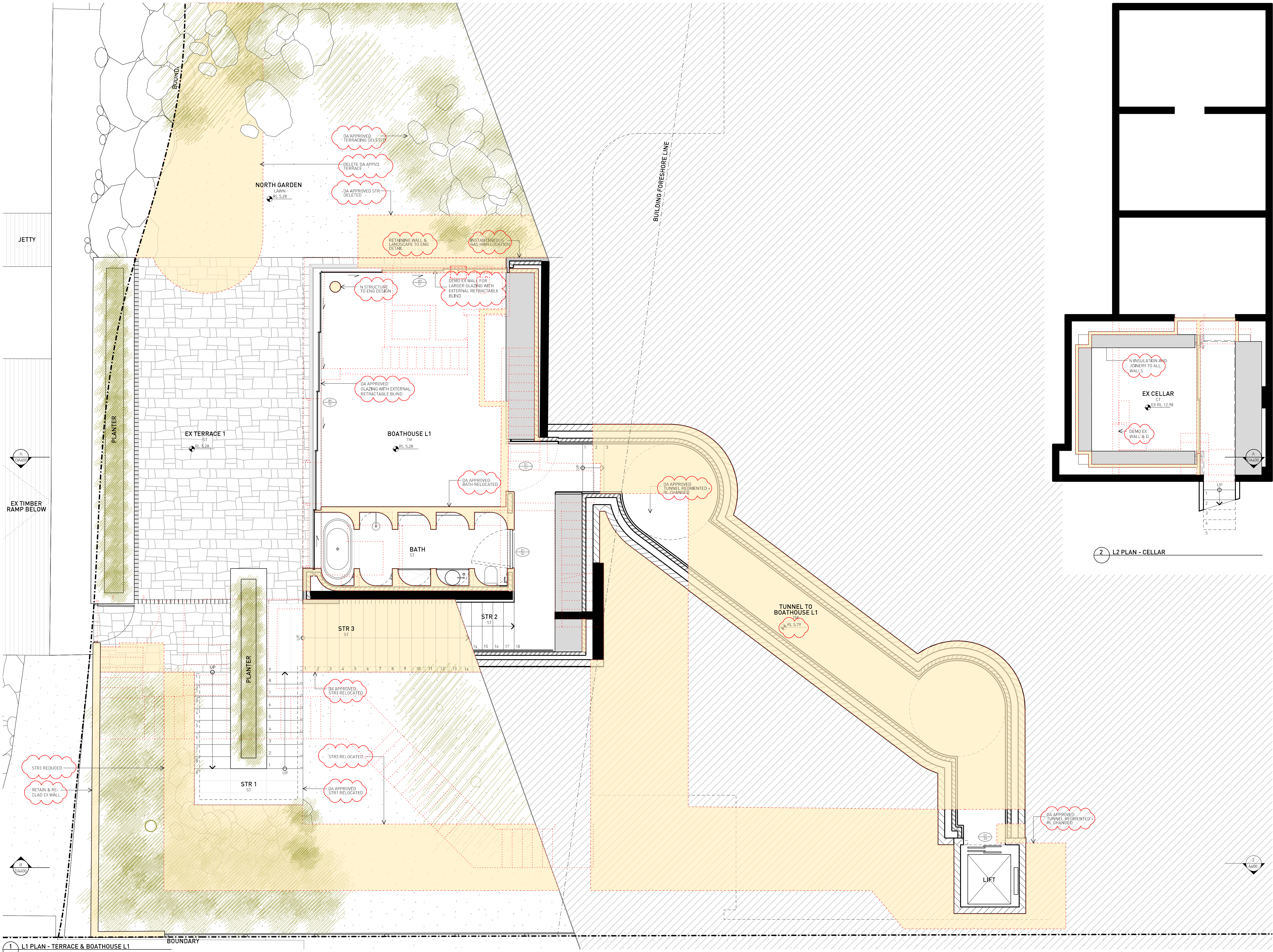
smart design studio

LEGEND	
	STUD WALL / PARTITION
	CONCRETE WALL
	BLOCK WALL
	BRICK WALL
	EXISTING WALL RETAINED (GREY SHOWS DETAIL)
	WALL TO BE DEMOLISHED
	EXTENT OF PROPOSED WORKS
	5% CHANGES

