

# AUTHORITY APPROVAL APPLICATION / DEVELOPMENT APPLICATION

## CHANGE OF BUILDING CLASSIFICATION FROM CLASS 1 TO CLASS 2

OWNER: MS R STEVENS

SITE ADDRESS: DP 379781 / LOT 2  
52 BUNGAN HEAD ROAD  
NEWPORT NSW

PROJECT No: 2171

### DRAWING REGISTER

- A-01 | REV A - COVER SHEET
- A-02 | REV A - SITE PLAN AND SITE ANALYSIS PLAN
- A-03 | REV A - FLOOR PLANS, ROOF PLAN AND NOTES
- A-04 | REV A - STREET & SOUTH ELEVATION
- A-05 | REV A - NORTH ELEVATION
- A-06 | REV A - EAST ELEVATION
- A-07 | REV A - WEST ELEVATION
- A-08 | REV A - CROSS SECTION (CENTRE OF RIDGE)



**AUTHORITY APPROVAL**

**PROJECT DIRECTORY**

CONTRACTOR  
**BWK SERVICES PTY LTD**  
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DOCUMENTATION  
STUART QUIRK - PRE-CONSTRUCTION SERVICES  
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EMAIL: [sjquirk70@gmail.com](mailto:sjquirk70@gmail.com)

CLIENT/S  
**MS R STEVENS**

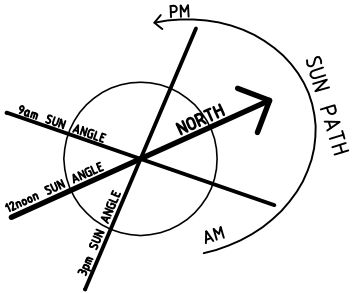
PROJECT  
**BUILDING CLASSIFICATION  
FROM CLASS 1 TO CLASS 2**  
ADDRESS  
**DP 379781 / LOT 2  
52 BUNGAN HEAD ROAD  
NEWPORT NSW**

DRAWING TITLE  
**CROSS SECTION  
(CENTRE OF RIDGE)**

DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-01
		REVISION	A

MYOLA

ROAD



WINTER  
BREEZE  
DIRECTION

ROAD

HEAD

IMPORTANT  
VIEWS

BUNGAN

BENCH MARK CUT  
TOP OF KERB  
RL 52.38 (A.H.D.)

BIT. + 52.59

SEWER

WINDOW SCHEDULE					
No.	SILL RL	HEAD RL	HEIGHT	WIDTH	NOTES / BCA UPGRADES
W1	64.36	65.83	1470	3628	
W2	61.65	63.01	1360	2437	
W3	58.53	60.24	1710	1802	
W4	59.34	60.24	900	1526	
W5	56.98	57.64	660	1784	

SITE PLAN AND SITE ANALYSIS PLAN

RESIDENTIAL  
HOUSE

RESIDENTIAL  
HOUSE

RESIDENTIAL  
HOUSE

SITE ANALYSIS

SITE BOUNDARY AREA :	567.8 Sq.M.
GROUND FLOOR - UNIT 1 FOOTPRINT AREA : (including parking 29.5 Sq.M.)	55.6 Sq.M.
GROUND FLOOR - UNIT 2 FOOTPRINT AREA :	59.5 Sq.M.
FIRST FLOOR - UNIT 1 FOOTPRINT AREA :	110.5 Sq.M.
TOTAL FOOTPRINT FLOOR AREA :	225.6 Sq.M.
(TOTAL FOOTPRINT FLOOR AREA EXCLUDING PARKING):	(196.1 Sq.M.)
FSR RATIO :	40%
(FLOOR FOOTPRINT AREA DIVIDED BY SITE BOUNDARY AREA)	
DWELLING FOOTPRINT AREA :	135.8 Sq.M.
LANDSCAPING AREA - SOFT : (TURF, GARDENS AND PATHS / STAIRS LESS THAN 1M)	338.7 Sq.M.
LANDSCAPING AREA - HARD : (DRIVEWAY 46.4 Sq.M. / DECK 46.9 Sq.M)	93.3 Sq.M.
SITE COVERAGE :	40%
(DWELLING FOOTPRINT AREA + LANDSCAPING AREA - HARD DIVIDED BY SITE BOUNDARY AREA)	
LANDSCAPE AREA COVERAGE : (LANDSCAPING AREA - SOFT DIVIDED BY SITE BOUNDARY AREA)	60%

SURVEY PLAN BY & ACKNOWLEDGEMENT:



**YSKO GEOMATICS**  
LAND RESOURCE CONSULTANTS  
SUITE 4, 114 HAMPDEN ROAD, ARTARMON, 2064  
PH: (02) 94198222  
Email: enquiries@yscogeomatics.com.au  
Website: www.yscogeomatics.com.au  
YOUNG STROUD & COMPANY PTY LTD A.C.N. 002 819 805

