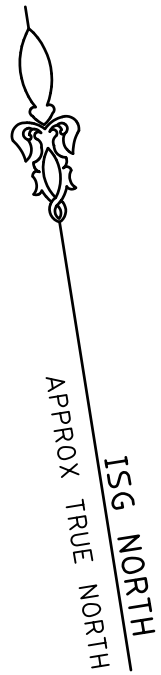


SURFERS PARADE



No.16 SURFERS PARADE
1 & 2 STOREY
BRICK & CLAD HOUSE
TILE ROOF

A
DP.347968

No.12 SURFERS PARADE
2 STOREY
RENDERED & STONE HOUSE
METAL ROOF

No.10 SURFERS PARADE
2 STOREY
CLAD HOUSE
TILE ROOF

27
SECTION 1
DP.5466

30
SECTION 1
DP.5466

B
DP.347968
404.7m²
BY CALC

SOLDIERS

(BITUMEN FORMATION)

AVENUE

LEGEND:

AW = AWNING
CHI = CHIMNEY
CL = CENTRELINE
CON = CONCRETE
DS = DOOR SILL LEVEL
FCE = FENCE
FL = FLOOR LEVEL
GAFL = GARAGE FLOOR LEVEL
GDN = GARDEN
GF = GUTTER LEVEL
GM = GAS METER
HL = HOOD LEVEL
HYD = HYDRANT
NS = NATURAL SURFACE
PAR = PARAPET
PAV = PAVING
POOL = POOL
RF = TOP OF ROOF
RR = ROOF RIDGE
SL = SILL LEVEL
TG = TOP OF GUTTER
TKB = TOP OF KERB
TR = TREE
VC = VEHICLE CROSSING
WM = WATER METER

EO = ELECTRICITY OVERHEAD
S = SEWER UNDERGROUND

TREE
SPREAD-DIAMETER-HEIGHT

NOTES

- A BOUNDARY SURVEY HAS BEEN UNDERTAKEN.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF DAVID LIDDELL.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (dbt100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2021.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

MURRAY LEARMONT
REGISTERED SURVEYOR BOSSI NUMBER 1462.....

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 1988
R.L. 42.831 (CLASS LB)
SOURCE: S.C.I.M.S. (09/04/2021)

I FIRST ISSUE 20/04/2021

CLIENT:
DAVID LIDDELL
No.49 SOLDIERS AVENUE
FRESHWATER, NSW, 2096

SURVEY PLAN
SHOWING DETAIL & LEVEL
OVER LOT B IN DP347968
No.49 SOLDIERS AVENUE
FRESHWATER, NSW, 2096

C.M.S. Surveyors
Pty Limited
ACN: 096 240 201
PO Box 463 Dee Why
NSW 2099
2/99A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES SHEET 1 OF 1

SURVEYED BG	DRAWN CJR	CHECKED BG	APPROVED MDL
SURVEY INSTRUCTION 20205	SCALE 1:100 A1 1:200 A3	DATE OF SURVEY 12/04/2021	ISSUE 1
DRAWING NAME 20205detail CAD FILE 20205detail 1.dwg			

TITLE INDICATES THAT LOT B IN D.P.347968 IS SUBJECT TO:
-RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 528849 RIGHT OF DRAINAGE APPURTENANT TO THE PART AS MORE FULLY DESCRIBED IN 528849 AFFECTING THE LAND SHOWN SO BURDENED IN DP5466 (REMOTE FROM SITE)
AEI00172 EASEMENT RELEASED IN SO FAR AS IT AFFECTS LOT 34 IN SECTION 2 IN DP5466