- NOTES
- 1 All dimensions to be verified on site.
 - 2 Report any discrepancies or omissions to SDS prior to construction.
 - 3 Refer to architect for ambiguous details or when clarification is required.
 - 4 All drawings to be read in conjunction with specification.
 - 5 All drawings to be read in conjunction with consultants' drawings.
 - 6 All structure to structural engineer's details.

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE	REASON	DATE
A	DA ISSUE	28.09.18
B	RETENTION OF TREE 20 AT COUNCIL REQ.	11.12.18
C	BUILDING FORESHORE LINE SHOWN	18.03.19
D	SEAT TERRACE LANDSCAPE CHANGES	15.03.19
E	DA ISSUE	23.03.19
F	S4.551(A) CONSULTANT ISSUE	25.09.19
G	S4.551(A) DRAFT ISSUE	25.09.19
	S4.551(A) APPLICATION ISSUE	04.10.19



1 L1 PLAN - TERRACE & BOATHOUSE L1

2 L2 PLAN - CELLAR



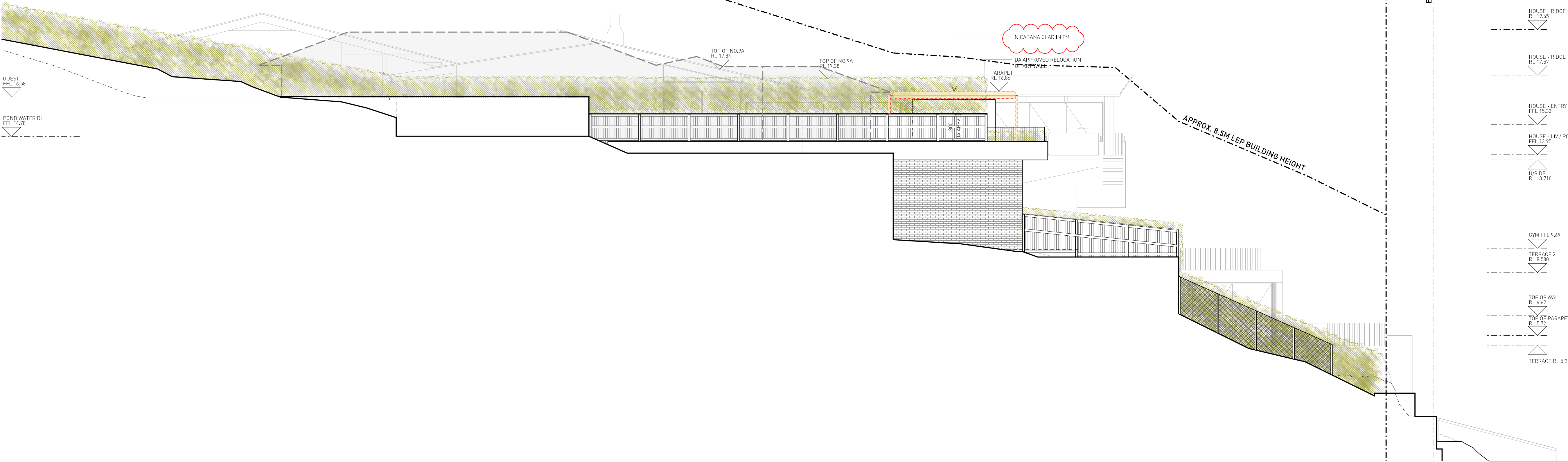
LEGEND	
	STUD WALL / PARTITION
	CONCRETE WALL
	BLOCK WALL
	BRICK WALL
	EXISTING WALL RETAINED (GREY SHOWS DETAIL)
	WALL TO BE DEMOLISHED
	EXTENT OF PROPOSED WORKS
	5% CHANGES

- NOTES
- 1 All dimensions to be verified on site.
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 - 4 All drawings to be read in conjunction with specification.
 - 5 All drawings to be read in conjunction with consultants' drawings.
 - 6 All structure to structural engineer's details.

