

AUTHORITY APPROVAL APPLICATION / DEVELOPMENT APPLICATION

CHANGE OF BUILDING CLASSIFICATION FROM CLASS 1 TO CLASS 2

OWNER: MS R STEVENS

SITE ADDRESS: DP 379781 / LOT 2
52 BUNGAN HEAD ROAD
NEWPORT NSW

PROJECT No: 2171

DRAWING REGISTER

- A-01 | REV A - COVER SHEET
- A-02 | REV A - SITE PLAN AND SITE ANALYSIS PLAN
- A-03 | REV A - FLOOR PLANS, ROOF PLAN AND NOTES
- A-04 | REV A - STREET & SOUTH ELEVATION
- A-05 | REV A - NORTH ELEVATION
- A-06 | REV A - EAST ELEVATION
- A-07 | REV A - WEST ELEVATION
- A-08 | REV A - CROSS SECTION (CENTRE OF RIDGE)



AUTHORITY APPROVAL

PROJECT DIRECTORY

CONTRACTOR
BWK SERVICES PTY LTD
ACN: 643 537 400
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EMAIL: bwkservices62@gmail.com

DOCUMENTATION
STUART QUIRK - PRE-CONSTRUCTION SERVICES
ABN: 14 634 460 489
PO Box 253, Wahroonga NSW 2076
EMAIL: sjquirk70@gmail.com

CLIENT/S
MS R STEVENS

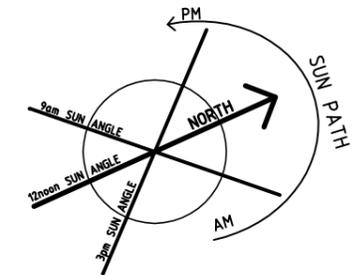
PROJECT
**BUILDING CLASSIFICATION
FROM CLASS 1 TO CLASS 2**
ADDRESS
DP 379781 / LOT 2
52 BUNGAN HEAD ROAD
NEWPORT NSW

DRAWING TITLE
**CROSS SECTION
(CENTRE OF RIDGE)**

<small>DRAWN BY</small>	SQ	<small>DATE</small>	01.05.21
<small>SHEET SIZE</small>	A3	<small>SCALE/S</small>	1:100
<small>JOB NUMBER</small>	2171	<small>DRAWING NUMBER</small>	A-01
		<small>REVISION</small>	A