GEOMATIC ENGINEERING  
LAND & ENGINEERING SURVEYING  
PROJECT MANAGEMENT  
SOIL AND WATER MANAGEMENT  
ENVIRONMENTAL PLANNING & DESIGN  
PROFESSIONAL  
STANDARDS SCHEME  
Liability limited by a scheme  
approved under Professional  
Standards Legislation

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**NEWPORT NSW**

DRAWING TITLE

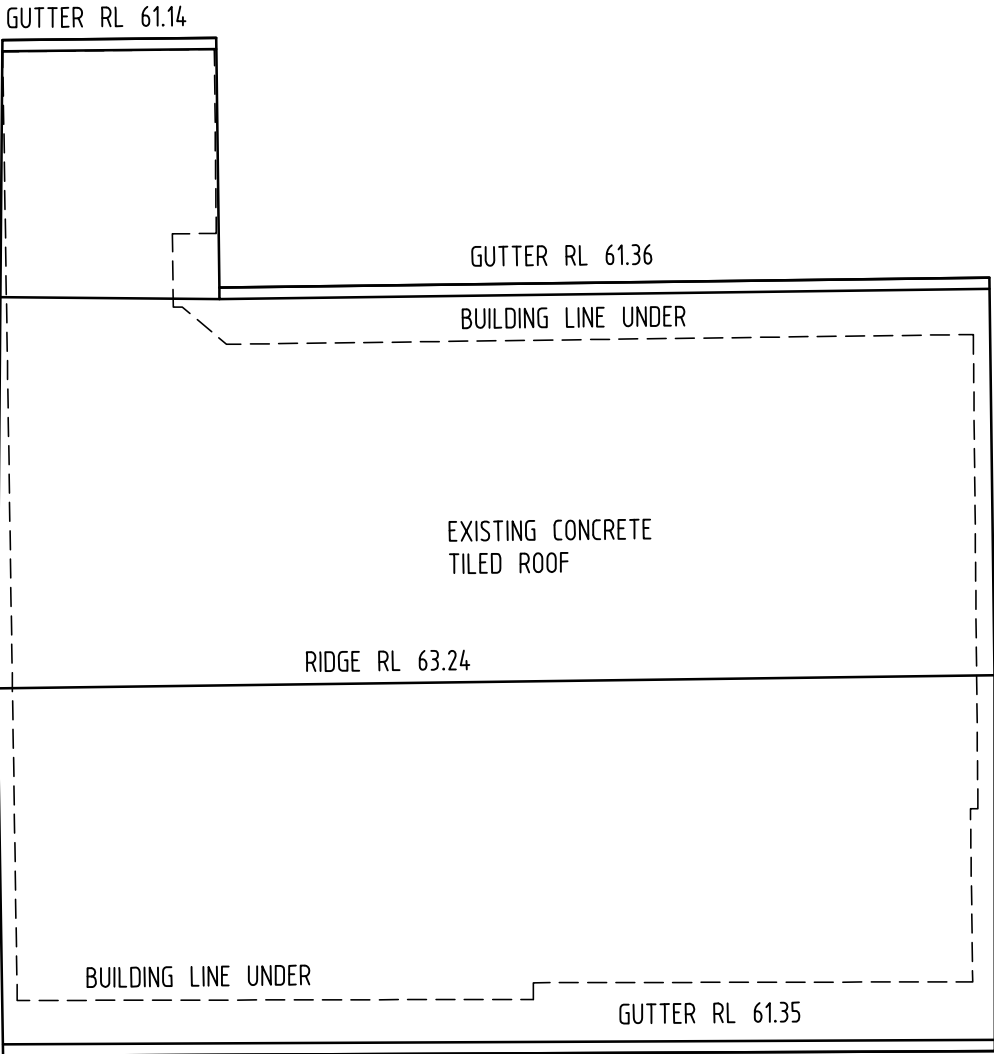
**SITE PLAN**  
**AND SITE ANALYSIS**

DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:200
JOB NUMBER	2171	DRAWING NUMBER	A-02
		REVISION	A