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE	REASON	DATE
A	DA ISSUE	28.09.18
B	RELOCATION OF EX CT ART WALL EX POND RETAINED	01.02.19
C	DA ISSUE	15.03.19
D	S4.55(1A) CONSULTANT ISSUE	23.09.19
E	S4.55(1A) DRAFT ISSUE	25.09.19
F	S4.55(1A) APPLICATION ISSUE	04.10.19

1 NORTH ELEVATION - FENCE NOT SHOWN



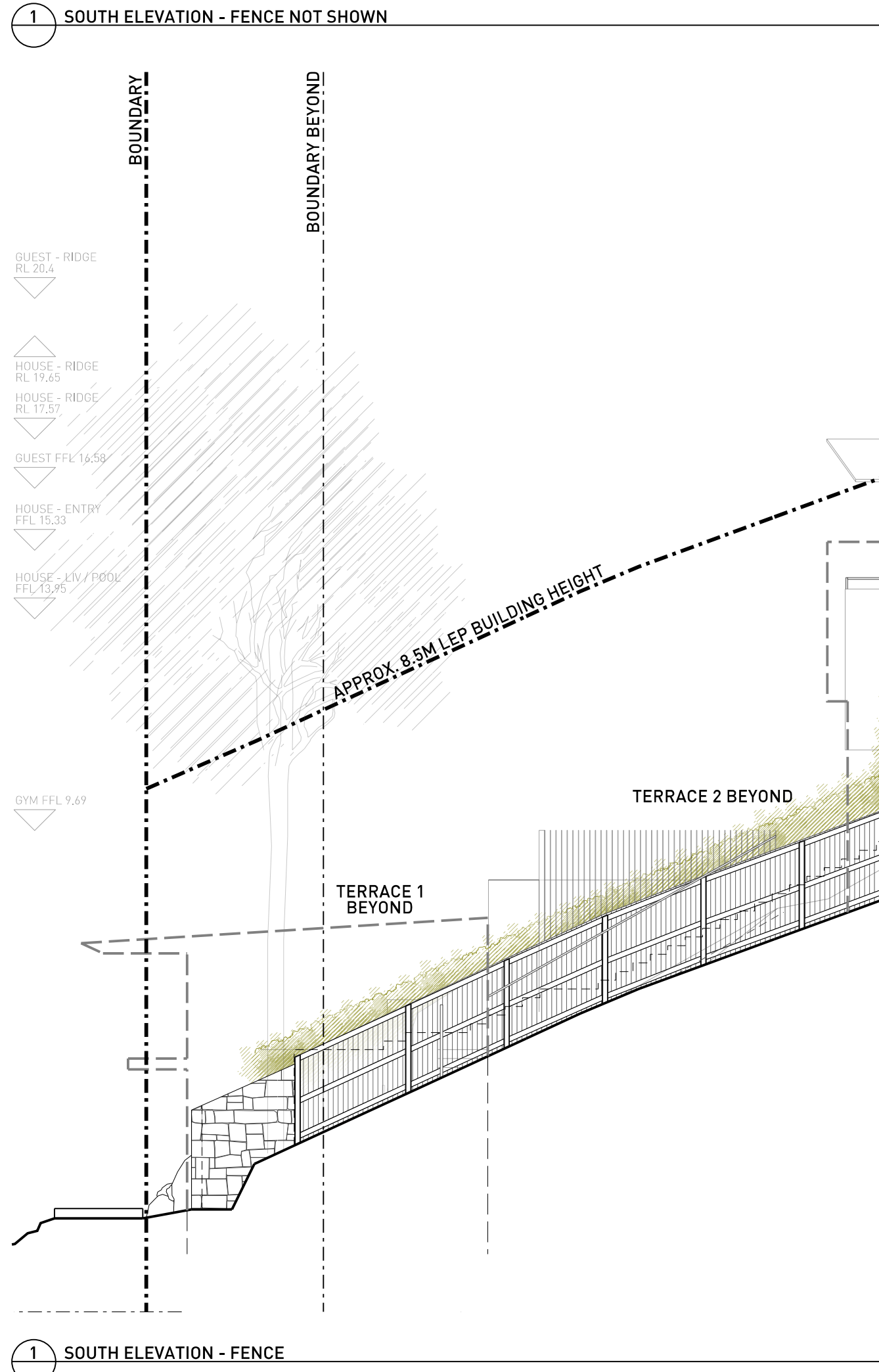
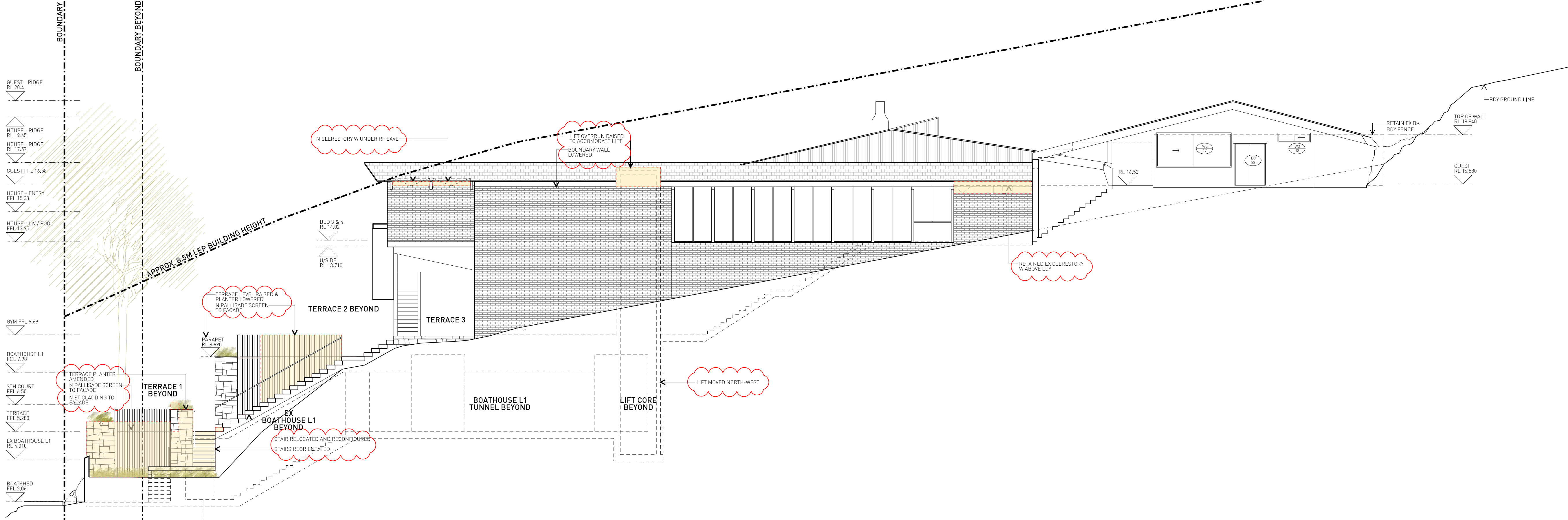
1 NORTH ELEVATION - FENCE

LEGEND	
	STUD WALL / PARTITION
	CONCRETE WALL
	BLOCK WALL
	BRICK WALL
	EXISTING WALL RETAINED (GREY SHOWS DETAIL)
	WALL TO BE DEMOLISHED
	EXTENT OF PROPOSED WORKS
	5% CHANGES

- NOTES
- 1 All dimensions to be verified on site.
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 - 5 All drawings to be read in conjunction with consultants' drawings.
 - 6 All structure to structural engineer's details.

