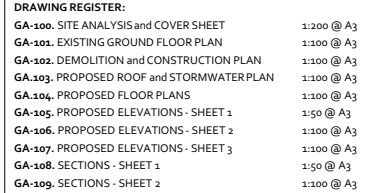


**SYMBOLS + COLOURS:**



OTHER DOCUMENTS:	
DETAILED LEVEL SURVEY	573Deatil - Issue
STATEMENT OF ENVIRONMENTAL EFFECTS	RP Design Study
BASIX CERTIFICATE	Az69862
WASTE MANAGEMENT PLAN	RP Design Study
SCHEDULE OF FINISHES	RP Design Study
GA-200-214 & GA-300	Hargroves Interiors

**SMITH ST and  
PITTWATER RD**

SMITH ST and  
PITTSWATER

EXISTING CARPORT TO \_\_\_\_\_  
BE RAISED \_\_\_\_\_

**1:200**

1. These notes and all detail drawings apply to the nominated builder and sub-contractors nominated by the Proprietor.
2. All dimensions must be checked on site prior to commencing any works or prior to producing any shop drawings.
3. Use written dimensions in reference to scaled drawings.

**REGULATORY REQUIREMENTS:**

1. The builder shall comply with the most current edition of the national construction codes of Australia (previously the BCA), the relevant Australian Standards and the Local Council, and State Environmental Planning Policies. These standards overwrite all details and notes on the drawings where applicable.
2. All contractors are to comply with site specific house rules.
3. The builder shall comply with the conditions of the consent.

**SITE MANAGEMENT NOTES:**

**1. PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE:**

a). THE BUILDER IS TO IMPLEMENT ALL NECESSARY SITE SIGNAGE, AND SEDIMENT AND EROSION CONTROL MEASURES. THE SITE IS TO BE SECURE INCLUDING ALL SECURITY SITE FENCES, OH&S PROCESSES AND THE BUILDER'S OWN OPERATIONAL SAFETY, SECURITY & PROTECTIVE MEASURES ARE IN PLACE.

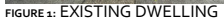
b). THE BUILDER IS TO UNDERTAKE ALL NECESSARY SERVICES CHECKS AND CONDUCT A DIAL BEFORE YOU DIAL INVESTIGATION AND CONFIRM ALL PROPERTY BOUNDARIES, EASEMENTS, ROADWAYS AND SITE ACCESS. REFER TO THIS TITLE 'GENERAL NOTE' FOR FURTHER INFORMATION.

**2. STRUCTURAL / HYDRAULIC ENGINEER TO PROVIDE DETAILED SEDIMENT & EROSION CONTROL PLAN FOR DETAILS ON PROTECTING THE SITE FOR CONSTRUCTION CERTIFICATE. THE ENGINEER IS RESPONSIBLE FOR ENSURING THAT THE SITE IS MAINTAINED DURING THE ENTIRETY OF THE CONSTRUCTION PROCESS.**

**3. FUTURE STRUCTURAL AND HYDRAULIC PLANS / SPECIFICATIONS WILL DETAIL ALL RELEVANT SUB STRUCTURE AND NEW SERVICES.**

[illegible]

FIGURE 2: SATELLITE VIEW\_sourced from six map



## RESIDENTIAL DWELLINGS

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Lot 2, DP 519523  
 JOINING ONE and TWO STOREY B  
 and CLAD RESIDENCE, TILE ROO