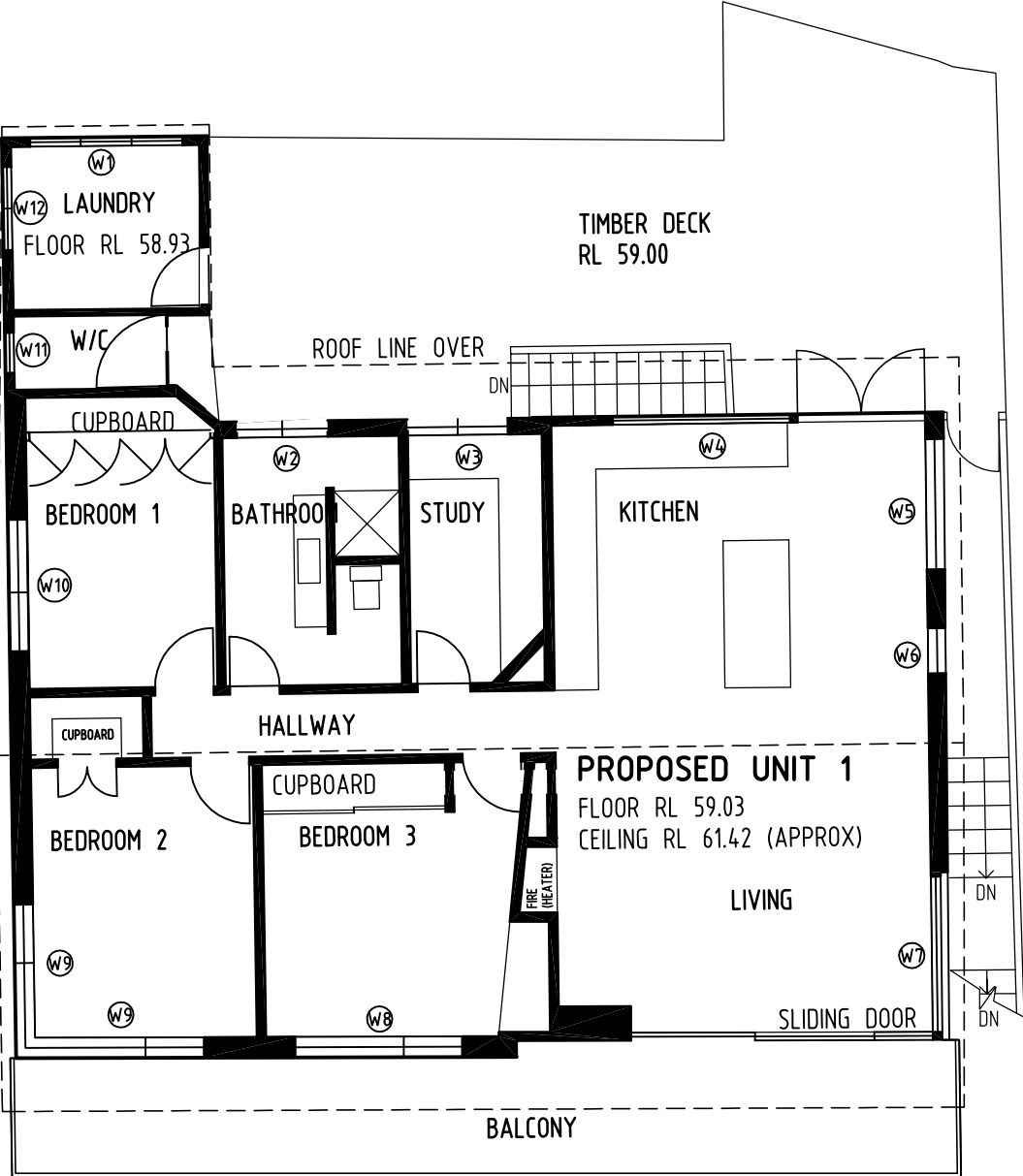
WINDOW/DOOR SCHEDULE					
No.	SILL RL	HEAD RL	HEIGHT	WIDTH	NOTES / BCA UPGRADES
W1	60.06	60.92	860	2080	
W2	60.29	61.2	910	1240	
W3	59.93	61.16	1230	1370	
W4	59.93	61.16	1230	2420	
W5	59.71	61.21	1500	1780	
W6	59.03	61.16	2130	620	
W7/D	59.03	61.16	2130	2120	
W8	59.68	61.16	1480	2280	
W9	59.68	61.16	1480	2310	
W9	59.68	61.16	1480	1820	
W10	59.68	61.16	1480	1790	
W11	60.21	60.92	710	550	
W12	60.06	60.92	860	1140	
W13	56.50	58.58	2080	880	WINDOW DRENCHER AS REQ'D
W14	57.91	58.52	610	1820	WINDOW DRENCHER AS REQ'D
W15	57.08	58.55	1470	2300	
W16	57.08	58.55	1470	2300	WINDOW DRENCHER AS REQ'D
W17	57.78	58.31	530	1850	WINDOW DRENCHER AS REQ'D
W18	57.66	58.68	1020	1600	WINDOW DRENCHER AS REQ'D

- NOTES:
- A. PRPOSED UNIT 1 GARAGE / STORE AREA TO RETAIN EXISTING EXPOSED TIMBER BEAMS AND FLOOR JOIST / NO CEILING
  - B. EXISTING BRICKWORK WALL TO SEPARATE PROPOSED UNITS 1 AND 2. EXISTING WALL SHALL BE COMPLY WITH BCA REQUIREMENTS FOR FIRE AND ACOUSTIC PURPOSES
  - C. EXISTING PLASTERBOARD CEILING IN PROPOSED UNIT 2 TO BE REPLACED WITH NEW FIRE RATED PLASTERBOARD TO COMPLY WITH BCA REQUIREMENTS.
  - D. PROVIDE SUITABLE SOUND INSULATION IN SUB-FLOOR OF PROPOSED UNIT 2 TO COMPLY WITH BCA REQUIREMENTS.
  - E. PROTECTION OF OPENING AS REQUIRED BY BCA REQUIREMENTS FOR GROUND FLOOR LEVEL.
  - F. NO PROPOSED BCA UPGRADE WORKS TO FIRST FLOOR LEVEL.