MYOLA

ROAD



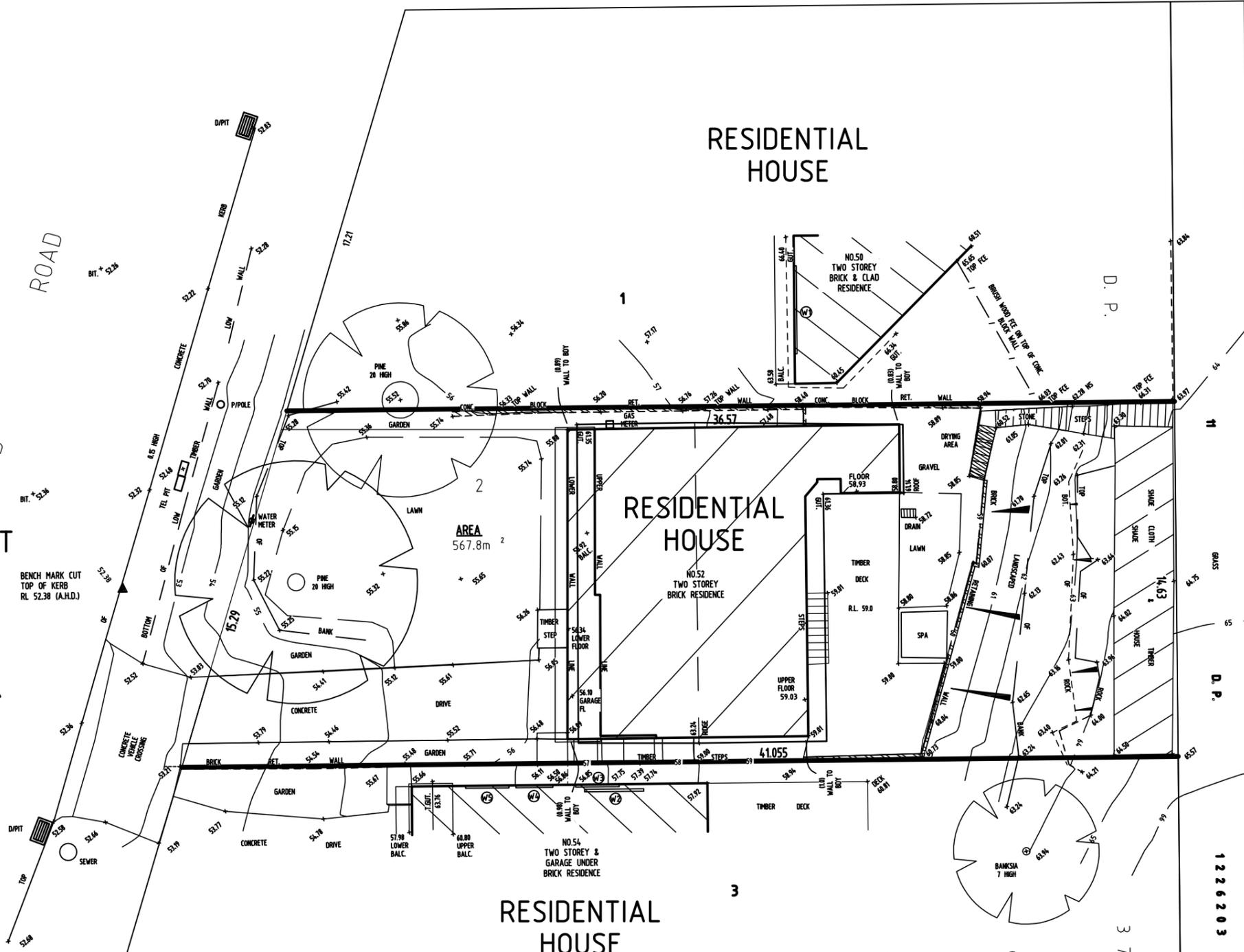
WINTER BREEZE DIRECTION

← IMPORTANT VIEWS

BUNGAN

WINDOW SCHEDULE					
No.	SILL RL	HEAD RL	HEIGHT	WIDTH	NOTES / BCA UPGRADES
W1	64.36	65.83	1470	3628	
W2	61.65	63.01	1360	2437	
W3	58.53	60.24	1710	1802	
W4	59.34	60.24	900	1526	
W5	56.98	57.64	660	1784	

SITE PLAN AND SITE ANALYSIS PLAN



SITE ANALYSIS	
SITE BOUNDARY AREA :	567.8 Sq.M.
GROUND FLOOR - UNIT 1 FOOTPRINT AREA : (including parking 29.5 Sq.M.)	55.6 Sq.M.
GROUND FLOOR - UNIT 2 FOOTPRINT AREA :	59.5 Sq.M.
FIRST FLOOR - UNIT 1 FOOTPRINT AREA :	110.5 Sq.M.
TOTAL FOOTPRINT FLOOR AREA :	225.6 Sq.M.
(TOTAL FOOTPRINT FLOOR AREA EXCLUDING PARKING):	(186.1 Sq.M.)
FSR RATIO :	40%
(FLOOR FOOTPRINT AREA DIVIDED BY SITE BOUNDARY AREA)	
DWELLING FOOTPRINT AREA :	135.8 Sq.M.
LANDSCAPING AREA - SOFT : (TURF, GARDENS AND PATHS / STAIRS LESS THAN 1M)	338.7 Sq.M.
LANDSCAPING AREA - HARD : (DRIVEWAY 46.4 Sq.M. / DECK 46.9 Sq.M)	93.3 Sq.M.
SITE COVERAGE :	40%
(DWELLING FOOTPRINT AREA + LANDSCAPING AREA - HARD DIVIDED BY SITE BOUNDARY AREA)	
LANDSCAPE AREA COVERAGE : (LANDSCAPING AREA - SOFT DIVIDED BY SITE BOUNDARY AREA)	60%

SURVEY PLAN BY & ACKNOWLEDGEMENT:

YSCO GEOMATICS
 LAND RESOURCE CONSULTANTS
 SUITE 4, 114 HAMPDEN ROAD, ARTARMON, 2064
 PH: (02) 94198222
 Email: enquiries@yscogeomatics.com.au
 Website: www.yscogeomatics.com.au
YOUNG & COMPANY PTY LTD A.C.N. 002 819 885

GEOMATIC ENGINEERING
 LAND & ENGINEERING SURVEYING
 PROJECT MANAGEMENT
 SOIL AND WATER MANAGEMENT
 ENVIRONMENTAL PLANNING & DESIGN

PROFESSIONAL STANDARDS SCHEME Liability limited by a scheme approved under Professional Standards Legislation.

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BUILDING CLASSIFICATION FROM CLASS 1 TO CLASS 2

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DRAWING TITLE
SITE PLAN AND SITE ANALYSIS