PROVIDED ON THESE  
 REDUCED BASED ON  
 TO USE BY THE C

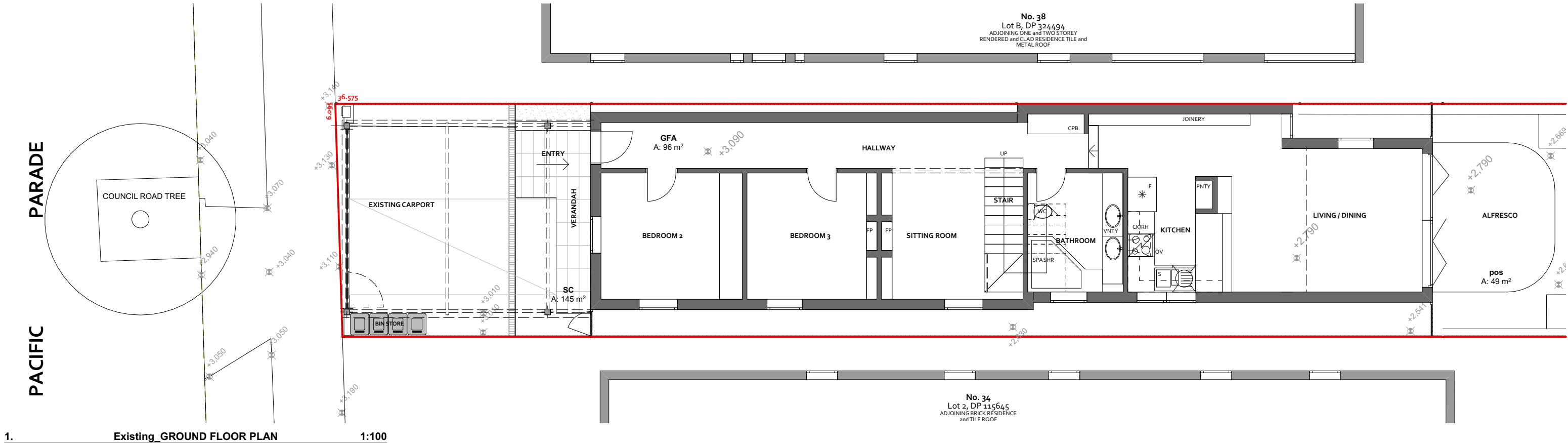
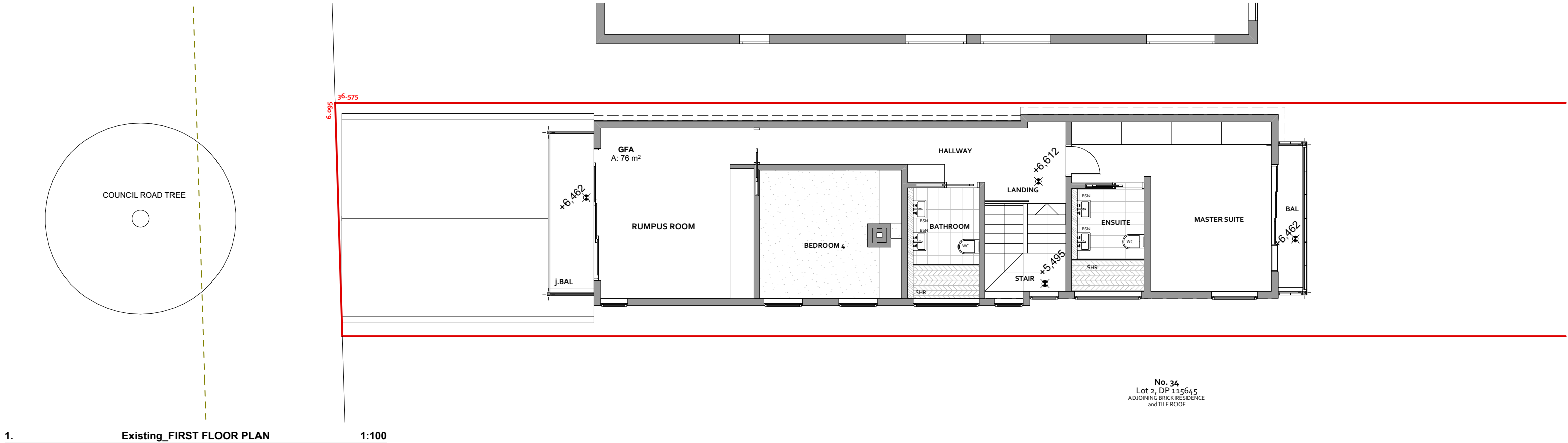
CONSULTANTS.  
Y OF THE CONTR

### LEVELS, UNDERGROUND FLOORS AND FLOOR AREAS

ENTION OF THE F  
R TO THE COMME  
or FABRICATION

	Pr
--	----

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL DIMENSIONS, LEVELS, SEWER AND STORMWATER INVERT LEVELS, UNDERGROUND AND OVERHEAD SERVICES, AND FLOOR AREAS CHECKED AND VERIFIED, ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PROJECT SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK OR FABRICATION OF ITEMS.



