

SITE RATIOS - PROPOSED:	
SITE AREA	809.40m <sup>2</sup>
BUILDING FOOTPRINT	218.50m <sup>2</sup>
CARPORT	20.22m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	91.56m <sup>2</sup>
POOL SURROUNDS	27.94m <sup>2</sup>
PORCH/PORTICO/DECKS	64.61m <sup>2</sup>
AREAS UNDER 2m WIDE	48.95m <sup>2</sup>
SUM TOTAL	471.78m <sup>2</sup>
EXISTING LANDSCAPED AREA	337.62m <sup>2</sup>
	41.7%

# 1 SITE PLAN 1:200 & SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/1763

2.1km TO PUBLIC  
PRIMARY HIGH  
SCHOOL

## NOTES

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## BUSHFIRE REQUIREMENTS

All materials and construction methods shall meet AS 3959-2018

BAL-29 construction of buildings in bush fire prone areas

## BASIX INFORMATION REQUIREMENTS:

### LIGHTING:

A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

### WATER COMMITMENTS:

Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

### INSULATION REQUIREMENTS:

External walls: The external walls shall be framed (weatherboard, fibro, metal clad) and shall meet minimum R1.70 (including construction).

Internal walls: Internal walls shared with garage shall be plasterboard lined (R0.36)

### WINDOWS, GLAZED DOORS & SKYLIGHTS:

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Client

MR. & MRS. DAKING

Project Name

PROPOSED ALTERATIONS + ADDITIONS

17 CALOOL CRESCENT

LOT 2, DP 246218

BELROSE NSW 2085



ABN 22 630 690 834

BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST

P.H. 0410 410 064 EMAIL juke@jahdesigns.com.au

Drawing Title:

SITE PLAN

Scale:

1:200 @ A3

Status:

DA submission

Project No:

2025

Plot Date:

21/12/2020

Date:

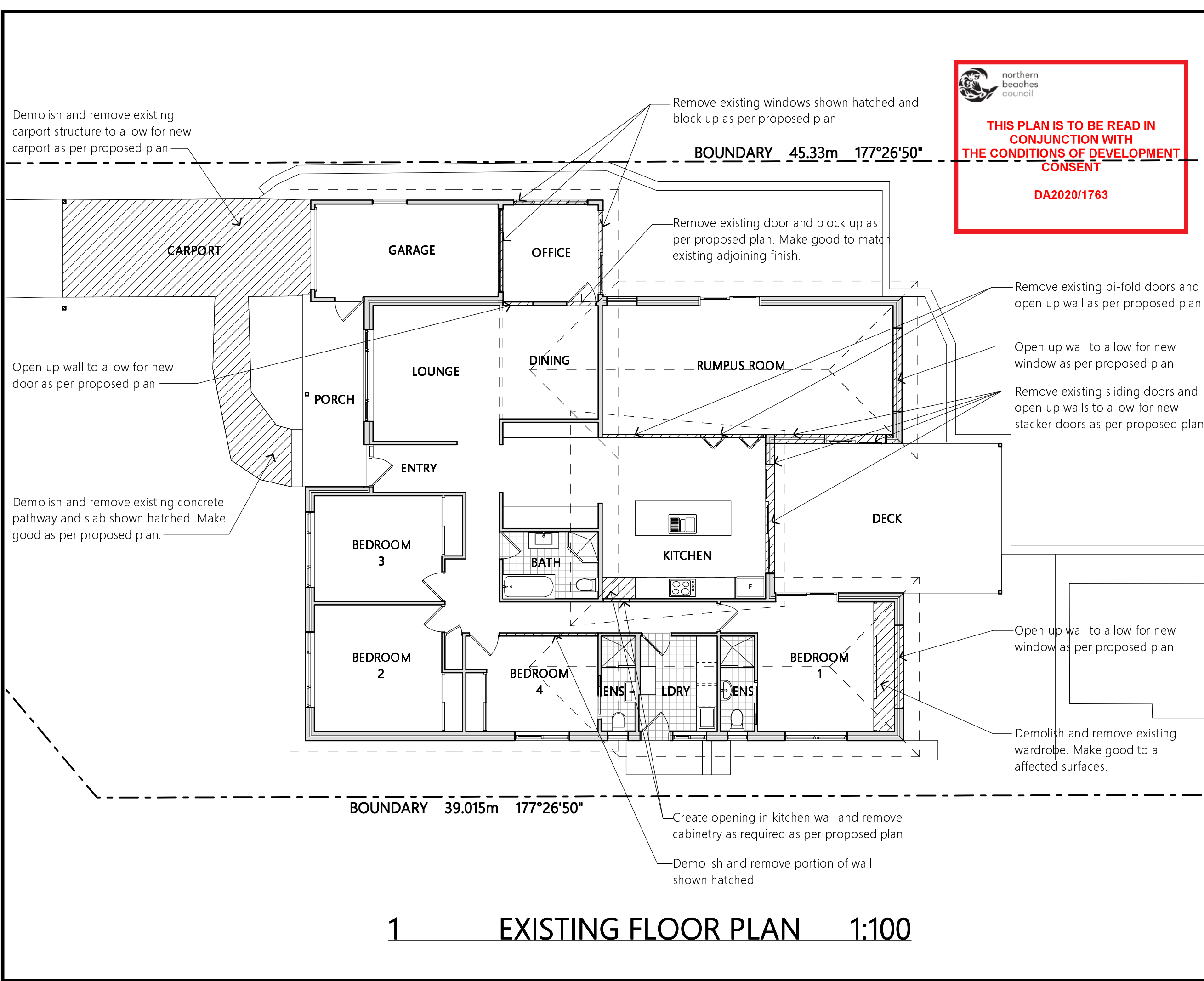
DECEMBER 2020

Checked By:

JAH

Drawing No.:

DA01



 **northern  
beaches  
council**

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**DA2020/1763**

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
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Project North