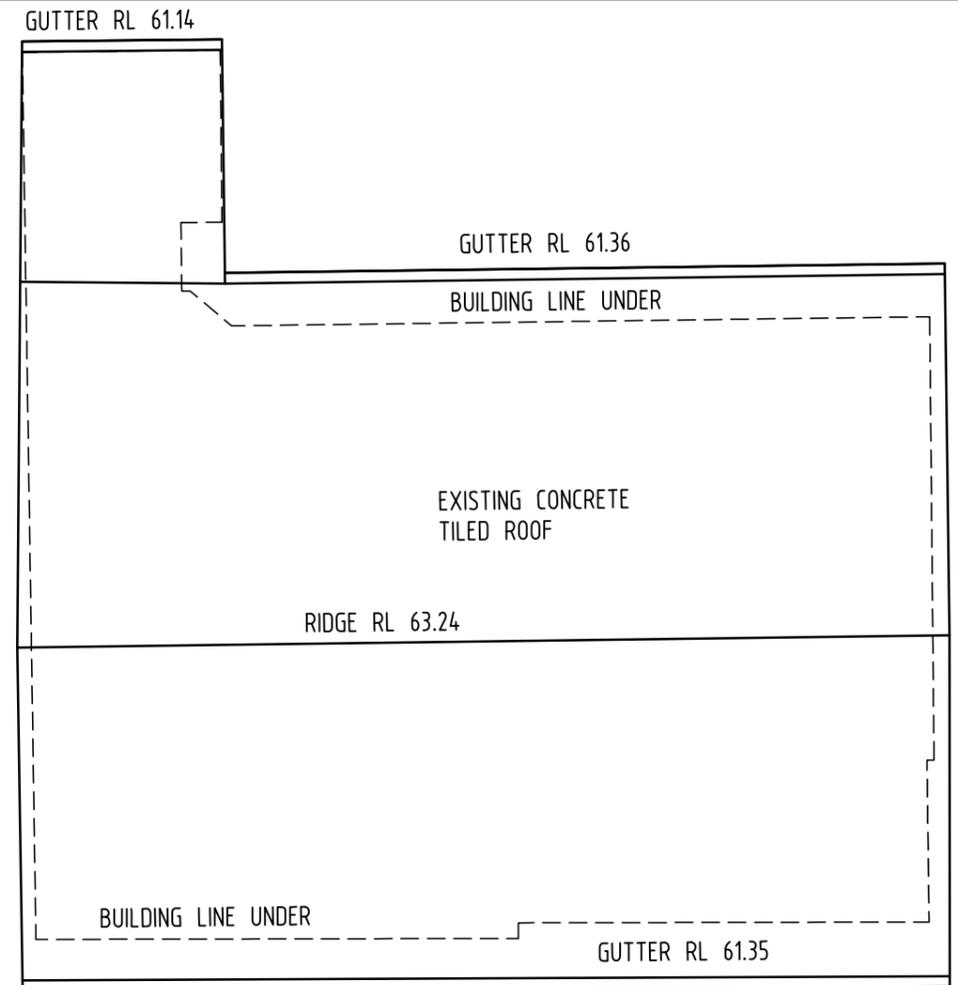
DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:200
JOB NUMBER	2171	DRAWING NUMBER	A-02
		REVISION	A

WINDOW/DOOR SCHEDULE					
No.	SILL RL	HEAD RL	HEIGHT	WIDTH	NOTES / BCA UPGRADES
W1	60.06	60.92	860	2080	
W2	60.29	61.2	910	1240	
W3	59.93	61.16	1230	1370	
W4	59.93	61.16	1230	2420	
W5	59.71	61.21	1500	1780	
W6	59.03	61.16	2130	620	
W7/D	59.03	61.16	2130	2120	
W8	59.68	61.16	1480	2280	
W9	59.68	61.16	1480	2310	
W9	59.68	61.16	1480	1820	
W10	59.68	61.16	1480	1790	
W11	60.21	60.92	710	550	
W12	60.06	60.92	860	1140	
W13	56.50	58.58	2080	880	WINDOW DRENCHER AS REQ'D
W14	57.91	58.52	610	1820	WINDOW DRENCHER AS REQ'D
W15	57.08	58.55	1470	2300	
W16	57.08	58.55	1470	2300	WINDOW DRENCHER AS REQ'D
W17	57.78	58.31	530	1850	WINDOW DRENCHER AS REQ'D
W18	57.66	58.68	1020	1600	WINDOW DRENCHER AS REQ'D

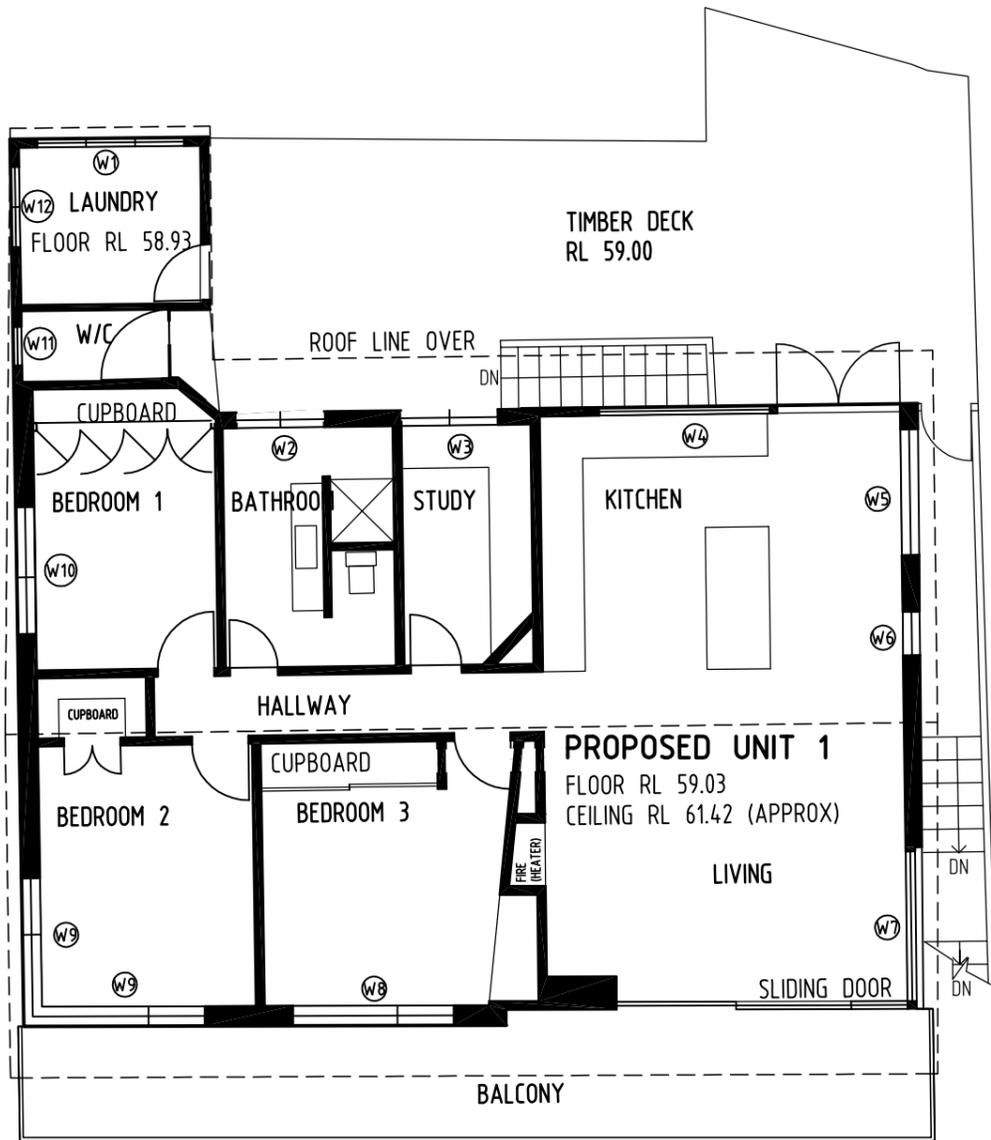
NOTES:

- A. PROPOSED UNIT 1 GARAGE / STORE AREA TO RETAIN EXISTING EXPOSED TIMBER BEAMS AND FLOOR JOIST / NO CEILING
- B. EXISTING BRICKWORK WALL TO SEPARATE PROPOSED UNITS 1 AND 2. EXISTING WALL SHALL BE COMPLY WITH BCA REQUIREMENTS FOR FIRE AND ACOUSTIC PURPOSES
- C. EXISTING PLASTERBOARD CEILING IN PROPOSED UNIT 2 TO BE REPLACED WITH NEW FIRE RATED PLASTERBOARD TO COMPLY WITH BCA REQUIREMENTS.
- D. PROVIDE SUITABLE SOUND INSULATION IN SUB-FLOOR OF PROPOSED UNIT 2 TO COMPLY WITH BCA REQUIREMENTS.
- E. PROTECTION OF OPENING AS REQUIRED BY BCA REQUIREMENTS FOR GROUND FLOOR LEVEL.
- F. NO PROPOSED BCA UPGRADE WORKS TO FIRST FLOOR LEVEL.

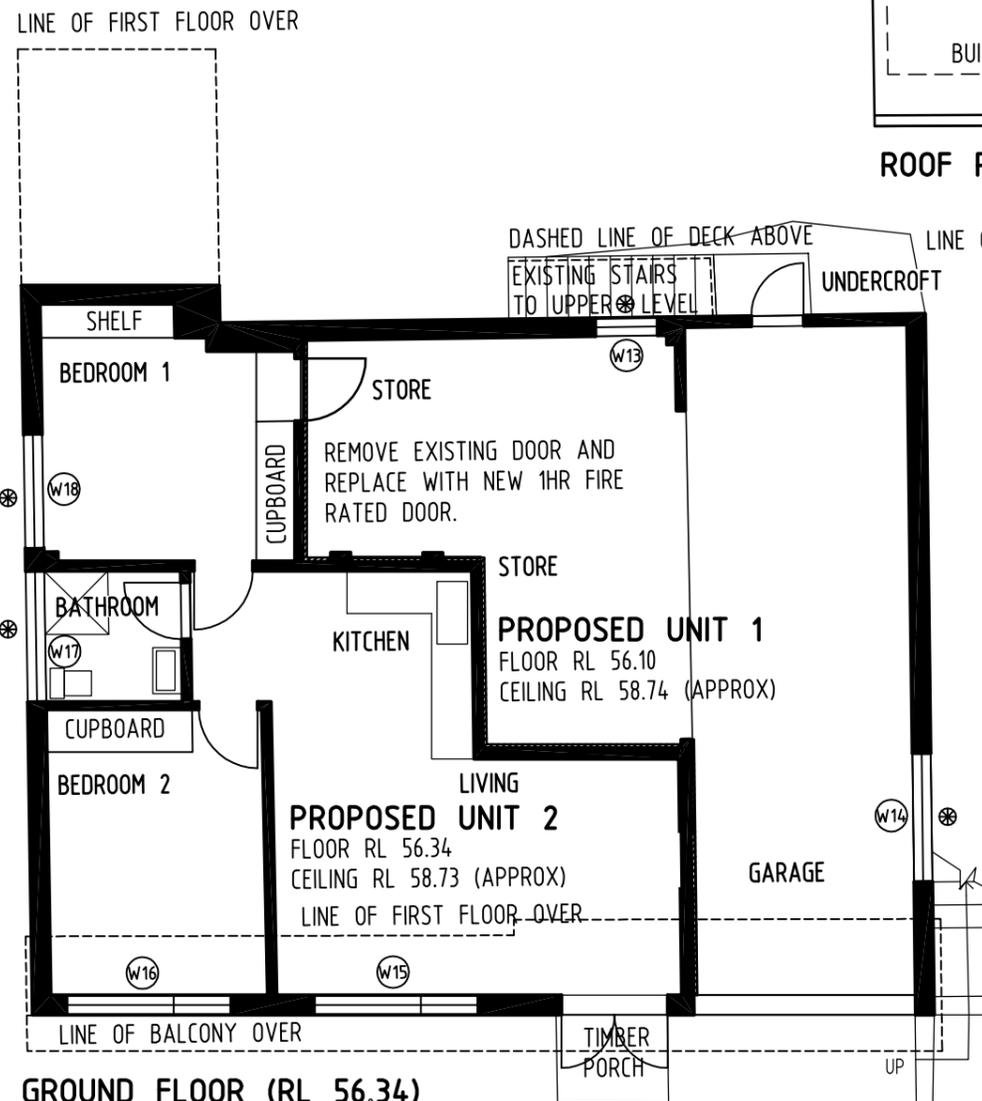
⊗ DENOTES - WINDOW DRENCHER



ROOF PLAN (RL 59.03)



FIRST FLOOR (RL 59.03)



GROUND FLOOR (RL 56.34)



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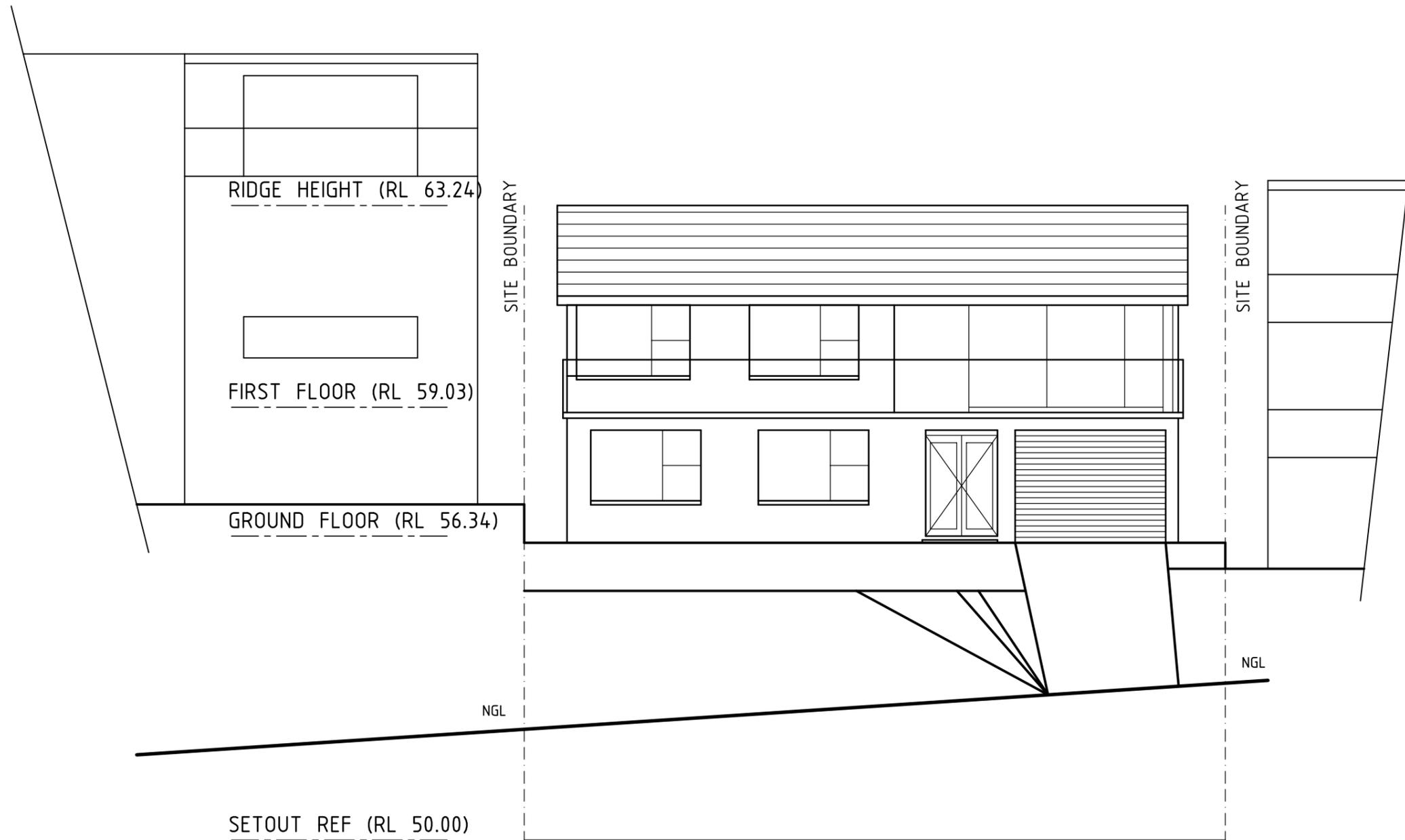
DRAWING TITLE
FLOOR PLANS, ROOF PLAN AND NOTES

DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-03
		REVISION	A

No.50

No.52

No.54



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**BUILDING CLASSIFICATION
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 NEWPORT NSW**