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE	REASON	DATE
A	DA ISSUE	28.09.18
B	RETENTION OF TREE 20 AT COUNCIL REQ.	11.12.18
C	DA ISSUE	15.03.19
D	S4.55(1A) CONSULTANT ISSUE	23.09.19
E	S4.55(1A) DRAFT ISSUE	25.09.19
F	S4.55(1A) APPLICATION ISSUE	04.10.19



LEGEND	
	STUD WALL / PARTITION
	CONCRETE WALL
	BLOCK WALL
	BRICK WALL
	EXISTING WALL RETAINED (GREY SHOWS DETAIL)
	WALL TO BE DEMOLISHED
	EXTENT OF PROPOSED WORKS
	5% CHANGES

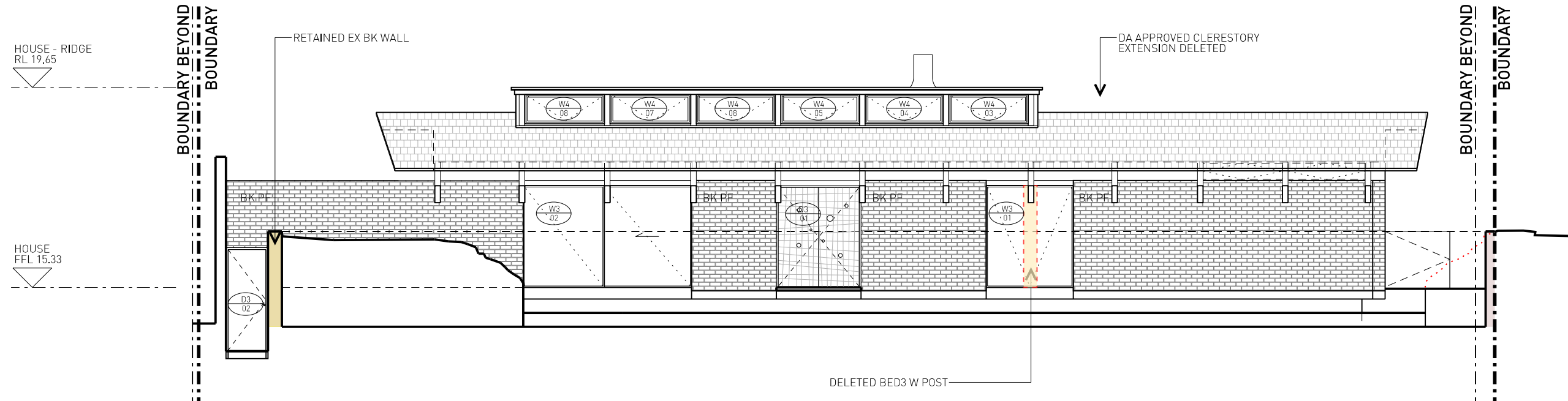
- NOTES