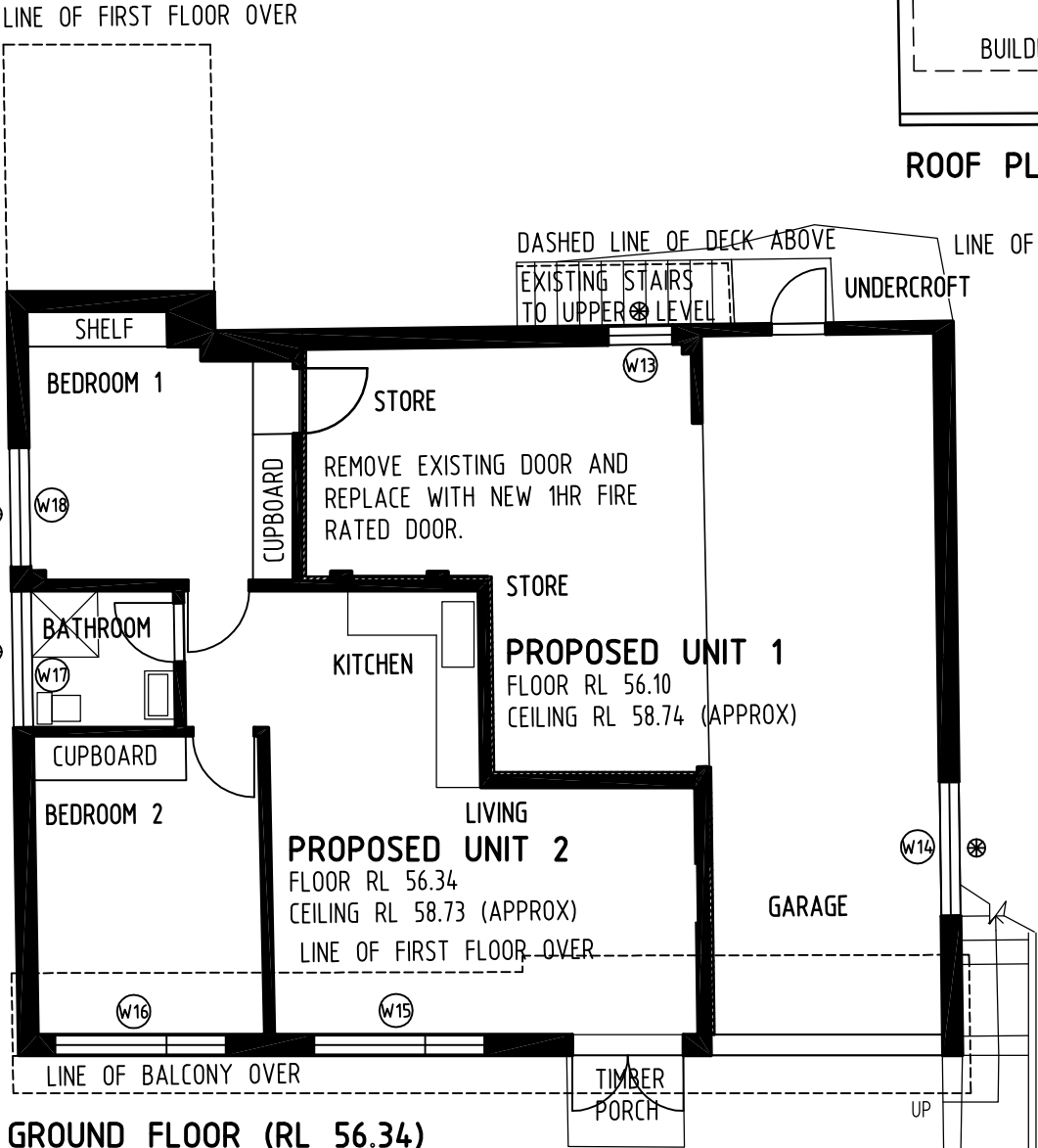
⊗ DENOTES - WINDOW DRENCHER



ROOF PLAN (RL 59.03)



FIRST FLOOR (RL 59.03)



GROUND FLOOR (RL 56.34)