SYMBOLS:

SEDIMENT / SECURITY FENCE, REFER TO FIGURE 3.

COVERED STOCKPILES DURING CONSTRUCTION

CONSTRUCTION WASTE MANAGEMENT BIN LOCATION PICK UP FROM THE STREET.

SAND BAGS TO STREET KERB AT INLET

CONSTRUCTION VEHICLES WILL UTILISE STREET PARKING ON STREETS THAT ALLOW PARKING IN THE NEAR VICINITY OF THE HOUSE.

ANY REQUIREMENT FOR DELIVERIES / WASTE MANAGEMENT WILL REQUIRE SAFE TRAFFIC CONTROL ALONG PACIFIC STREET. WHERE POSSIBLE SOUTH DOWLING STREET WILL BE KEPT CLEAR AT ALL TIMES DURING THE CONSTRUCTION PROGRAM.

FIGURE 1.

FIGURE 2.

**SOIL CONSERVATION NOTES:**

**TYPICAL**

a) Prior to any clearing or excavation a temporary sediment trap arrangement shall be made to ensure the capture of any water bourne material generated from the site.

b) Provide a sediment fence as shown on this plan.

c) Where possible do not extend land disturbance activities of any essential construction activity.

**DURING CONSTRUCTION**

f) Siltation protection described above shall be maintained during the course of construction.

g) Newly constructed pits shall be protected from any sediment entry.

h) Once in place, no siltation protection shall be removed without council approval.

i) After each storm, all sediment traps shall be cleaned and replaced if required.

j) Building operations such as brick cutting, washing tools or brushes and mixing mortar are not permitted on public roadways or footways or in any other locations which could lead to the discharge of materials into the stormwater drainage system.

k) Stockpiles of topsoil, sand, aggregate, soil or other material shall not be located on any drainage line or easment, natural watercourse, footpath or roadway.

l) Installation of gutters, downpipes and the connection of downpipes to the stormwater disposal system to be done prior to the fixing of roof cladding.

m) Other methods of sediment controls may be required by the council and shall be complied with.

2. Demolition\_GROUND FLOOR PLAN 1:100

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General Note

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Client

Matt and Bianca Mouldsdale

North

ISSUE	BY	DESCRIPTION	DATE
S	RP	ISSUE FOR DEVELOPMENT APPLICATION	26.07.2021
R	RP	ISSUE FOR APPROVAL	07.09.2021
O	RP	ISSUE FOR REVIEW AND DISCUSSION	15.02.2023
P	RP	ISSUE FOR SECTION g/k	01.06.2028

Notes

DEVELOPMENT APPLICATION

Date	JUL 2021	Title	DEMOLITION and MANAGEMENT PLAN	Sheet No	GA-102	Issue	S
Drawn	RP D S						

Project

PROPOSED INCREASE HEIGHT TO EXISTING CARPORT.

Address

Lot 1, DP 115645; 36 Pacific Parade; Manly, 2095

Scale

1:100, 1:100 (P & A)



THE BUILDER WILL BE RESPONSIBLE TO CONFIRM THE LOCATION OF ALL EXISTING SERVICES ON SITE AND TO UNDERTAKE A DIAL BEFORE YOU DIG PRIOR TO ANY COMMENCEMENT OF WORKS ON SITE.

STORMWATER DISCHARGE NOTES:

1. THE NEW WORK DOES NOT INCREASE THE ROOF AREA. THE ROOF RUNOFF WILL MAKE USE OF EXISTING DOWNPIPES.
2. DESIGNED AND TO BE BUILT IN ACCORDANCE WITH AS/NZS 3500:2003 AND NORTHERN BEACHES COUNCIL WATER MANAGEMENT TECHNICAL GUIDELINES.