- 1 All dimensions to be verified on site.
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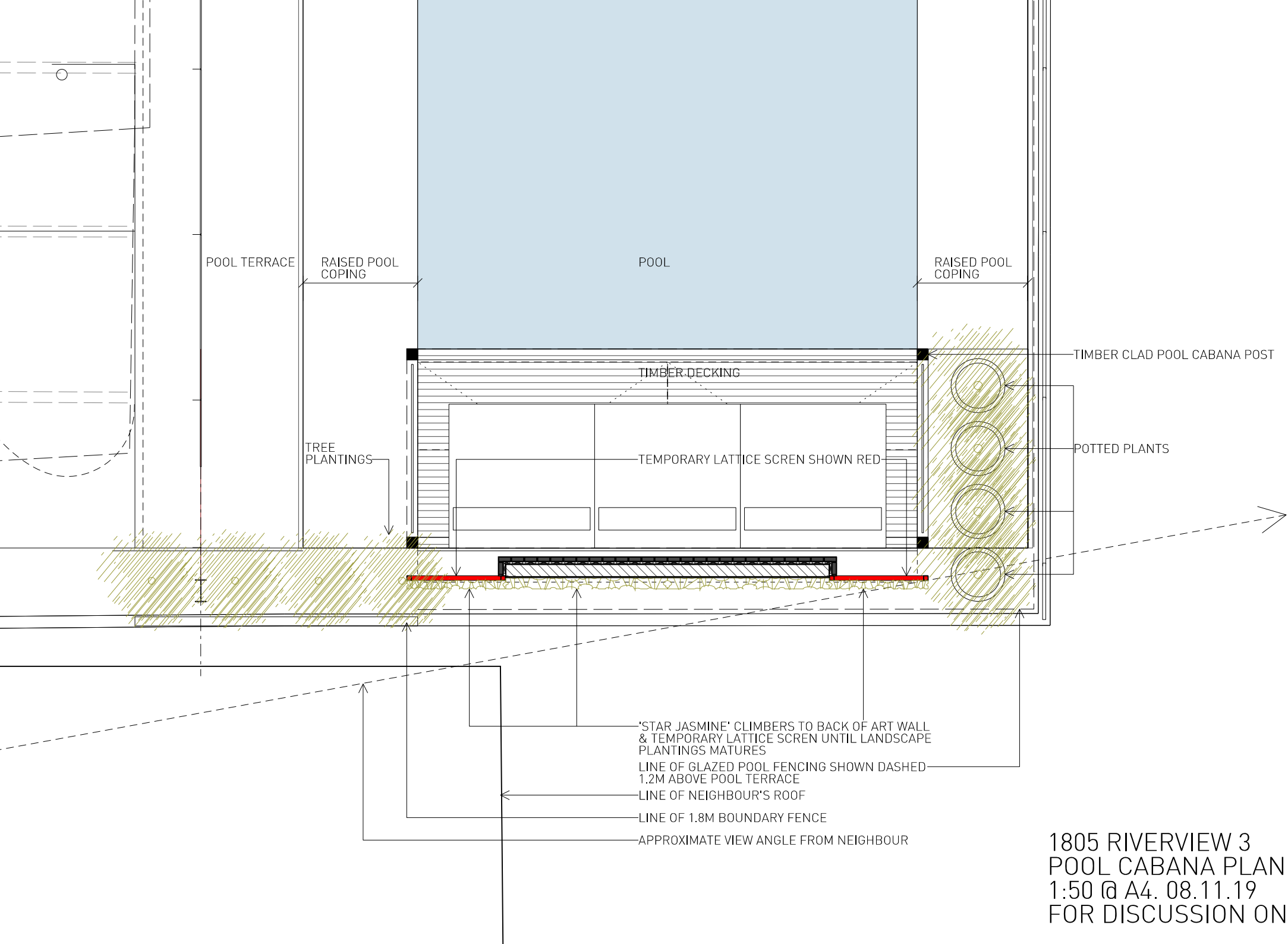
PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE	REASON	DATE
A	DA ISSUE	28.09.18
B	RETENTION OF TREE 20 AT COUNCIL REQ.	11.12.18
C	RETAIN BRICK FACADE AT COUNCIL REQ.	01.02.19
	EX ART WALL RELOCATED AT COUNCIL REQ.	
D	DA ISSUE	15.03.19
E	S4.55(1A) CONSULTANT ISSUE	23.09.19
F	S4.55(1A) DRAFT ISSUE	25.09.19
G	S4.55(1A) APPLICATION ISSUE	04.10.19