DRAWING TITLE
FRONT ELEVATION AND NOTES

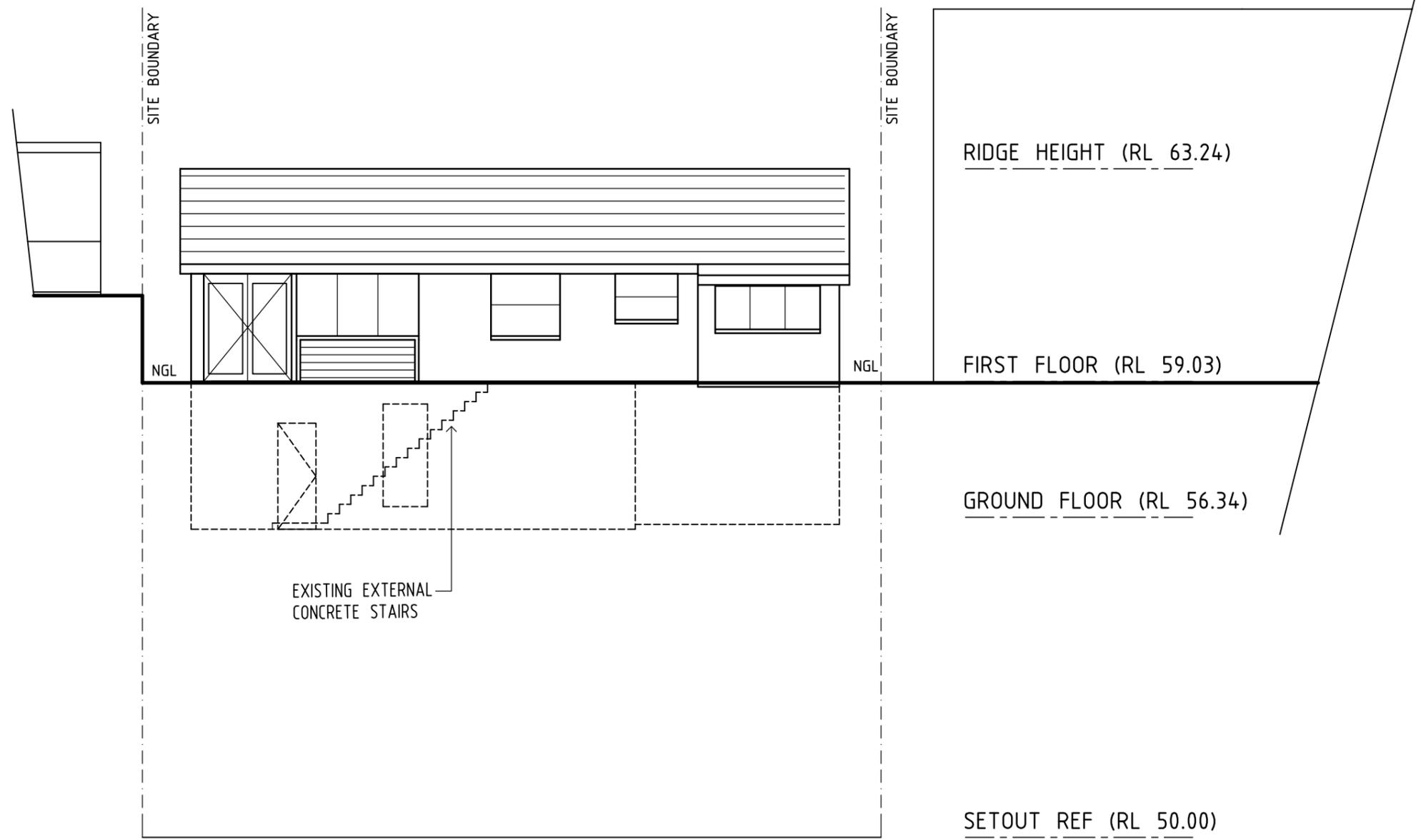
DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-04
		REVISION	A

STREET & SOUTH ELEVATION

No.54

No.52

No.50



RIDGE HEIGHT (RL 63.24)

FIRST FLOOR (RL 59.03)

GROUND FLOOR (RL 56.34)

SETOUT REF (RL 50.00)