LEGEND:

DP (DOWNPIPES): DETAILS AND FINAL LOCATIONS BY HYDRAULIC ENGINEER. PRE-FINISHED METAL NON-CORROSIVE.

RWO (RAINWATER OUTLET): DETAILS AND FINAL LOCATIONS BY HYDRAULIC ENGINEER

SITE MANAGEMENT NOTES:

1. PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE:

a). THE BUILDER IS TO IMPLEMENT ALL NECESSARY SITE SIGNAGE, AND SEDIMENT AND EROSION CONTROL MEASURES. THE SITE IS TO BE SECURE INCLUDING ALL SECURITY SITE FENCES, OH&S PROCESSES AND THE BUILDER'S OWN OPERATIONAL, SAFETY, SECURITY & PROTECTIVE MEASURES ARE IN PLACE.

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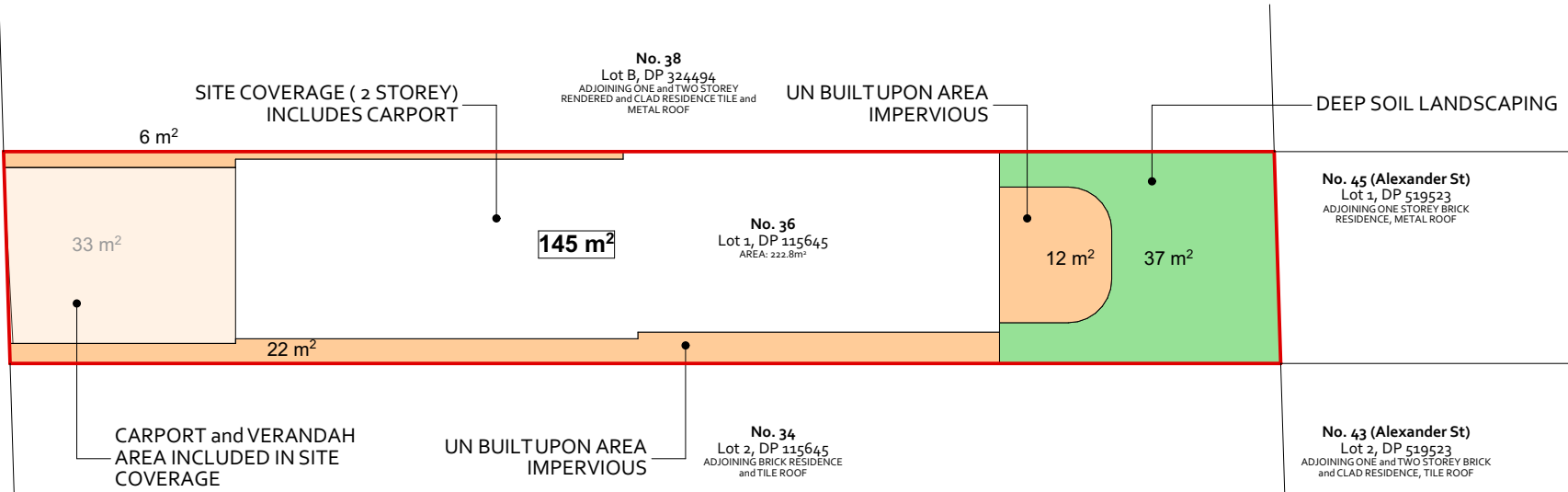
2. STRUCTURAL PLANS / SPECIFICATIONS WILL DETAIL ALL RELEVANT REQUIREMENTS TO THE EXTENSION OF THE FRAME AND ENSURE THE EXISTING ELEMENTS ARE ADEQUATE FOR THE ROOF TO BE RAISED.