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**LOT 2 , DP 246218**

**BELROSE NSW 2085**



**JAH**  
DESIGN SERVICES

ABN 22 630 690 834  
BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST  
P.H. 0410 410 064 EMAIL: jule@jahdesigns.com.au

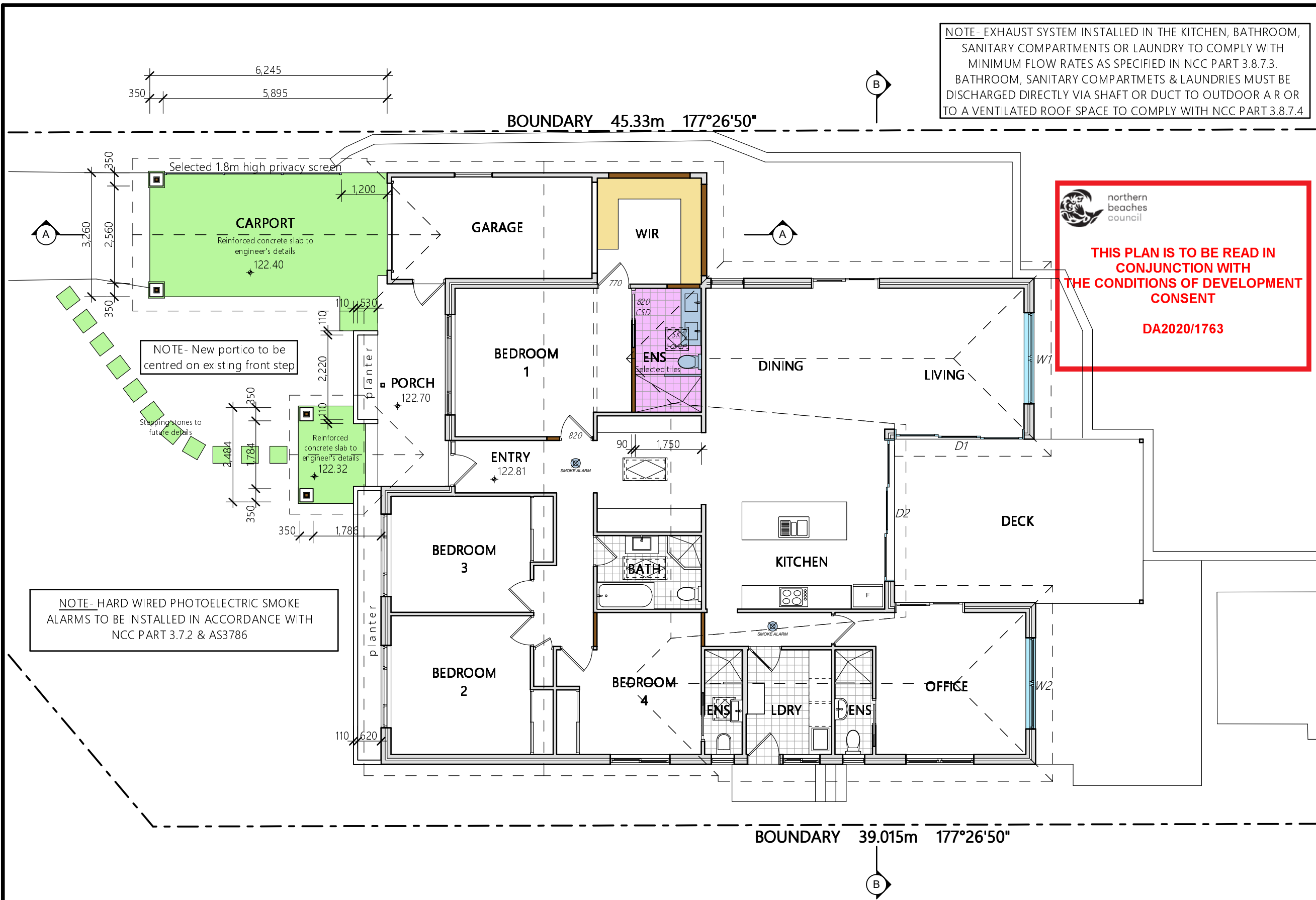
Drawing Title:

**EXISTING FLOOR PLAN**

Scale: 1:100 @ A3	Date: DECEMBER 2020
Status: DA submission	Checked By: JAH
Project No: 2025	Drawing No.: DA02

Plot Date: 21/12/2020

**1 EXISTING FLOOR PLAN 1:100**



1 PROPOSED FLOOR PLAN 1:100

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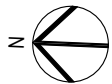
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P.H. 0410 410 064 EMAIL juke@jahdesigns.com.au

Drawing Title:

PROPOSED FLOOR PLAN

Scale: 1:100 @ A3

Date: DECEMBER 2020

Status: DA submission

Checked By: JAH

Project No:

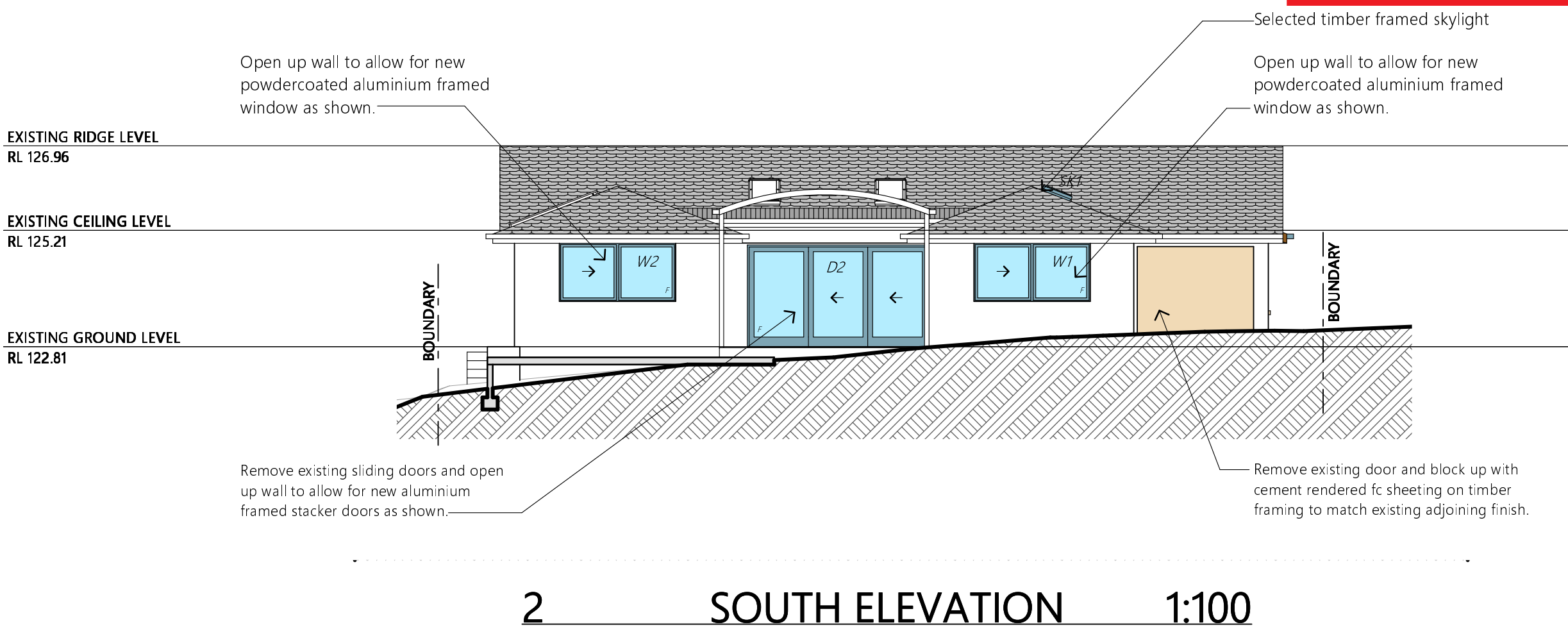
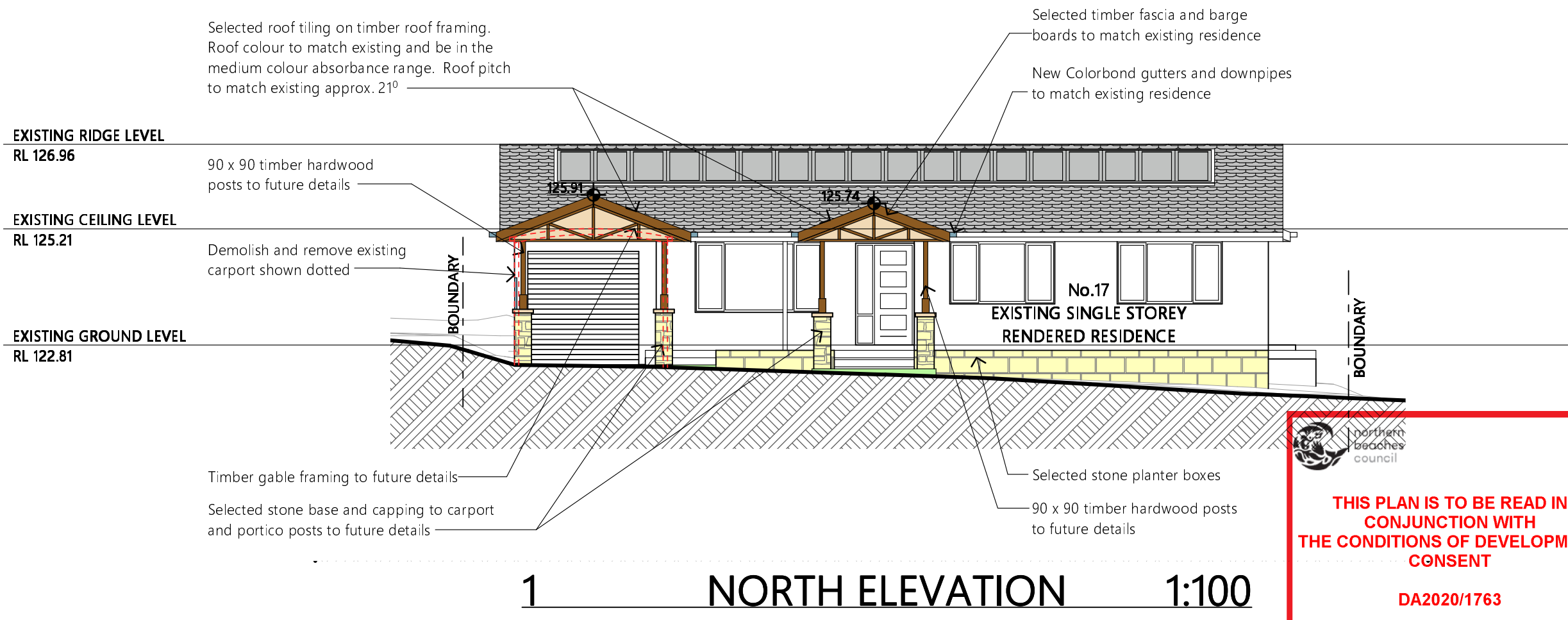
2025


Drawing No.:

DA03

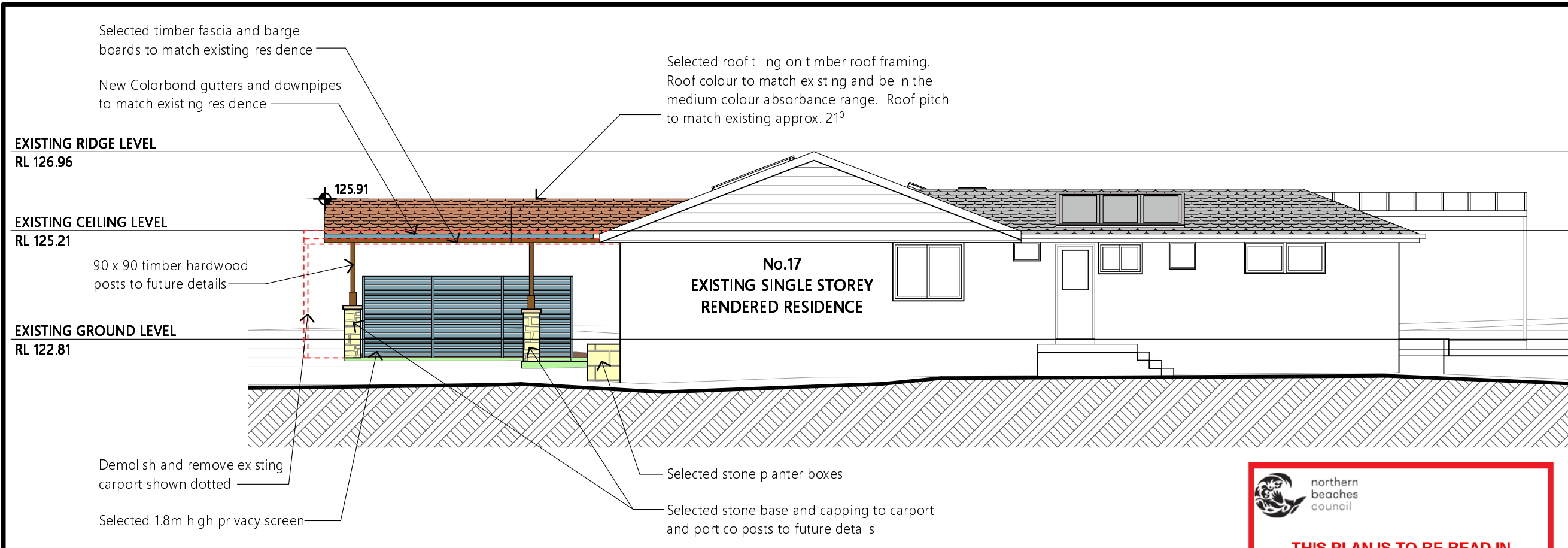
Plot Date:

21/12/2020

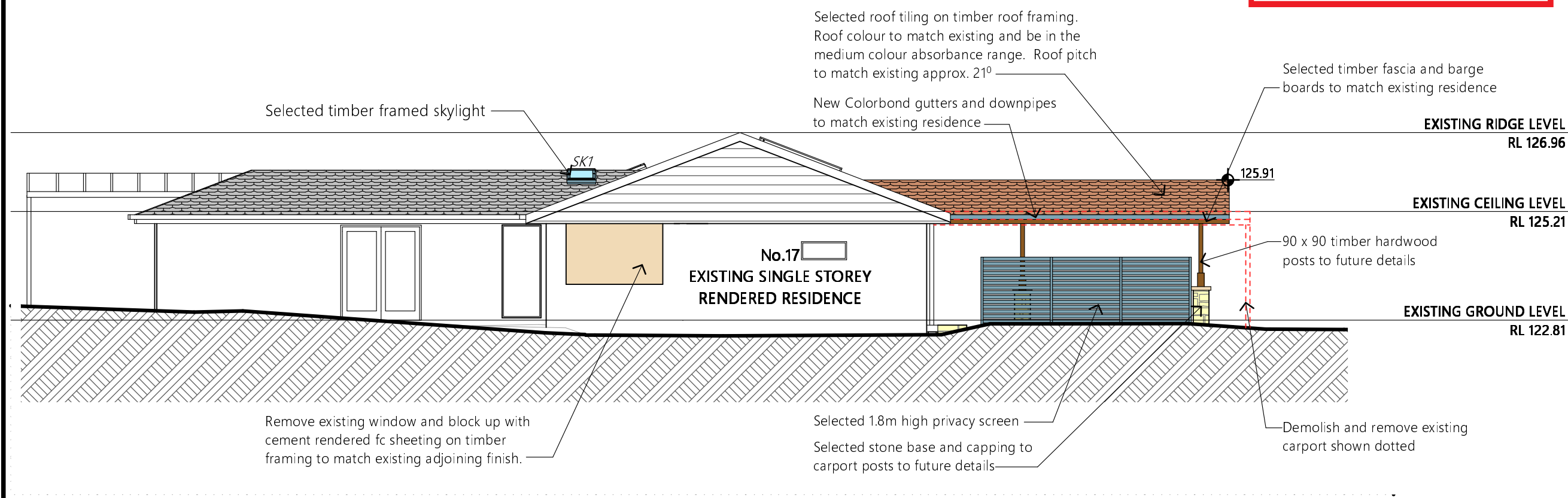


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Client <b>MR. &amp; MRS. DAKING</b> Project Name <b>PROPOSED ALTERATIONS + ADDITIONS</b> <b>17 CALOOL CRESCENT</b> <b>LOT 2 , DP 246218</b> <b>BELROSE NSW 2085</b>	
 <p>ABN 22 630 690 834 BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST P.H. 0410 410 064 EMAIL: julie@jahdesigns.com.au</p>	
Drawing Title: <b>NORTH &amp; SOUTH ELEVATIONS</b>	
Scale: 1:100 @ A3	Date: DECEMBER 2020
Status: DA submission	Checked By: JAH
Project No: <b>2025</b>	Drawing No.: <b>DA04</b>
Plot Date:	21/12/2020





1 WEST ELEVATION 1:100



2 EAST ELEVATION 1:100

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**17 CALOOL CRESCENT**  
**LOT 2 , DP 246218**  
**BELROSE NSW 2085**

ABN 22 630 690 834  
BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST  
P.H. 0410 410 064 EMAIL: julie@jahdesigns.com.au

Drawing Title:  
**EAST & WEST ELEVATIONS**

Scale: 1:100 @ A3	Date: DECEMBER 2020
Status: DA submission	Checked By: JAH
Project No: <b>2025</b>	Drawing No.: <b>DA05</b>

Plot Date: 21/12/2020

EXISTING RIDGE LEVEL  
RL 126.96

EXISTING CEILING LEVEL  
RL 125.21

EXISTING GROUND LEVEL  
RL 122.81

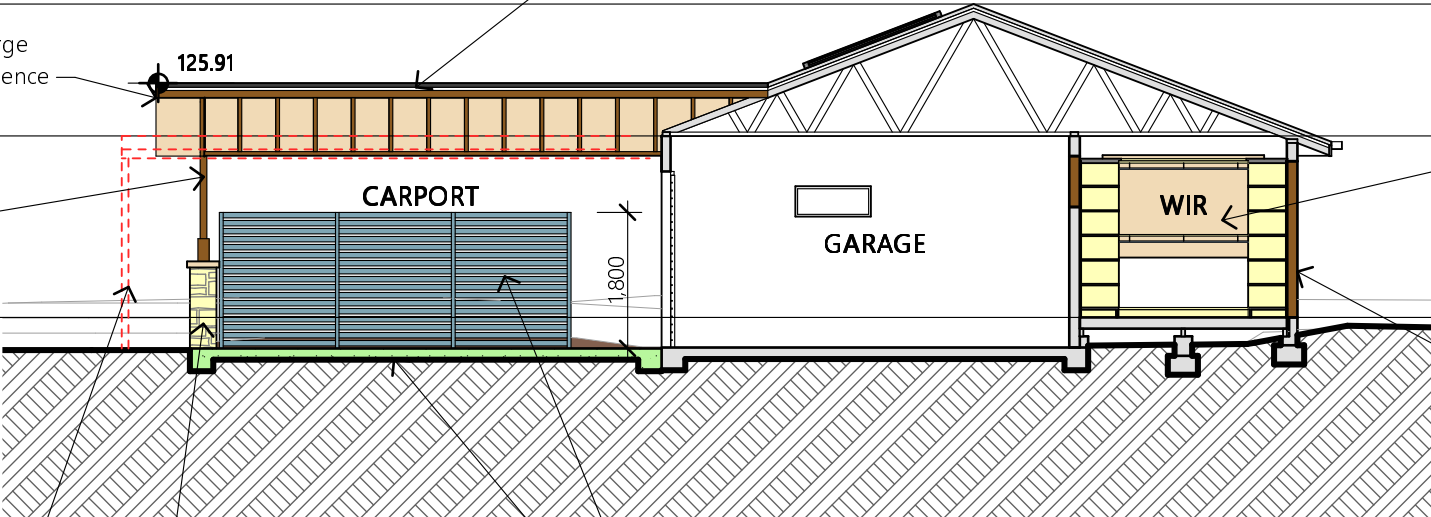
Selected timber fascia and barge boards to match existing residence