EXISTING EXTERNAL
CONCRETE STAIRS

SITE BOUNDARY

SITE BOUNDARY

NGL

NGL

NORTH ELEVATION



AUTHORITY APPROVAL

PROJECT DIRECTORY

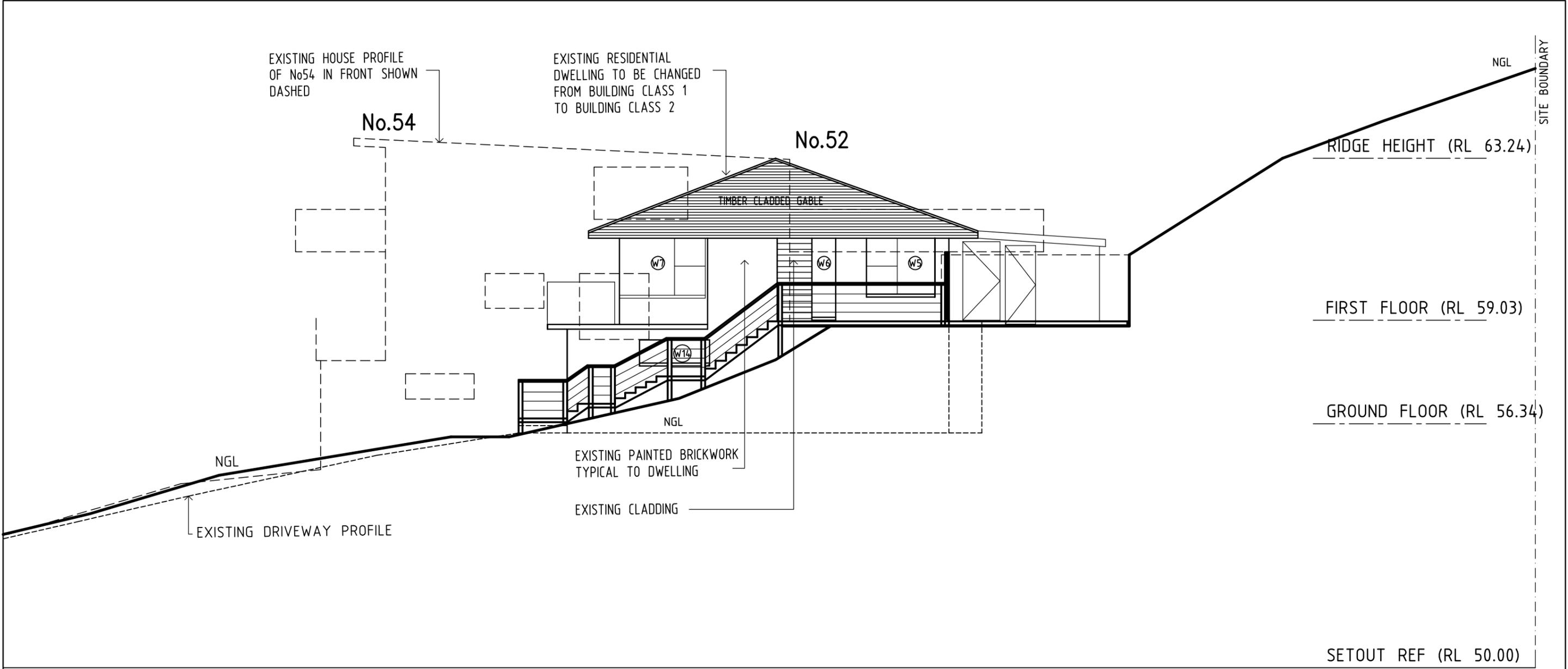
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DRAWING TITLE		DATE	
NORTH ELEVATION		01.05.21	
DRAWN BY	SCALE/S	DRAWING NUMBER	REVISION
SQ	1:100	2171 A-05	A
SHEET SIZE	JOB NUMBER		
A3	2171		



EAST ELEVATION

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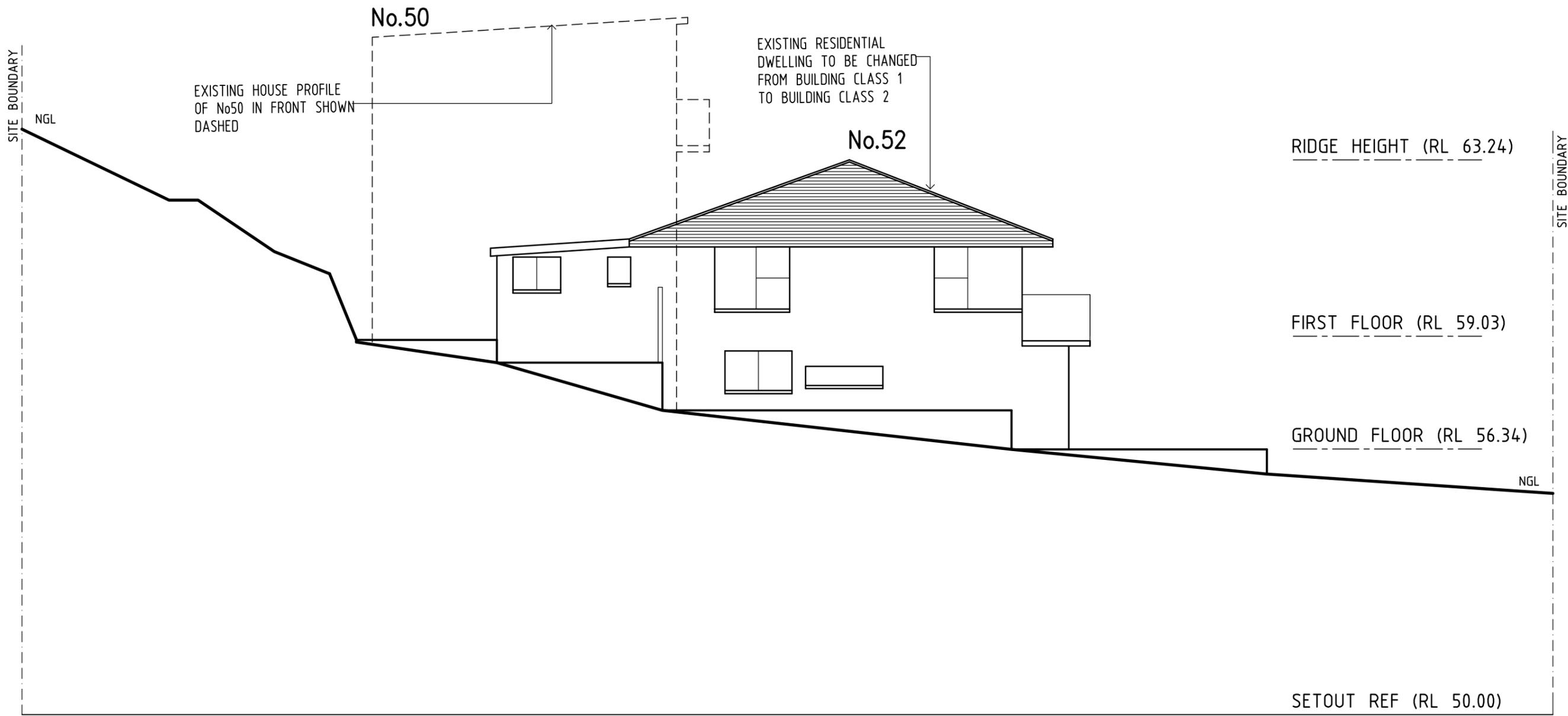
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DRAWING TITLE
**EAST
 ELEVATION**

DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-06
		REVISION	A





WEST ELEVATION

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DRAWING TITLE
**WEST
 ELEVATION**

DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-07
		REVISION	A



No.50

No.52

No.54

EXISTING HOUSE PROFILE OF No50 SHOWN DASHED

EXISTING HOUSE PROFILE OF No54 SHOWN DASHED

RIDGE HEIGHT (RL 63.24)

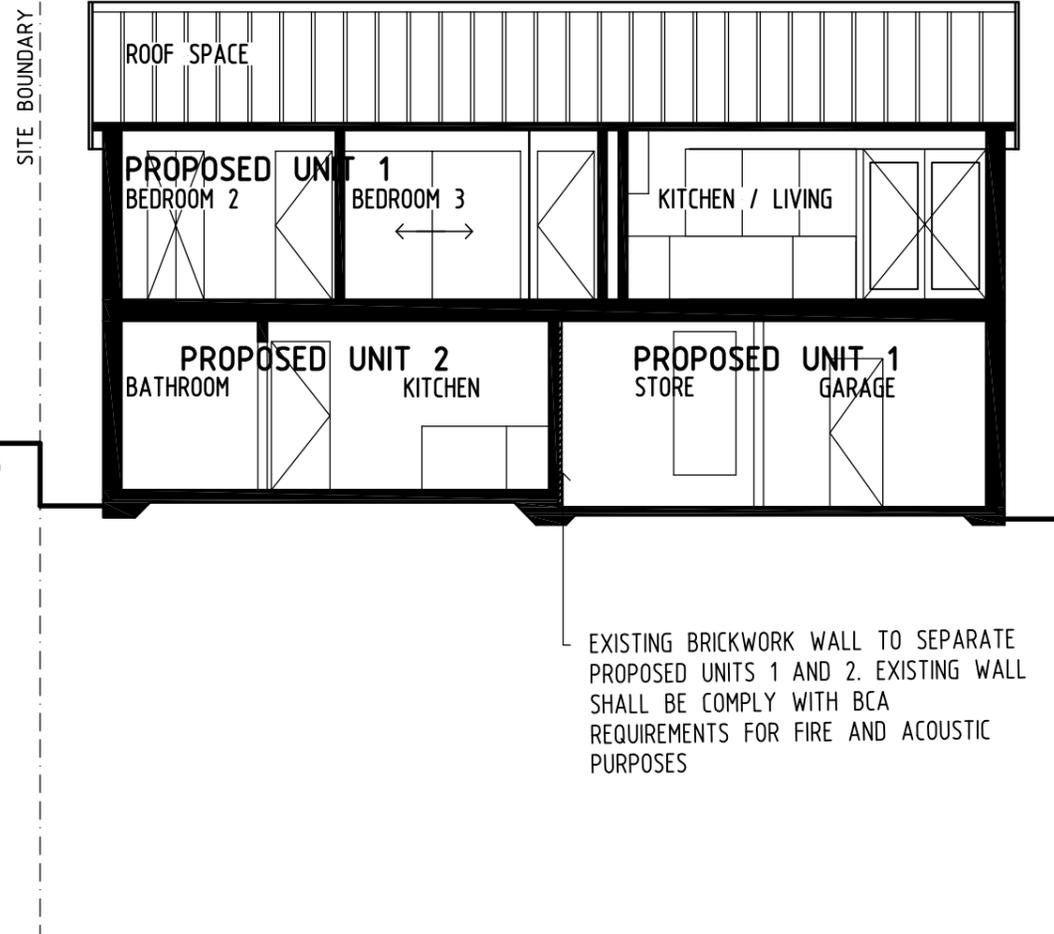
U/S CEILING (RL 61.42)

FIRST FLOOR (RL 59.03)

U/S CEILING (RL 58.73)

GROUND FLOOR (RL 56.34)

SETOUT REF (RL 50.00)



EXISTING BRICKWORK WALL TO SEPARATE PROPOSED UNITS 1 AND 2. EXISTING WALL SHALL BE COMPLY WITH BCA REQUIREMENTS FOR FIRE AND ACOUSTIC PURPOSES



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DRAWING TITLE
CROSS SECTION (CENTRE OF RIDGE)

DRAWN BY	SQ	DATE	01.05.21
SHEET SIZE	A3	SCALE/S	1:100
JOB NUMBER	2171	DRAWING NUMBER	A-08
		REVISION	A

CROSS SECTION (CENTRE OF RIDGE)