PACIFIC PARADE

COUNCIL ROAD TREE

6. Proposed CALCULATION PLAN

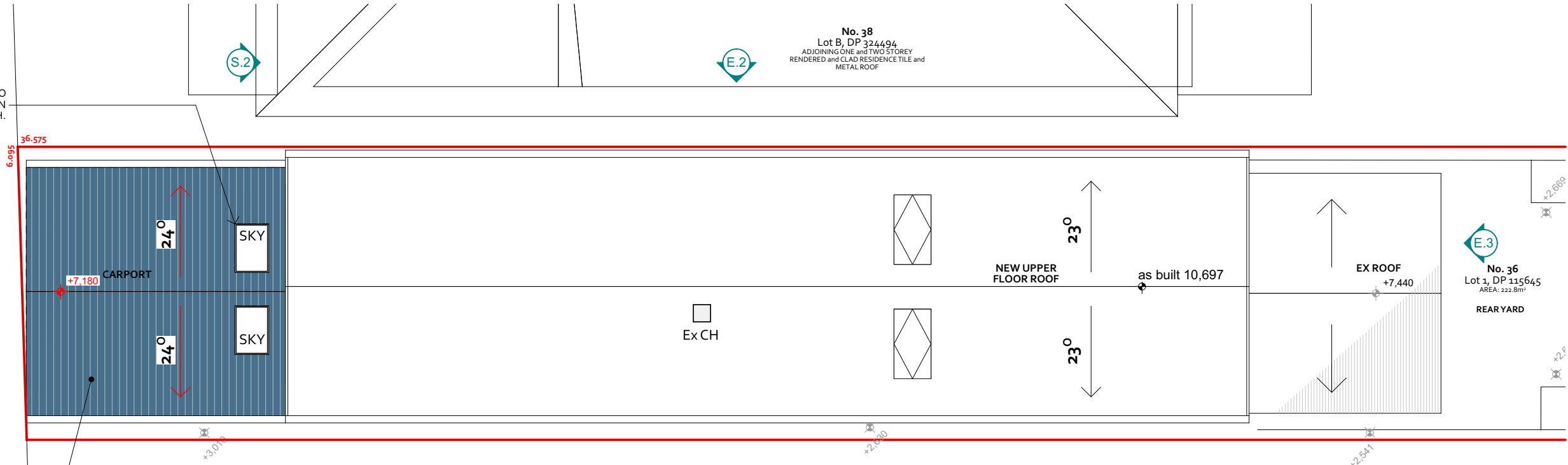
1:200



PARADE

PACIFIC

INSTALL NEW SKYLIGHTS TO CARPORT TO TAKE LIGHT DOWN TO ENTRY VERANDAH.



EXISTING CARPORT ROOF and ROOF FRAMING, INCLUDING BEAMS, GUTTERS and STORAGE PLATFORM TO BE RAISED BY 450mm. ALLOW TO EXTEND THE POSTS, THE GATE OPERATING FRAME and DOWNPIPES TO SUIT THE NEW HEIGHT

1. Proposed ROOF PLAN 1:100

AREAS:

Site Area:	222.8m <sup>2</sup>	
Existing Site Coverage:	145.0m <sup>2</sup>	(0.65:1)
- no change		
Existing GFA	173.0m <sup>2</sup>	(0.77:1)
- no change		
Existing Ridge Height:	new ridge height at the highest point of new addition rl 10.697 (7.570m above natural ground level)	
- no change		
Front and Side Setbacks:	REFER TO PLANS	
- no change, these are existing		
Proposed Deep Soil Landscaping	n/a	existing areas to remian.
Private Open Space	58.0m <sup>2</sup>	includes rear yard and balconies
- no change		

Items	Applies	Requirement	Proposal
LZN_003	Yes	R1-General Residential	no change
FSR_003	No	Area F 0.6:1	no change
HOB_003	Yes	Area I 8.5m	no change
ASS_003	Yes	Class 4	no ground works
HER_003	Yes	Street Trees	no work in street



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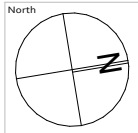
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Client  
Matt and Bianca Mouldsdale