90 x 90 timber hardwood posts to future details

Demolish and remove existing carport shown dotted

Selected stone base and capping to carport and portico posts to future details

Selected roof tiling on timber roof framing. Roof colour to match existing and be in the medium colour absorbance range. Roof pitch to match existing approx. 21°



Selected 1.8m high privacy screen

Reinforced concrete slab and footings to engineer's details

Remove existing window and block up with cement rendered fc sheeting on timber framing to match existing adjoining finish.

Remove existing door and block up with cement rendered fc sheeting on timber framing to match existing adjoining finish.

 **northern beaches council**

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**DA2020/1763**

1 SECTION A-A 1:100

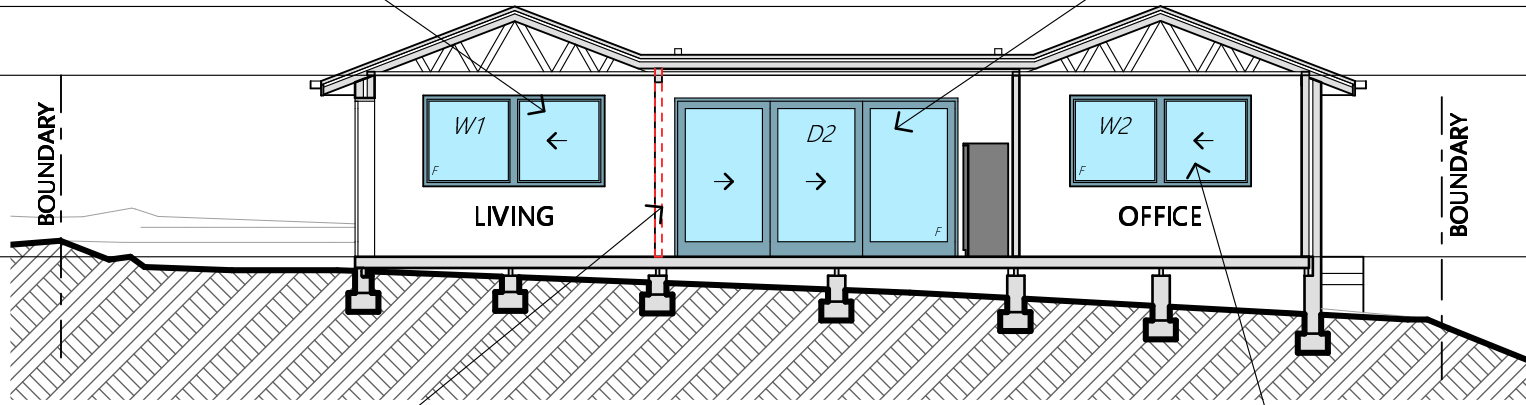
EXISTING RIDGE LEVEL  
RL 126.25

EXISTING CEILING LEVEL  
RL 125.21

EXISTING GROUND LEVEL  
RL 122.81

Open up wall to allow for new powdercoated aluminium framed window as shown.

Remove existing sliding doors and open up wall to allow for new aluminium framed stacker doors as shown.



Remove existing bi-fold doors and wall dotted.

Open up wall to allow for new powdercoated aluminium framed window as shown.

2 SECTION B-B 1:100

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**JAH**  
**DESIGN SERVICES**  
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SECTIONS			
Scale:	1:100 @ A3	Date:	DECEMBER 2020
Status:	DA submission	Checked By:	JAH
Project No:	2025	Drawing No.:	DA06
Plot Date:	21/12/2020		