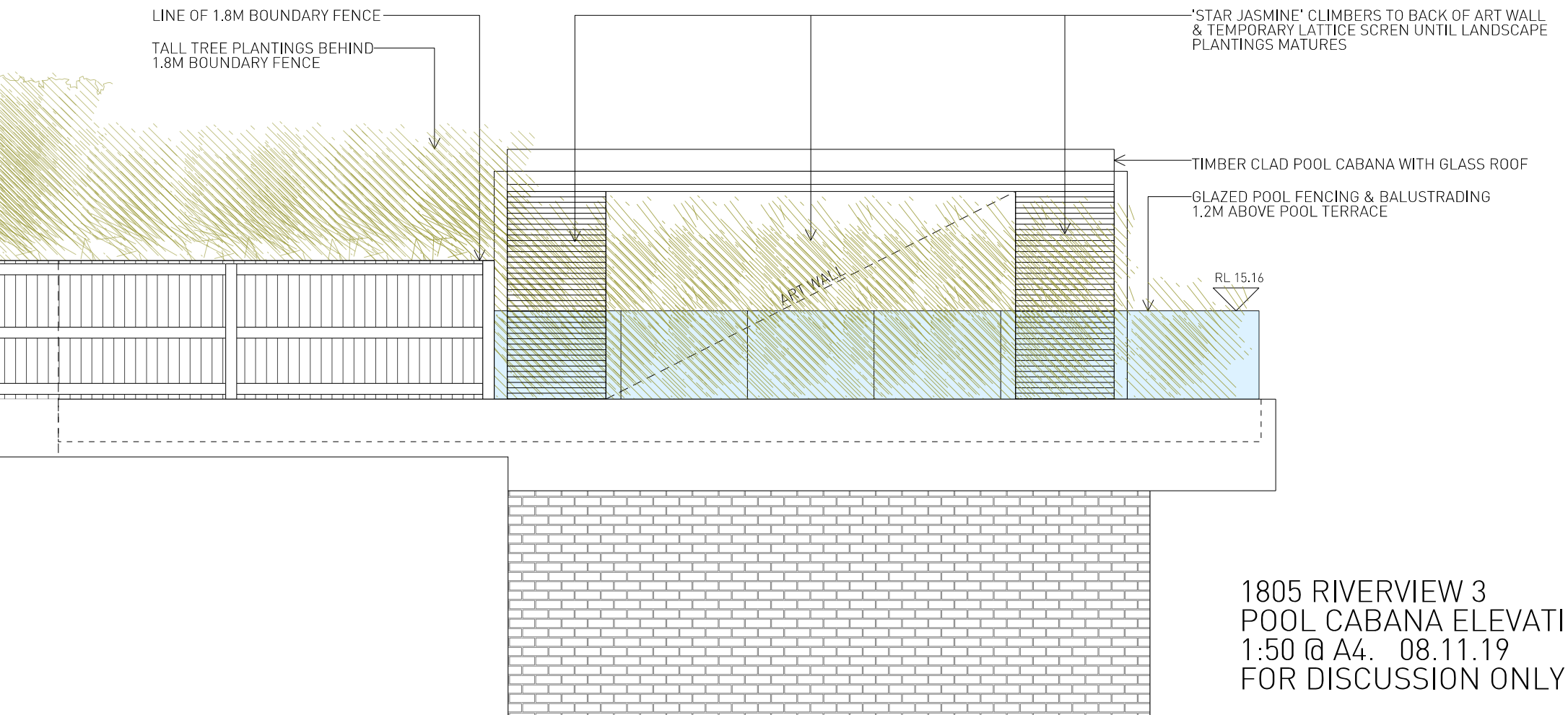
1 WEST ELEVATION



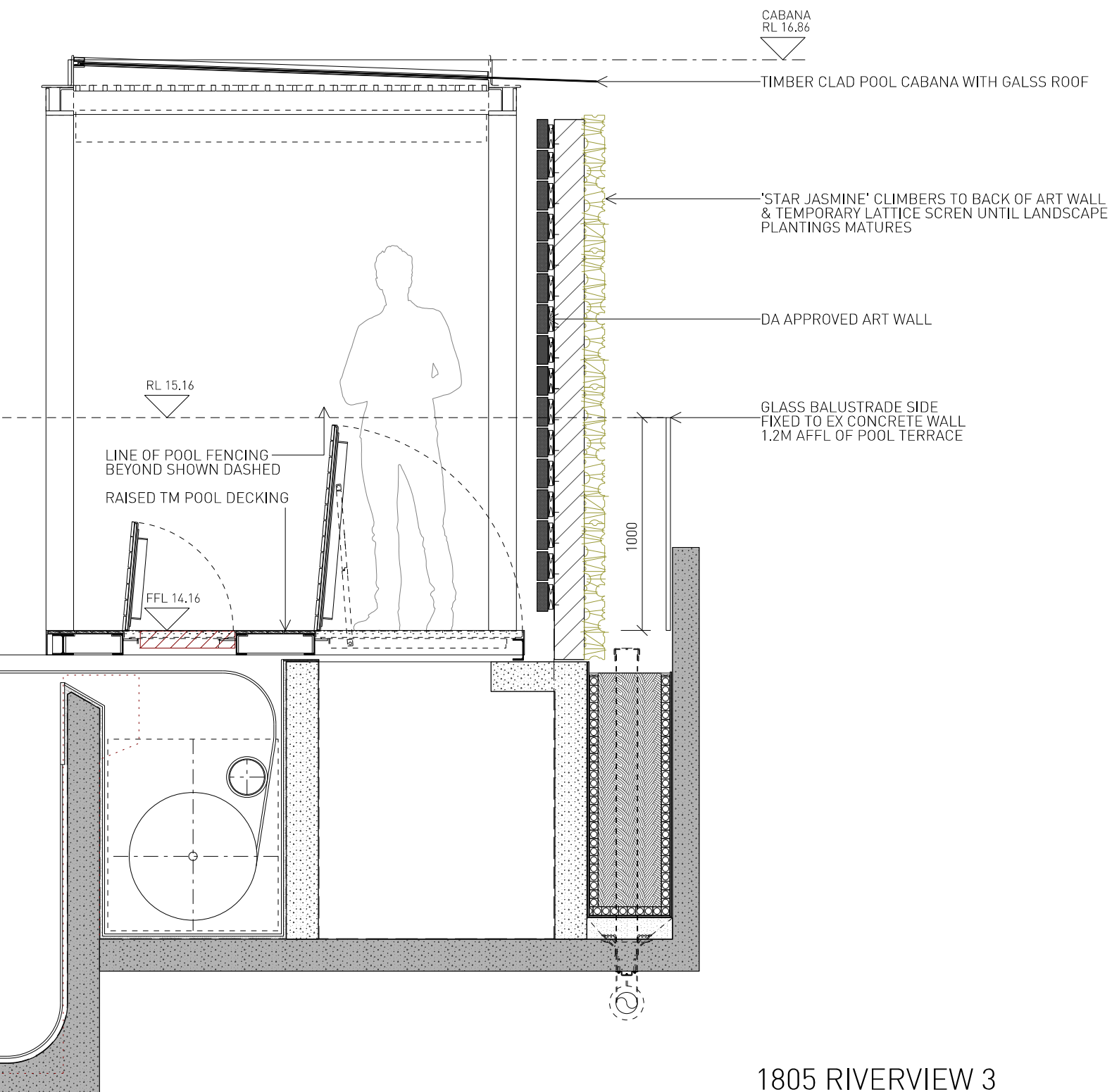
2 EAST ELEVATION



1805 RIVERVIEW 3
POOL CABANA PLAN
1:50 @ A4. 08.11.19
FOR DISCUSSION ONLY



1805 RIVERVIEW 3
POOL CABANA ELEVATION
1:50 @ A4. 08.11.19
FOR DISCUSSION ONLY



1805 RIVERVIEW 3
POOL CABANA SECTION
1:25 @ A4. 08.11.19
FOR DISCUSSION ONLY