ISSUE	BY	DESCRIPTION	DATE
S	RP	ISSUE FOR DEVELOPMENT APPLICATION	16.07.2021
R	RP	ISSUE FOR APPROVAL	19.07.2021
O	RP	ISSUE FOR REVIEW AND DISCUSSION	15.07.2021
P	RP	ISSUE FOR SECTION 94	01.06.2018

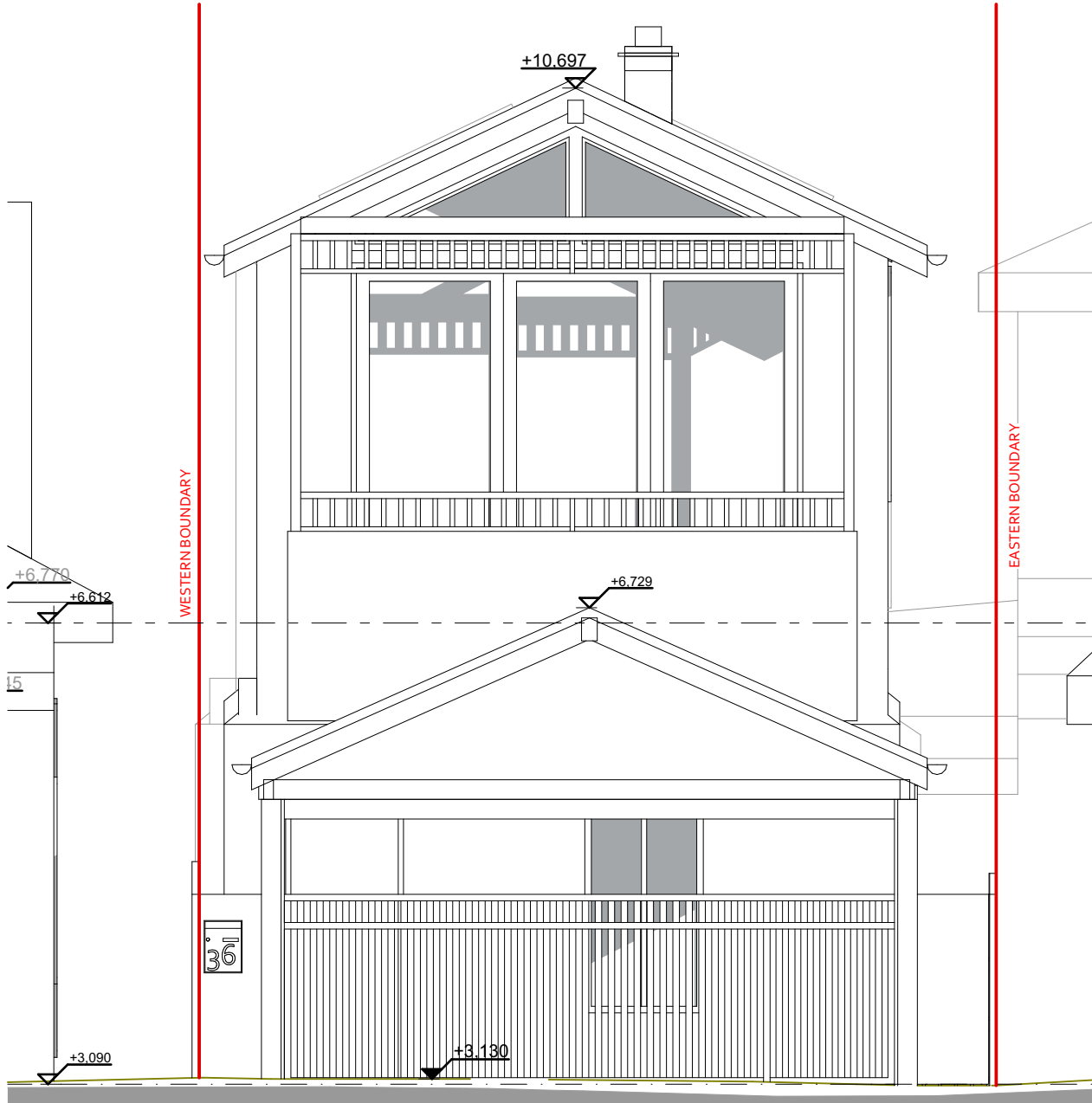
Notes  
DEVELOPMENT APPLICATION

Date	JUL 2021	Title	ROOF and SCHEDULE OF AREAS	Sheet No	GA-103	Issue	S
Drawn	RP D S						