NORTH

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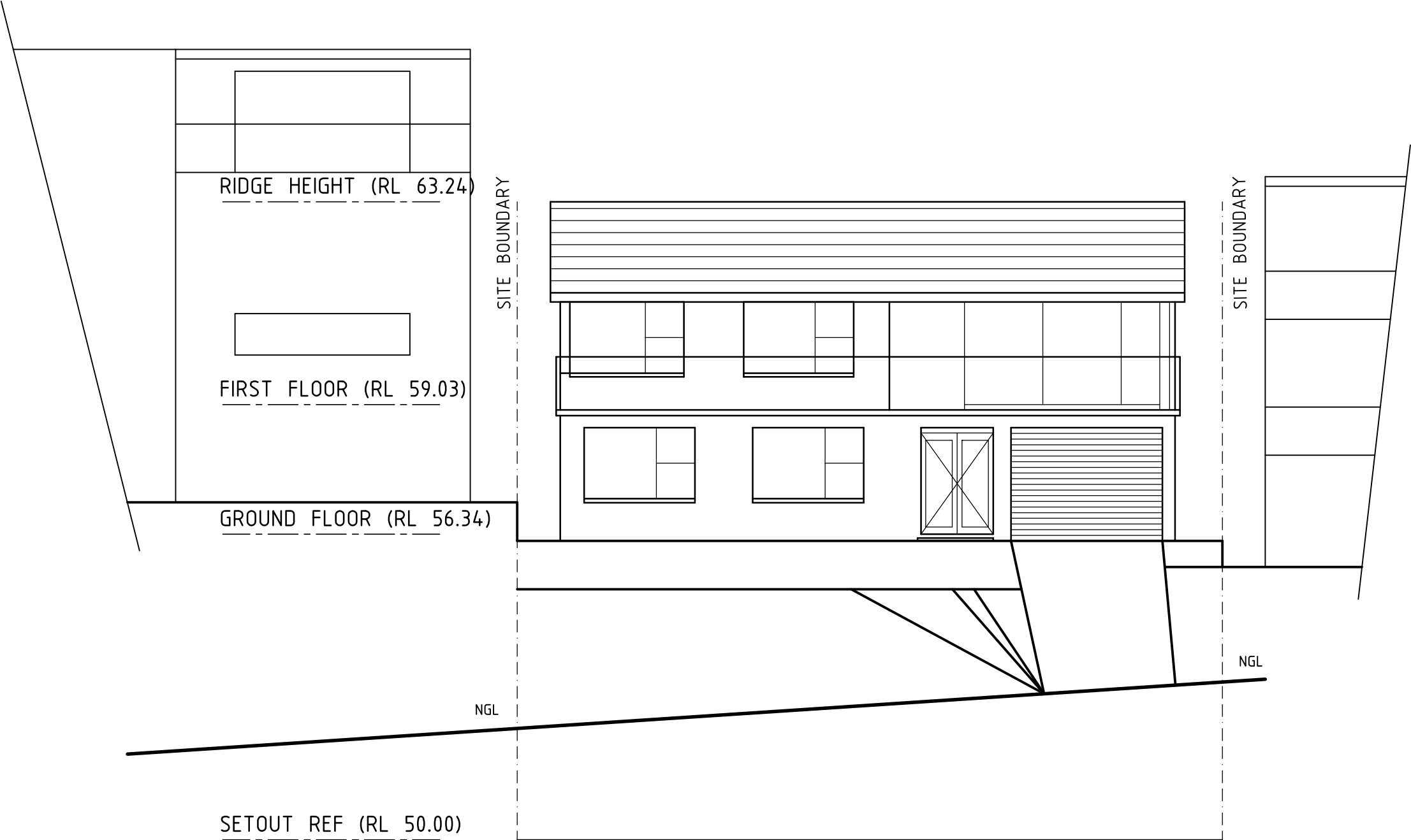
DRAWING TITLE  
**FLOOR PLANS, ROOF PLAN  
AND NOTES**

DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-03
		REVISION	A

No.50

No.52

No.54



STREET & SOUTH ELEVATION

NORTH

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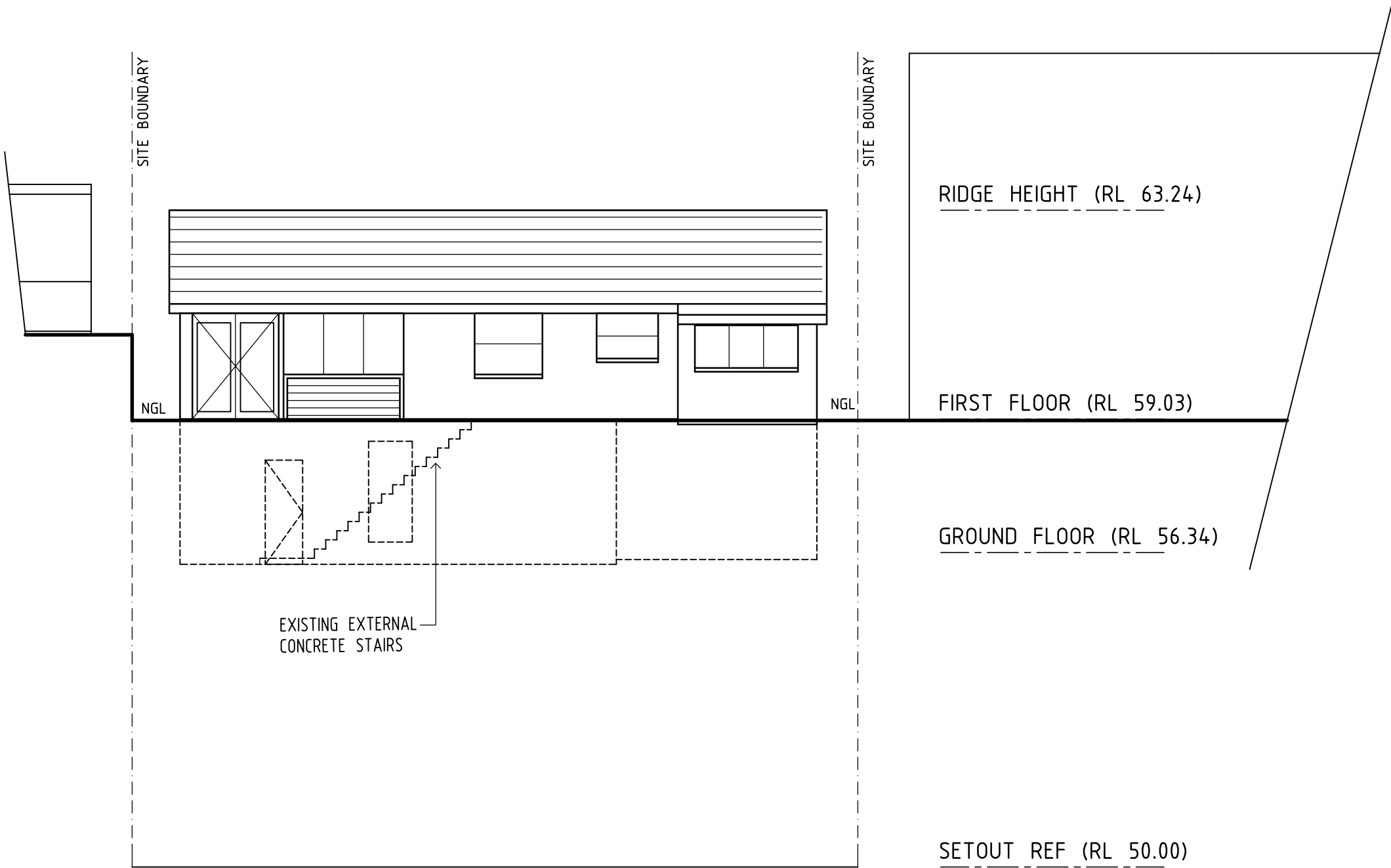
DRAWING TITLE  
**FRONT ELEVATION**  
**AND NOTES**

DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-04
		REVISION	A

No.54

No.52

No.50



NORTH ELEVATION



**AUTHORITY APPROVAL**

**PROJECT DIRECTORY**

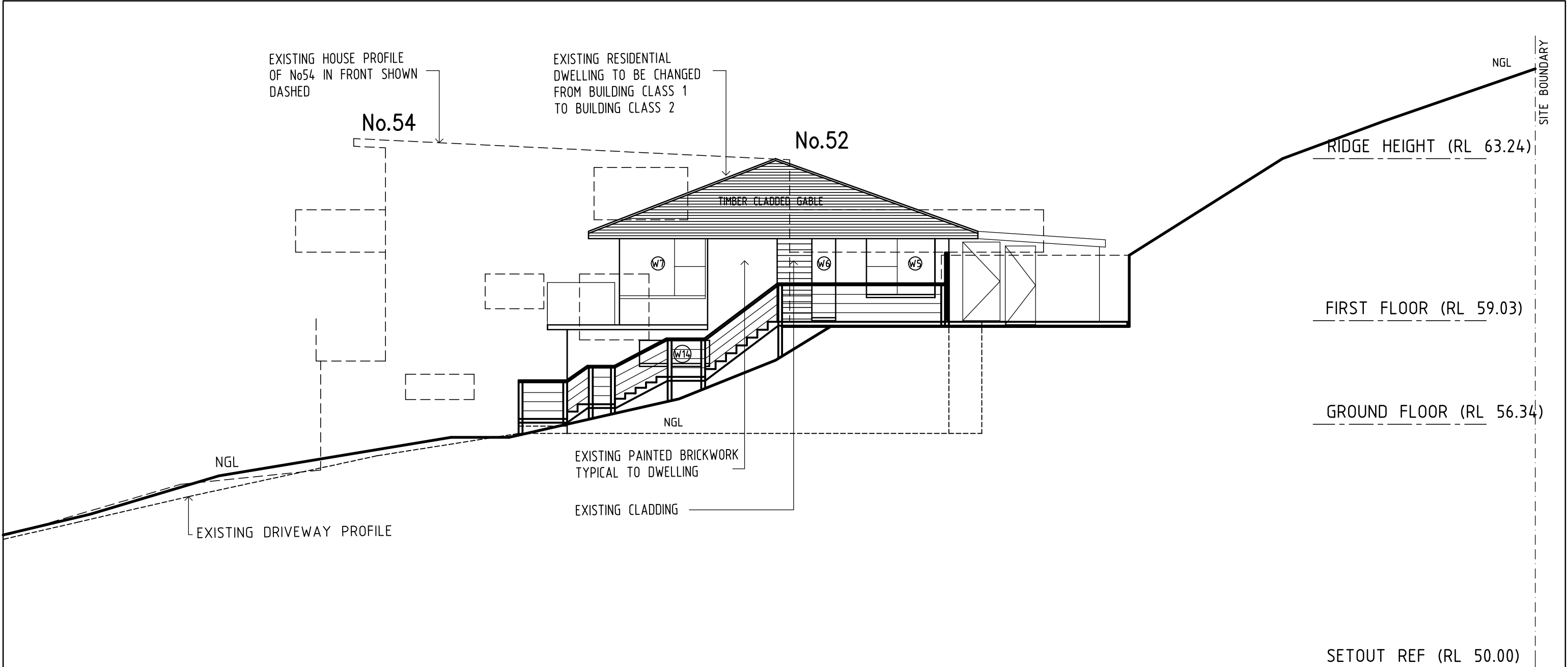
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NORTH ELEVATION			
DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-05
		REVISION	A



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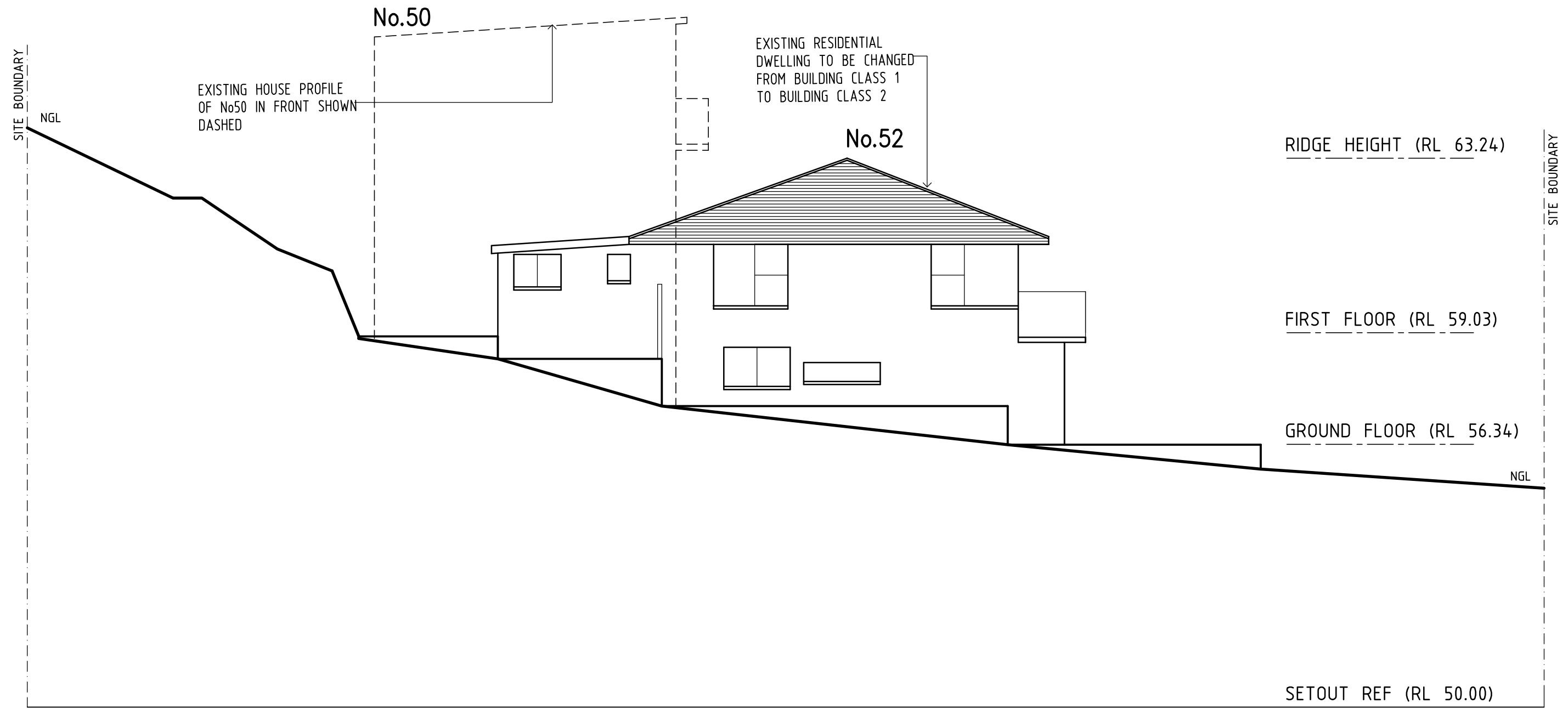
ADDRESS  
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DRAWING TITLE  
**EAST  
ELEVATION**

DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-06
		REVISION	A



**EAST ELEVATION**



WEST ELEVATION



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**PROJECT DIRECTORY**

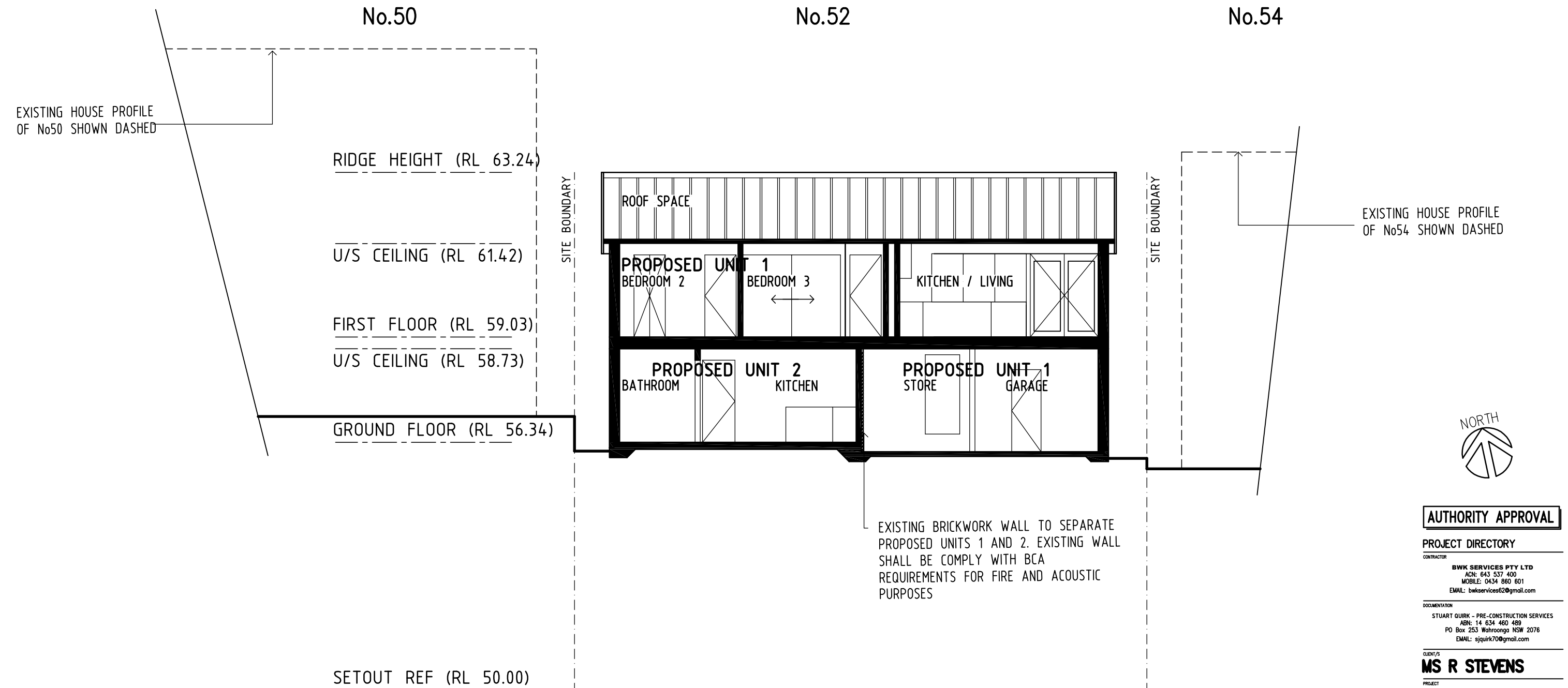
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DRAWING TITLE <b>WEST ELEVATION</b>			
DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-07
		REVISION	A



CROSS SECTION (CENTRE OF RIDGE)

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(CENTRE OF RIDGE)**

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JOB NUMBER	2171	DRAWING NUMBER	A-08
		REVISION	A