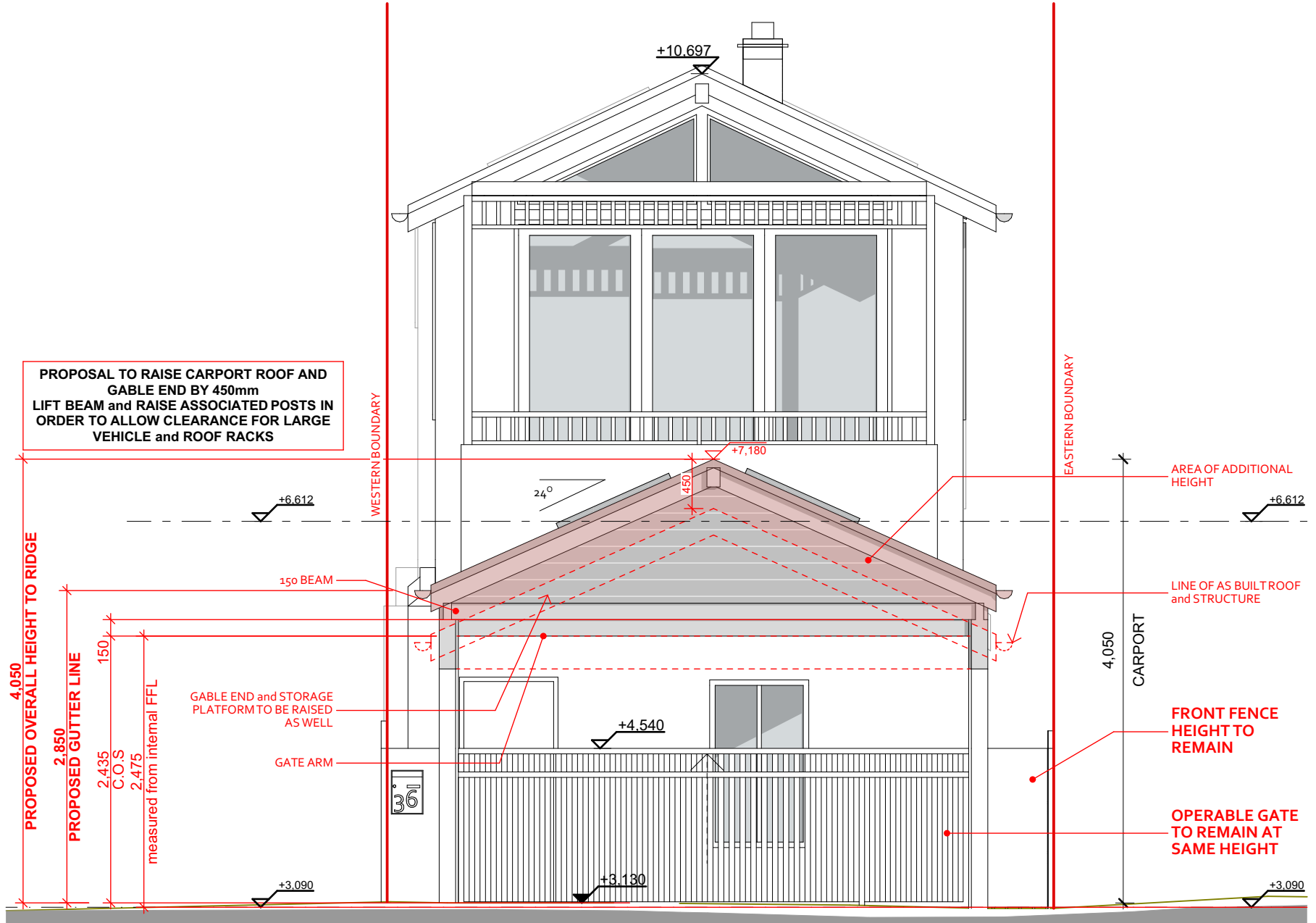
Project  
PROPOSED INCREASE HEIGHT TO EXISTING CARPORT.

Address  
Lot 1, DP 115645; 36 Pacific Parade; Manly, 2095





E.1 Existing\_PACIFIC PDE ELEVATION (SOUTH) 1:50



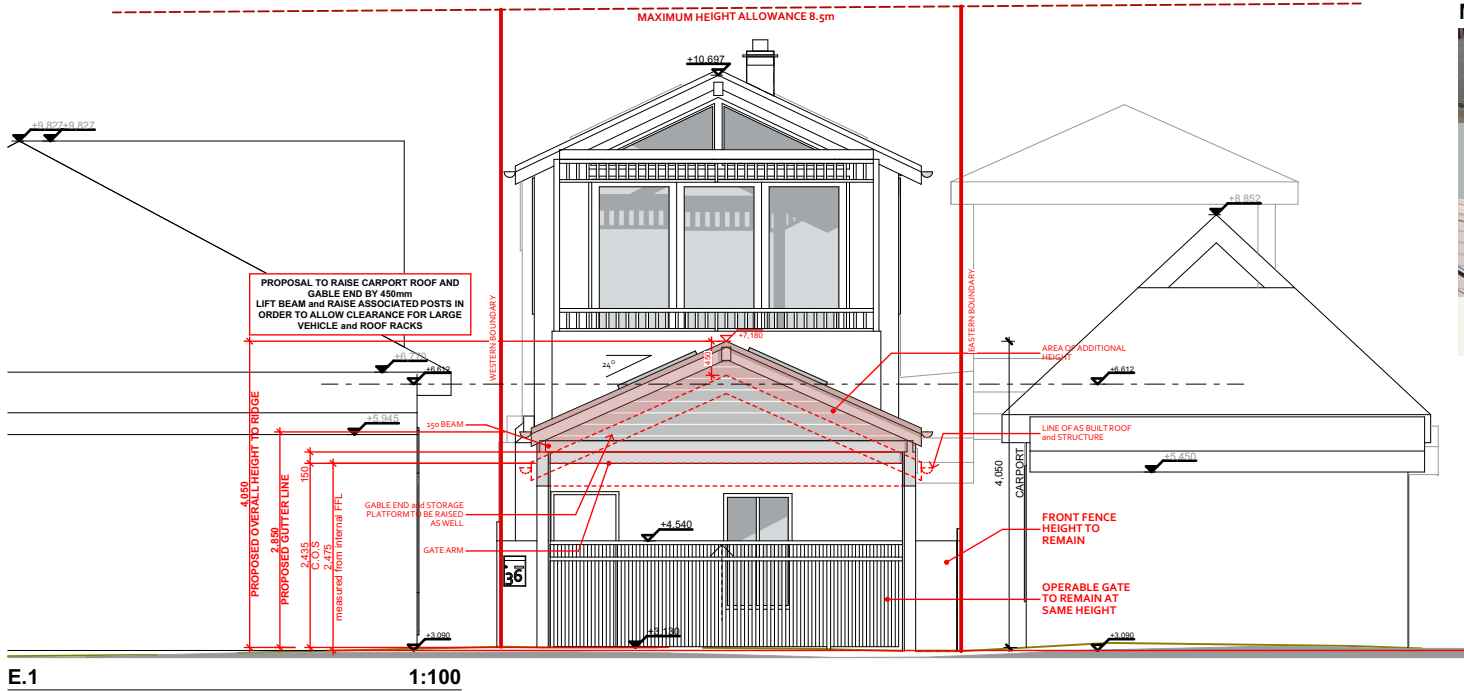
E.1 Proposed\_PACIFIC PDE ELEVATION (SOUTH) 1:50



FIGURE 1: EXISTING DWELLING



FIGURE 2: PROPOSED new WORKS\_streetview



E.1 1:100

EXISTING - NO NEW MATERIALS:

